

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
 Application And  
 Notes, If Any,  
 Attached

BUILDING INSPECTION

PERMIT

Permit Number 320 A002000  
**PERMIT ISSUED**

OCT 15 2008

CITY OF PORTLAND

This is to certify that 410 RIVERSIDE ST LLC / Avenue Bio-Fuel Inc  
 has permission to Pour a 8'x8' concrete pad, plus 2000 gallon double walled tank

AT 410 RIVERSIDE ST

320 A002000

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. Craig Cass

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

James N. Mahley 10/15/08  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1137	Issue Date:	CBL: 320 A002001
-----------------------	-------------	---------------------

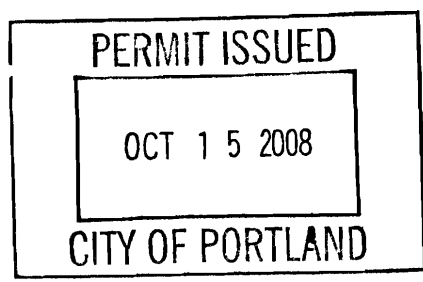
Location of Construction: 410 RIVERSIDE ST (St Ingersoll Dr.)	Owner Name: 410 RIVERSIDE ST LLC	Owner Address: 70 INGERSOLL DR	Phone: 207-975-3113
Business Name:	Contractor Name: Maine Bio-Fuel, Inc.	Contractor Address: 51 Ingersoll Drive Portland	Phone: 2079753113
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: IM

Past Use: Commercial - Bio-diesel recycling facility "Positive Energy Inc"	Proposed Use: Commercial - Pour a 8'x8' concrete pad, place 2000 gallon doubled walled tank.	Permit Fee: \$40.00	Cost of Work: \$2,000.00	CEO District: 5
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied See Conditions	INSPECTION: Use Group: B Type: concrete pad IBC 2003	

Proposed Project Description: Pour a 8'x8' concrete pad, place 2000 gallon doubled walled tank.	Signature: <i>[Signature]</i>	Signature: <i>DM 10/15/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 09/09/2008	<b>Zoning Approval</b>
-------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/10/08 ABN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABN</i>
--	---	--	--



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**


  X   **Footings/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Final inspection required at completion of work.**

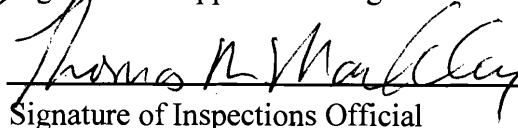
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

10/15/08  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

10/15/08  
Date



2008 038

## Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

**1. Applicant Information**

James Kaltsas  
Applicant/Owner

51 Jagersoll Dr., Portland ME 04107  
Mailing Address

Consultant/Agent  
or 925-3113  
878-3221 / \_\_\_\_\_ / \_\_\_\_\_  
Phone Fax Cell

**2. Project Information**

9/10/08  
Application Date

"Positive Energy" Bio-diesel recycling  
Project Name/Description

51 Jagersoll Drive (410 Riverside St)  
Address of Proposed Site

320-A-002  
Assessor's Reference (Chart-Block-Lot)

**Description of Proposed Development:**

pour 8'x8' concrete pad & place 2000 gallon tank on it

(Please Attach Sketch/Plan of Proposal/Development)

**Criteria for Exemptions:** (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	_____	<u>No</u>
b) Footprint Increase Less Than 500 sq. ft.	_____	<u>Yes</u>
c) No New Curb Cuts, Driveways, Parking Areas	_____	<u>✓</u>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	_____	<u>✓</u>
e) No Additional Parking/No Traffic Increase	_____	<u>✓</u>
f) No Known Storm water Problems	_____	<u>✓</u>
g) Sufficient Property Screening Exists	_____	<u>✓</u>
h) Adequate Utilities	_____	<u>✓</u>

**Planning Division Use Only**

Exemption Granted X Partial Exemption \_\_\_\_\_ Exemption Denied \_\_\_\_\_

With the condition that all of the requirements of the Fire Department are met.

Planner's Signature Barbara Barthollett

Date Sept. 18, 2008



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>51 Ingersoll Drive</u>		
Total Square Footage of Proposed Structure/Area <u>64 sq. Ft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>320      A      002</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>James Kalltsas</u> Address <u>51 Ingersoll Dr</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>878-3001</u> <u>975-3113</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Pour an 8' by 8' concrete pad to place an 2000 gal. double walled tank.</u>		
Contractor's name: <u>Maine Bio-fuel, Inc</u>		
Address: <u>51 Ingersoll Dr</u>		
City, State & Zip <u>Portland, ME 04103</u>		Telephone: <u>975-3113</u>
Who should we contact when the permit is ready: <u>James Kalltsas</u>		Telephone: <u>975-3113</u>
Mailing address: <u>51 Ingersoll Dr. Portland, ME 04103</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8-14-08

This is not a permit; you may not commence ANY work until the permit is issue

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-1137	<b>Date Applied For:</b> 09/09/2008	<b>CBL:</b> 320 A002001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 410 RIVERSIDE ST	<b>Owner Name:</b> 410 RIVERSIDE ST LLC	<b>Owner Address:</b> 70 INGERSOLL DR	<b>Phone:</b> 207-975-3113
<b>Business Name:</b>	<b>Contractor Name:</b> Maine Bio-Fuel, Inc.	<b>Contractor Address:</b> 51 Ingersoll Drive Portland	<b>Phone:</b> (207) 975-3113
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

<b>Proposed Use:</b> Commercial - Bio-diesel recycling facility - Pour a 8'x8' concrete pad, place 2000 gallon doubled walled tank.	<b>Proposed Project Description:</b> Pour a 8'x8' concrete pad, place 2000 gallon doubled walled tank.
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 09/10/2008

**Note:****Ok to Issue:** 

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/15/2008

**Note:****Ok to Issue:** 

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 10/14/2008

**Note:****Ok to Issue:** 

- 1) A supply of the proper amount and type of firefighting foam shall be readily available and maintained on site.
- 2) Application requires State Fire Marshal approval.
- 3) Install shall comply with NFPA 30

**Comments:**

9/10/2008-amachado: Gave site plan exemption to planning.

9/22/2008-gg: received granted site plan exemption on 9/19/08. Filed with permit (Greg Cass)

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

**Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

**Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

*Thomas H. Mackley*

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

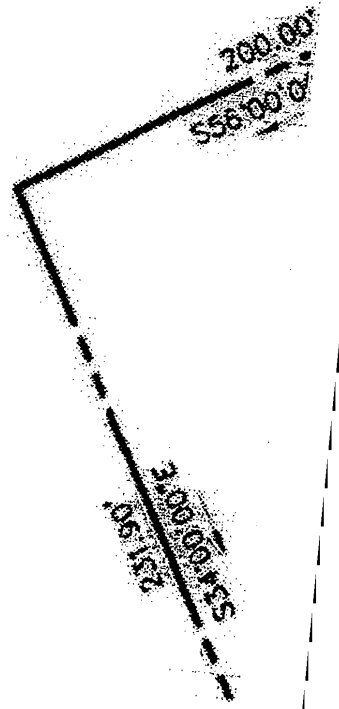
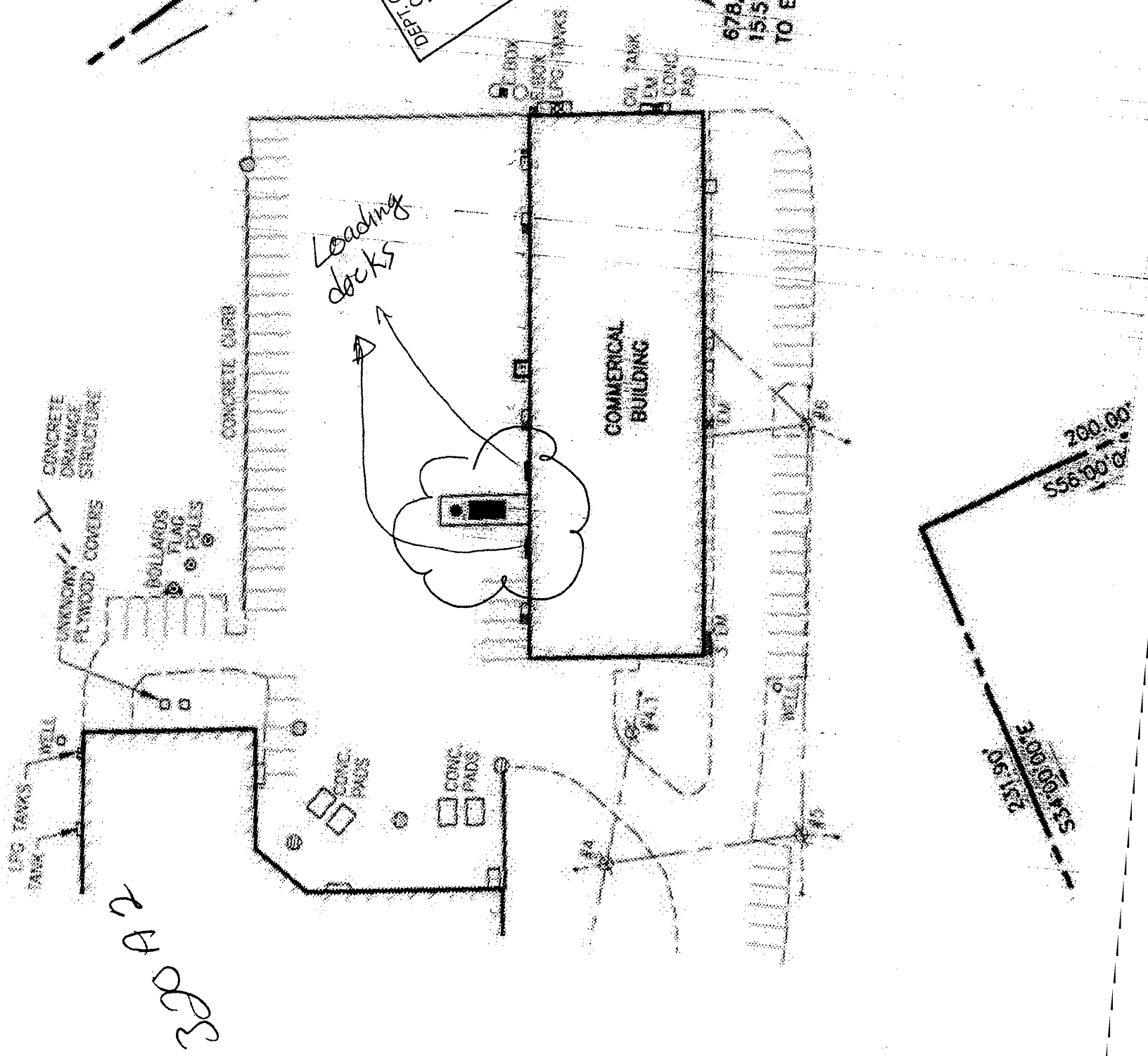
*10/15/08*

\_\_\_\_\_  
Date

Permit 06-1701

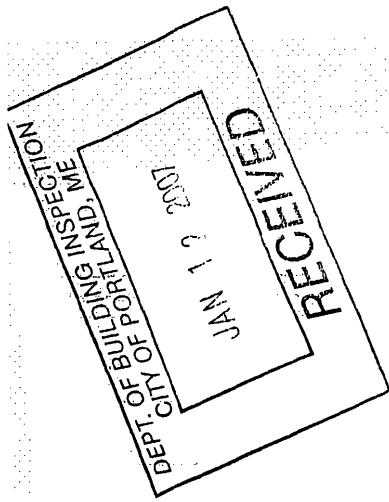
RECEIVED  
JAN 2 2007  
DEPT. OF BUILDING INSPECTION  
CITY OF BRITAIN, ME

AREA =  
678,492 S.F.  
15,5760 AC.  
TO EDGE R/W



300 A2





I-M Zone

Presumpscot River

permit 067701

REAR

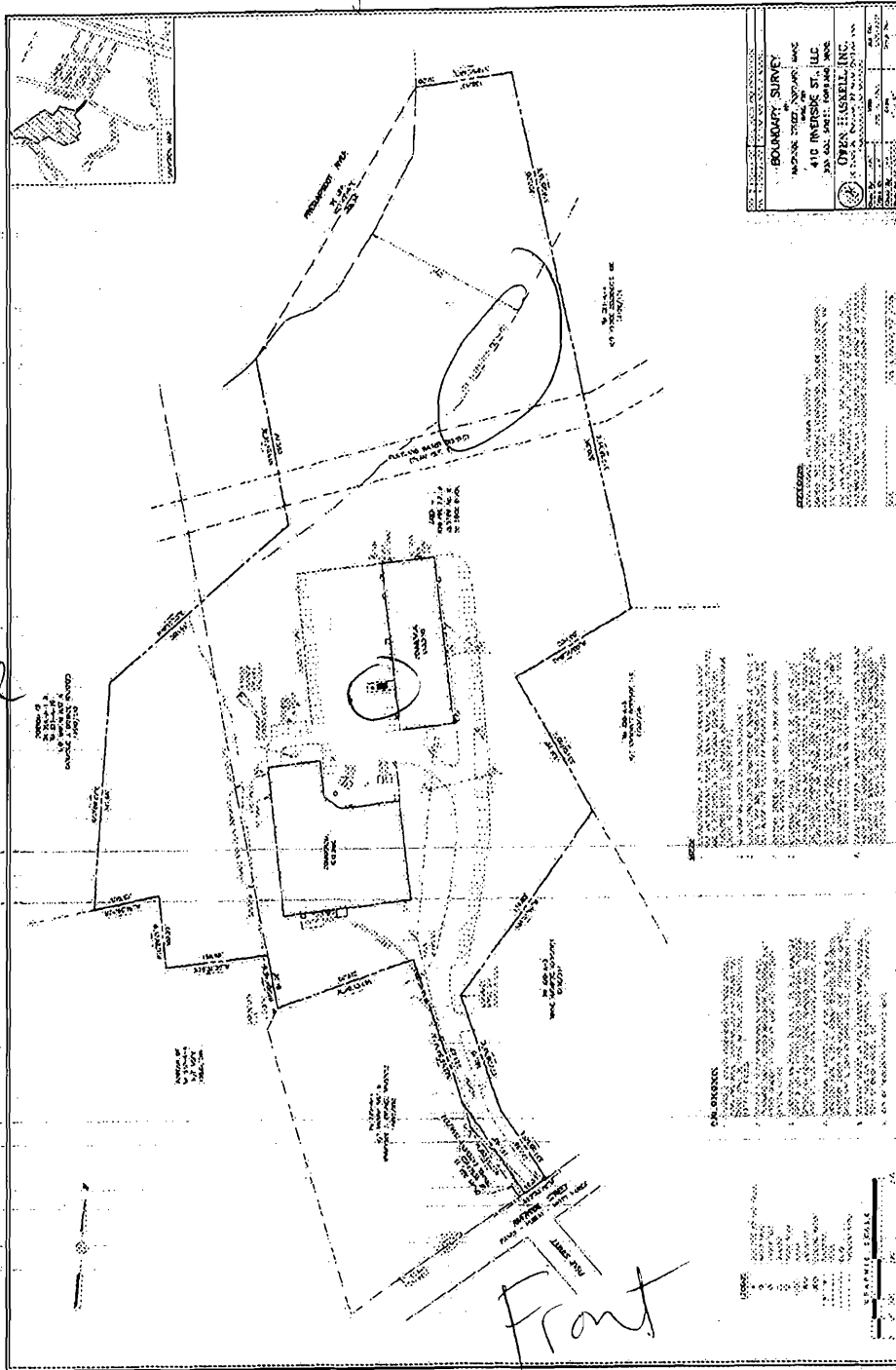
I-M Zone

FRONT: NA

REAR: 25' min  
well over 25'

SIDE: 25' min  
well over 25'

OK  
1320  
A2  
H/16/07



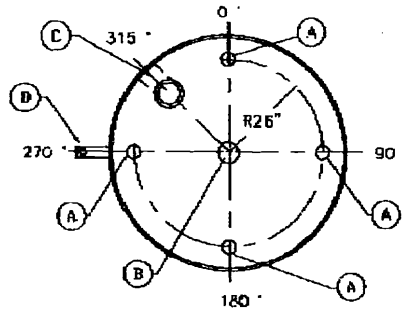
SIDE

doesn't Abat resident AL zone or use

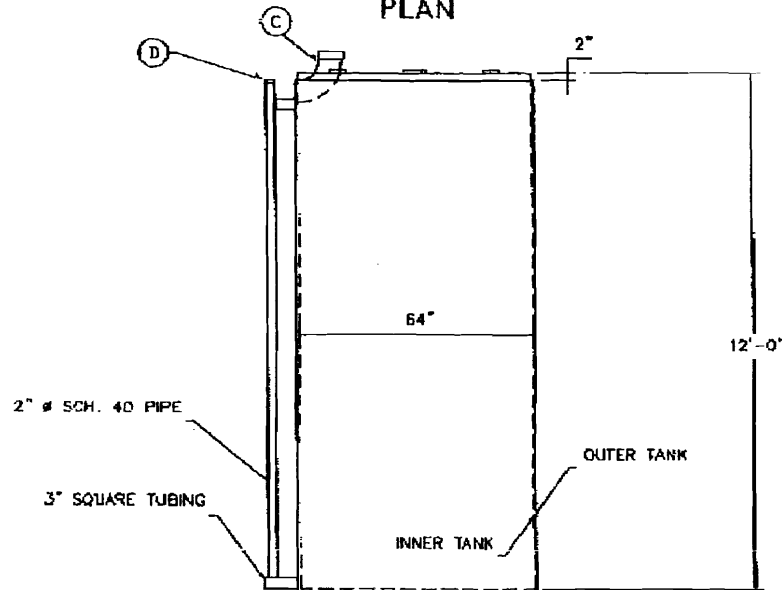
NOTE :  
 ALL RIGHTS RESERVED. THIS DRAWING OR ANY PART THEREOF MUST NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF HIGHLAND TANK.  
 HIGHLAND TANK SHALL BE RESPONSIBLE ONLY FOR ITEMS INDICATED ON THIS FABRICATION DRAWING UNLESS OTHERWISE NOTED. CUSTOMER IS RESPONSIBLE FOR VERIFYING CORRECTNESS OF SIZE / LOCATION OF FITTINGS, ACCESSORIES & COATINGS SHOWN ON THIS DRAWING.  
 NOTE :  
 SEE PLAN VIEW FOR TRUE ORIENTATION & LOCATION OF OPENINGS AND ACCESSORIES.  
 NOTE :  
 LIFTING LUGS FOR UNLOADING UNIT & STANDING UNIT UPRIGHT TO BE PLACED AS NEEDED BY FABRICATION SHOP.

### FITTING SCHEDULE

- A= 4 # NPT
- B= 6 # NPT FOR PRIMARY EMERGENCY VENT
- C= 6 # CPLG. & ELBOW FOR SECONDARY EMERGENCY VENT (HIGHLAND TANK STANDARD DESIGN)
- D= 2" # NPT FOR LEAK DETECTION



PLAN



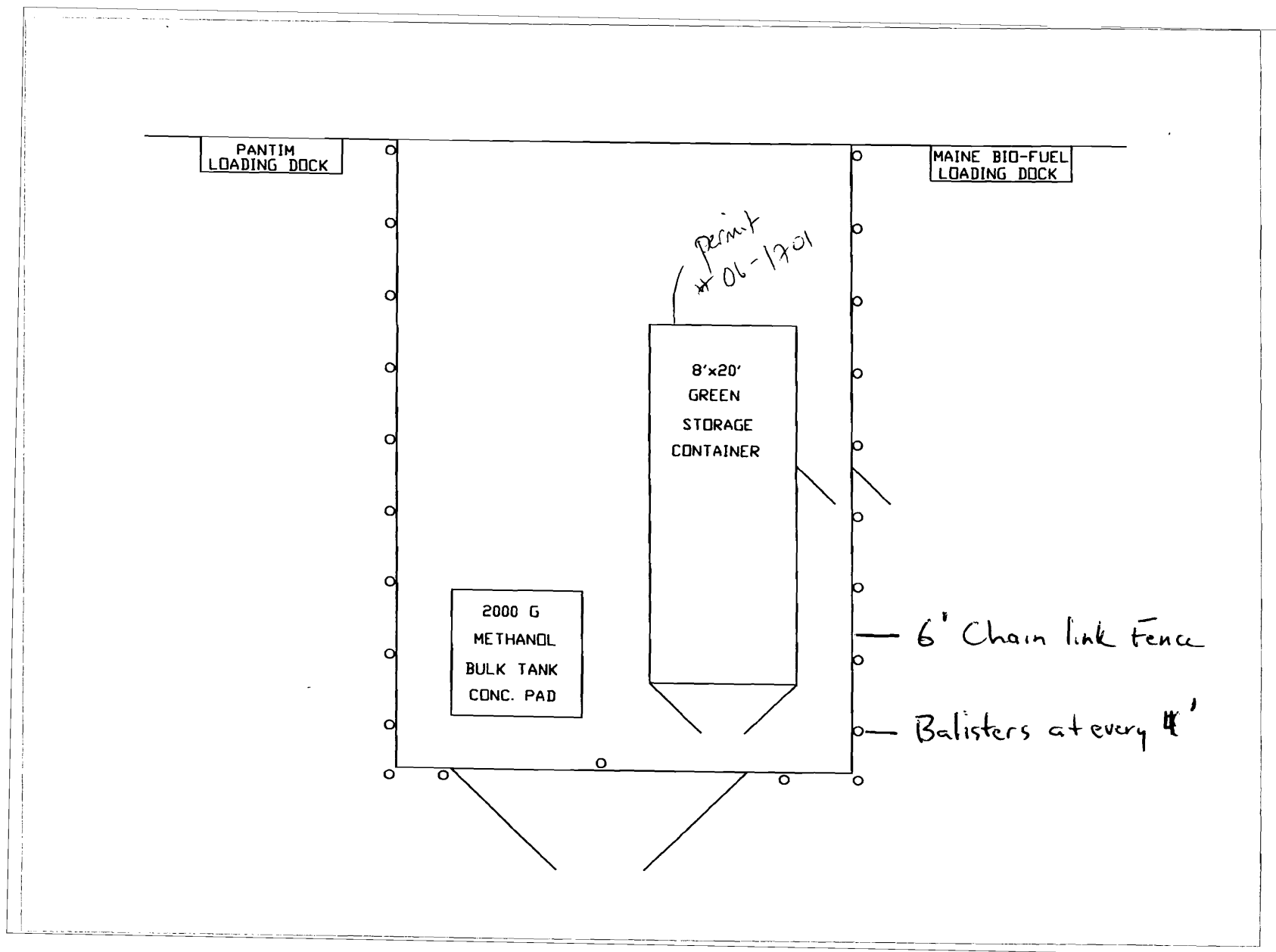
ELEVATION

### GENERAL NOTES

CAPACITY : 2000 GALLONS  
 TYPE : 1360 DOUBLE WALL ABOVEGROUND VERTICAL  
 NO. REQ :  
 MATERIAL : MILD CARBON STEEL  
 TEST : 1.5 TO 2.5 P.S.I.  
 MIN. GAUGE OR THICKNESS (PER U.L. 142):  
 INNER SHELL- 7GA. OUTER SHELL- 7GA.  
 INNER BOTTOM HEAD- 1/4" OUTER BOTTOM HEAD- 1/4"  
 SINGLE TOP HEAD- 10GA.

PAINT :  
 INTERIOR : NONE  
 EXTERIOR : RED PRIMER  
 CONSTRUCTION : FLAT BOTTOM HEADS, FLAT TOP HEAD.  
 LAP WELD ALL EXTERIOR SEAMS EXCEPT  
 BUTT WELD ALL LONGITUDINAL SEAMS  
 APPROVED LABELS : U.L. 142

REVISIONS				
		<b>Highland Tank</b>		
		2000 GALLON ABOVEGROUND VERTICAL DOUBLE WALL TYPE 1360		
CUSTOMER:				
PROJECT:				
QUOTE NO:				
SCALE:	DATE:	APP. BY:	CHK'D BY:	DWG. NO.:
AS SHOWN	8-28-08			2KAVDW164





# General Building Permit Application

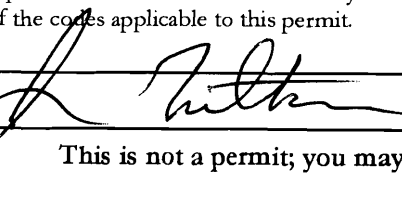
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>51 Ingersoll Drive</u>		
Total Square Footage of Proposed Structure/Area <u>64 sq. Ft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>320      A      002</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>James Kaltsas</u> Address <u>51 Ingersoll Dr</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>878-3001</u> <u>975-3113</u>
Lessee/DBA (If Applicable) <u>SEP 9 2008</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Pour an 8' by 8' concrete pad to place an 2000 gal. double walled tank.</u>		
Contractor's name: <u>Maine Bio-Fuel, Inc</u>		
Address: <u>51 Ingersoll Dr</u>		
City, State & Zip: <u>Portland, ME 04103</u>		Telephone: <u>975-3113</u>
Who should we contact when the permit is ready: <u>James Kaltsas</u>		Telephone: <u>975-3113</u>
Mailing address: <u>51 Ingersoll Dr, Portland, ME 04103</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

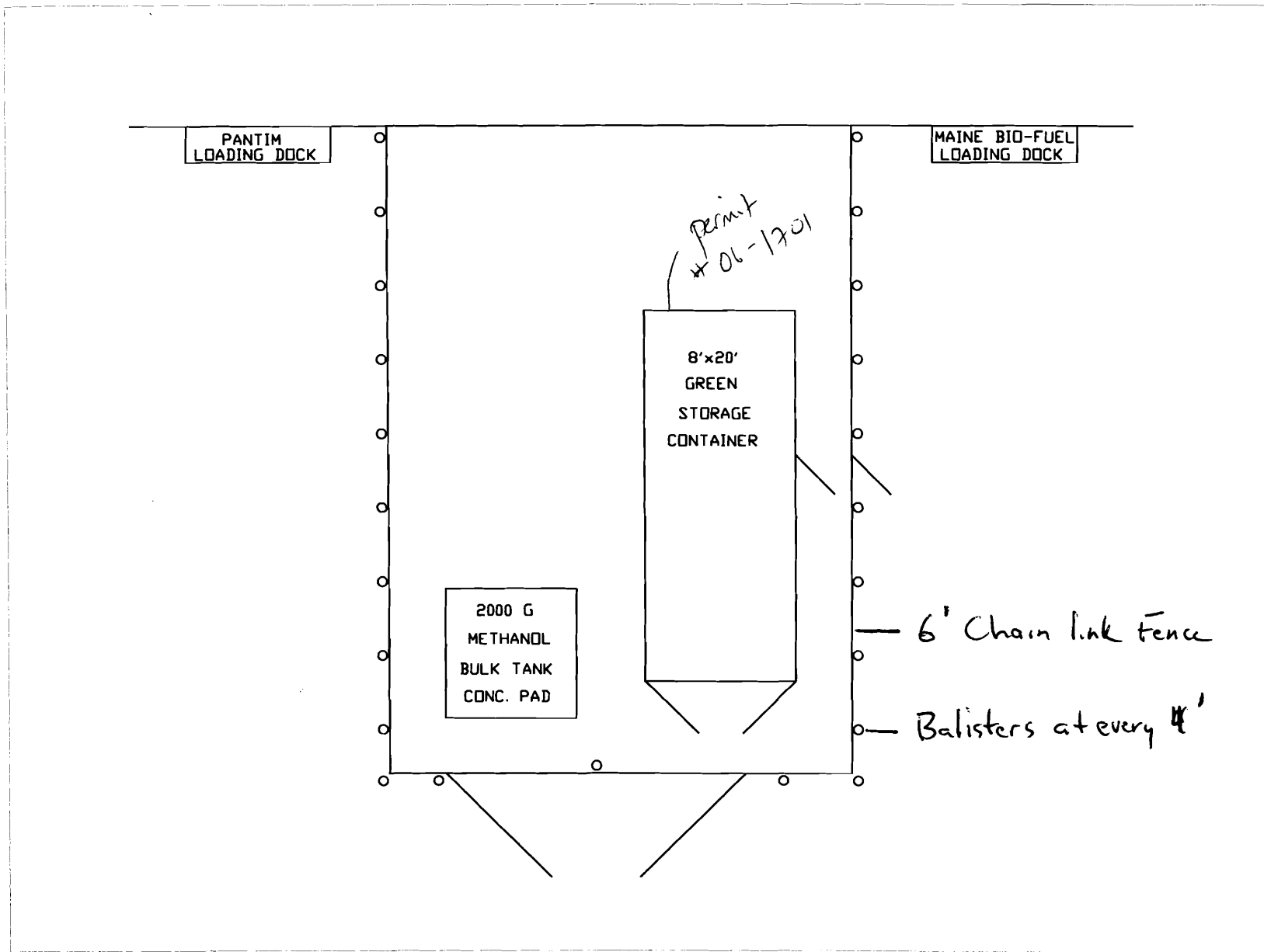
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 8-14-08

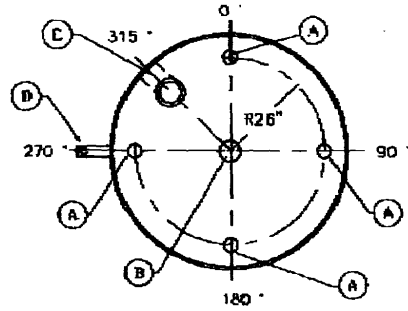
**This is not a permit; you may not commence ANY work until the permit is issue**



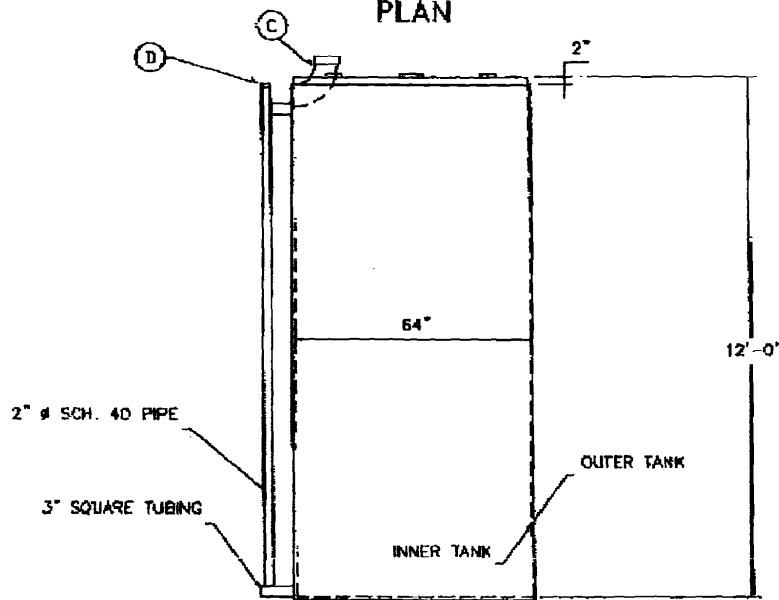
NOTE :  
 ALL RIGHTS RESERVED. THIS DRAWING OR ANY PART THEREOF MUST NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF HIGHLAND TANK.  
 HIGHLAND TANK SHALL BE RESPONSIBLE ONLY FOR ITEMS INDICATED ON THIS FABRICATION DRAWING UNLESS OTHERWISE NOTED. CUSTOMER IS RESPONSIBLE FOR VERIFYING CORRECTNESS OF SIZE / LOCATION OF FITTINGS, ACCESSORIES & COATINGS SHOWN ON THIS DRAWING.  
 NOTE :  
 SEE PLAN VIEW FOR TRUE ORIENTATION & LOCATION OF OPENINGS AND ACCESSORIES.  
 NOTE :  
 LIFTING LUGS FOR UNLOADING UNIT & STANDING UNIT UPRIGHT TO BE PLACED AS NEEDED BY FABRICATION SHOP.

**FITTING SCHEDULE**

- A= 4 # NPT
- B= 6 # NPT FOR PRIMARY EMERGENCY VENT
- C= 6 # CPLG. & ELBOW FOR SECONDARY EMERGENCY VENT (HIGHLAND TANK STANDARD DESIGN)
- D= 2" NPT FOR LEAK DETECTION



PLAN




ELEVATION

**GENERAL NOTES**

CAPACITY : 2000 GALLONS  
 TYPE : 1360 DOUBLE WALL ABOVEGROUND VERTICAL  
 NO. REQ. :  
 MATERIAL : MILD CARBON STEEL  
 TEST : 1.5 TO 2.5 P.S.I.  
 MIN. GAUGE OR THICKNESS (PER U.L. 142):  
 INNER SHELL- 7GA. OUTER SHELL- 7GA.  
 INNER BOTTOM HEAD- 1/4" OUTER BOTTOM HEAD- 1/4"  
 SINGLE TOP HEAD- 10GA.

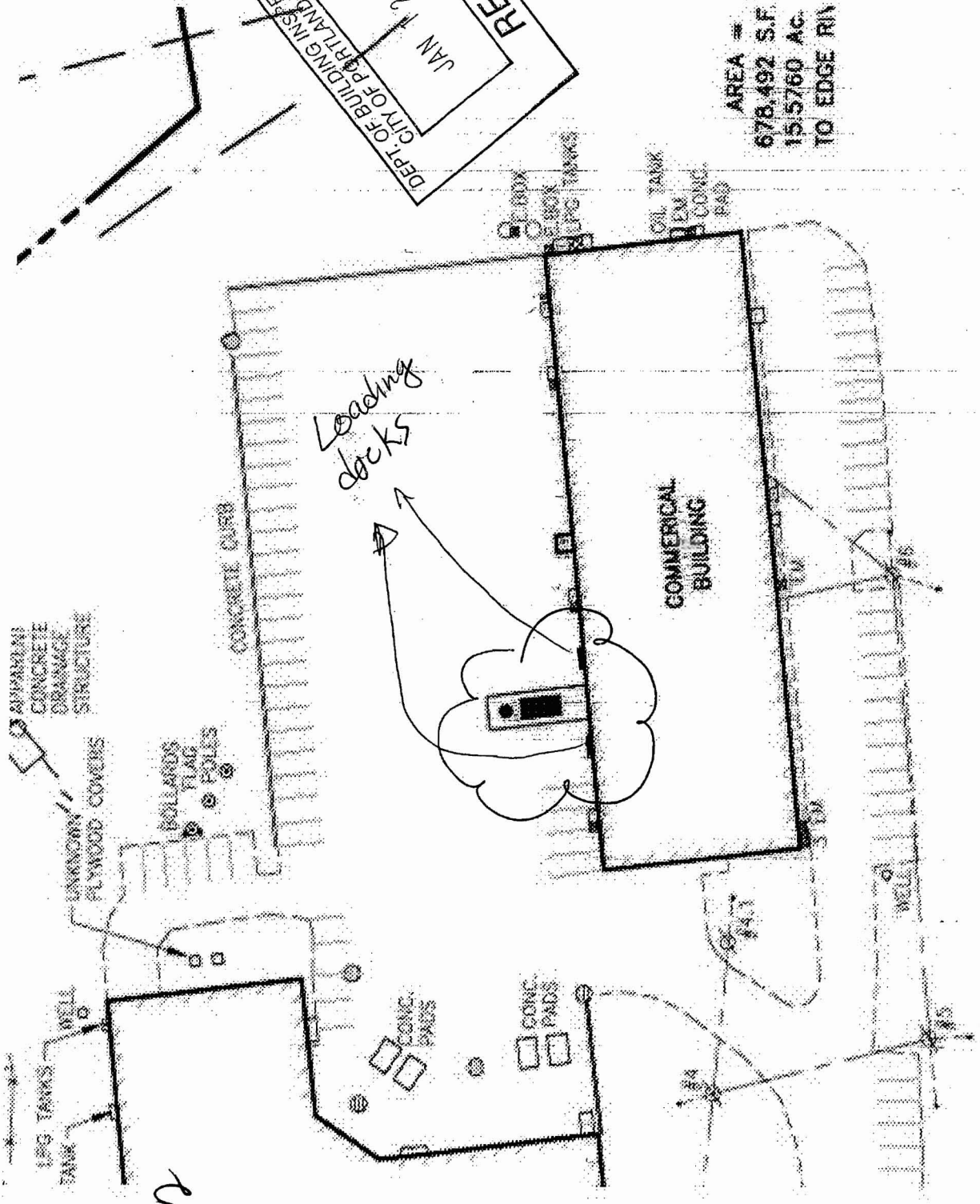
PAINT :  
 INTERIOR : NONE  
 EXTERIOR : RED PRIMER  
 CONSTRUCTION : FLAT BOTTOM HEADS, FLAT TOP HEAD.  
 LAP WELD ALL EXTERIOR SEAMS EXCEPT  
 BUTT WELD ALL LONGITUDINAL SEAMS  
 APPROVED LABELS : U.L. 142

REVISIONS				
 <b>Highland Tank</b>				
2000 GALLON ABOVEGROUND VERTICAL DOUBLE WALL TYPE 1360				
CUSTOMER:				
PROJECT:				
QUOTE NO:				
SCALE:	DATE:	DRAWN BY:	CHECKED BY:	DOB. NO.:
AS SHOWN	8-28-08			2KAYDWB4

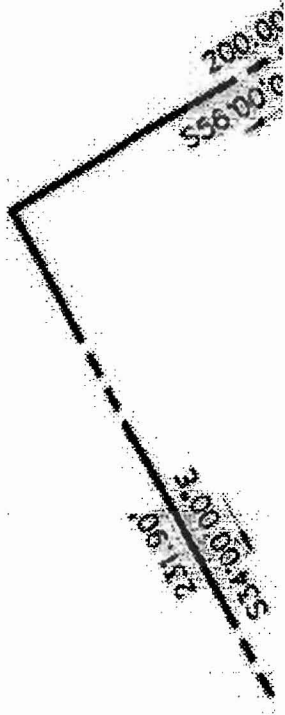
permit 01-1701

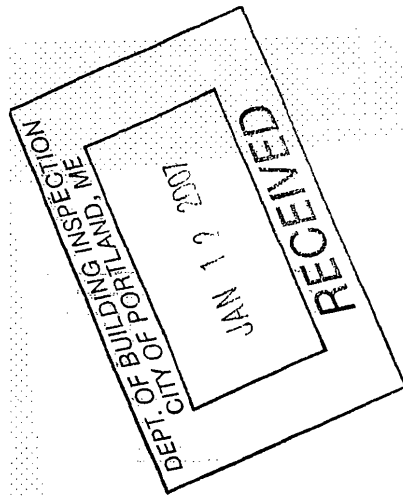
RECEIVED  
JAN 2 2007  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

AREA =  
678,492 S.F.  
15.5760 AC.  
TO EDGE RIN



See A 2





I-M Zone

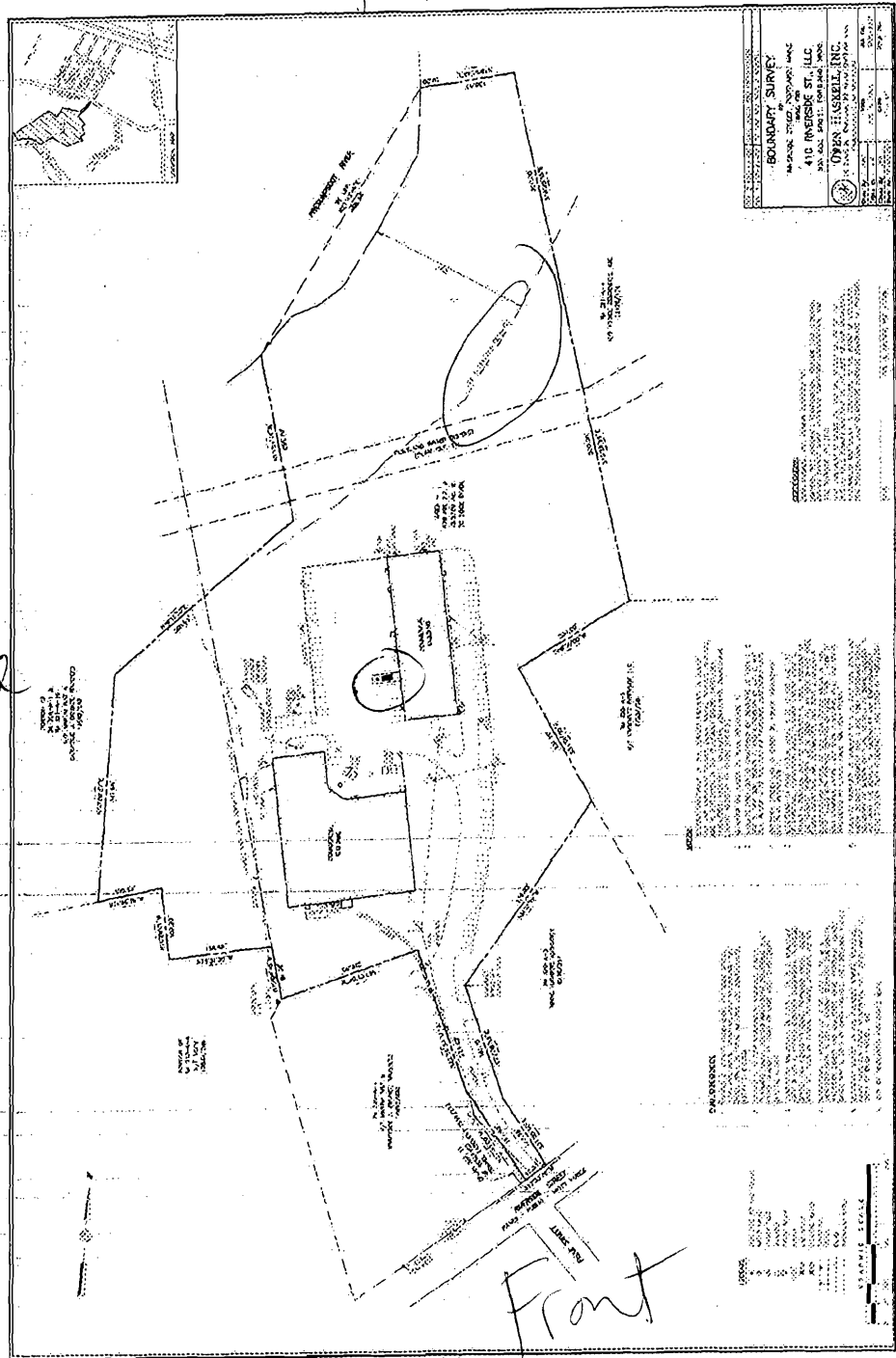
Presumpscot River

permit 06-1701

REAR

I-M Zone  
Front: NA  
REAR: 25' min  
well over 25'  
Side: 25' min  
well over 25'  
Side

OK  
A2  
1/16/07



doesn't Abut residential AL zone or use



- Bio Diesel - F/P 321° CC  
Dry Chem, Foam, C/O<sub>2</sub> III B Combustible

- Glycerin F/P 320° CC  
Inhalation, Absorption, III B combustible

- Methyl Alcohol F/P 51.80 II B Flammable <sup>poison</sup>  
Inh, Ing, Abs, + use Alcohol resistant foam.  
Vent Rea, Grounding, Bonding

Reactive  
↓

- Sodium Hydroxide - pellets. Corrosive  
Absorption Haz Burns, - Inh, Ing,  
+ Vent mixed w/ H<sub>2</sub>O then the Meth Alcohol

~~Mixed~~ Washed Bio where does the H<sub>2</sub>O go?

Steve Dixon SFMO 626-3890

Bob Bennedies NFPA 617-984-7433

Lisa ~~Olda~~ Kowski 773-6422

~~Bochstar~~ UC 100 Silver st



PORTION OF  
TM 320-A-1 &  
TM 321-A-10  
N/F MARTIN RIST &  
BARNYSUE J. BRUNET, TRUSTEES  
14592/292

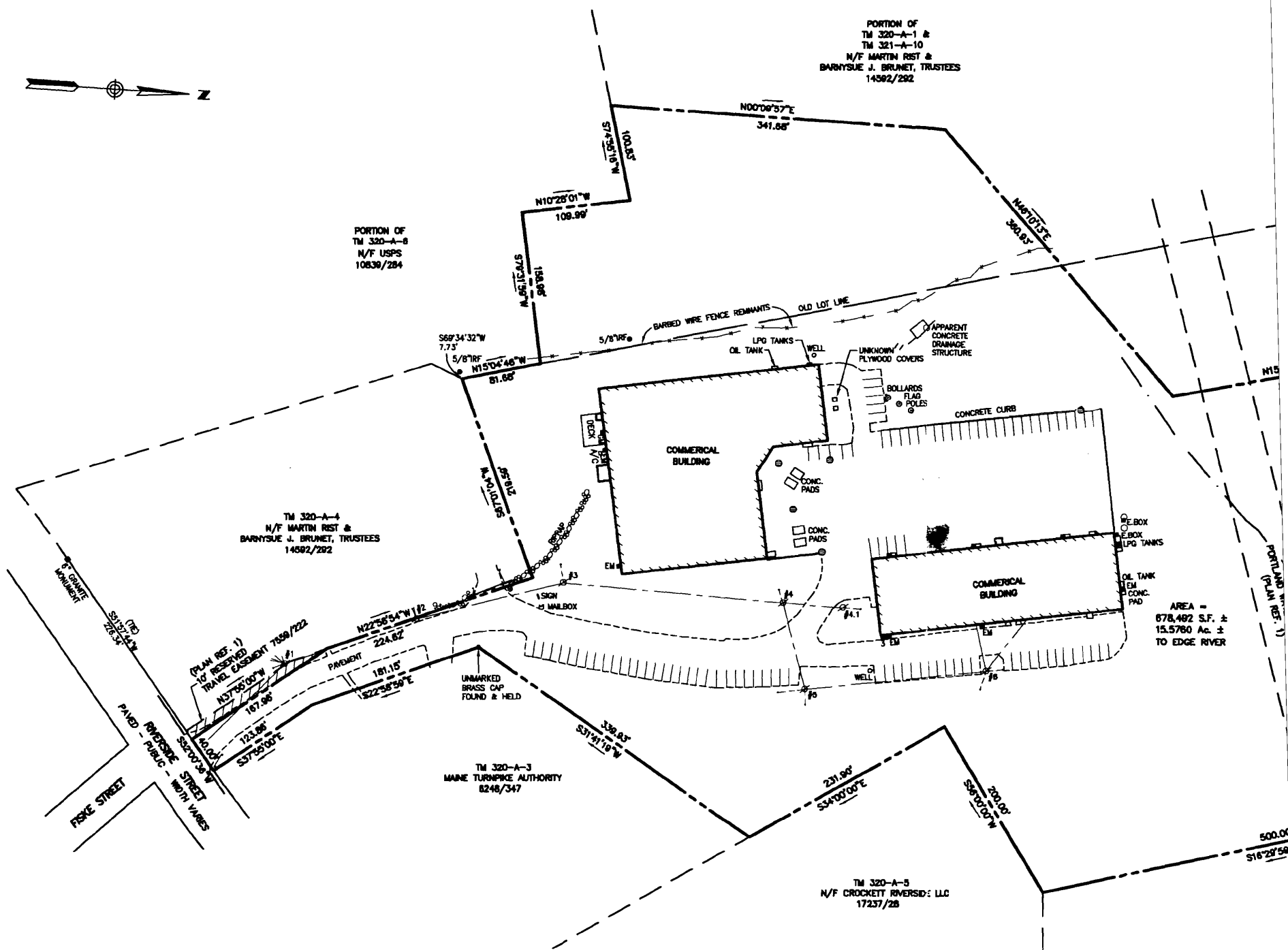
PORTION OF  
TM 320-A-8  
N/F USFS  
10839/284

TM 320-A-4  
N/F MARTIN RIST &  
BARNYSUE J. BRUNET, TRUSTEES  
14592/292

TM 320-A-3  
MAINE TURNPIKE AUTHORITY  
8248/347

TM 320-A-5  
N/F CROCKETT RIVERSIDE, LLC  
17237/28

AREA =  
678,492 S.F. ±  
15.5760 Ac. ±  
TO EDGE RIVER



**LEGEND:**

- IRON PIPE OR ROD FOUND
- WATER VALVE
- UTILITY POLE
- MANHOLE
- CATCH BASIN
- RIPRAP
- GM GAS METER
- EM ELECTRIC METER
- GUARDRAIL
- FENCE
- CURB
- OVERHEAD WIRES

**GRAPHIC SCALE**



**PLAN REFERENCES:**

1. "DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET, PORTLAND, MAINE, THIRD AMENDED RECORDING PLAT" DATED APRIL 30, 1996 BY LAND USE CONSULTANTS, 197/115, C.C.R.D.
2. "DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET, PORTLAND, MAINE, SECOND AMENDMENT RECORDING PLAT" DATED JANUARY 21, 1987 BY LAND USE CONSULTANTS 161/15, C.C.R.D.
3. "SUBDIVISION AMENDMENT OF LOTS 1, 1A, & 6, MCALISTER FARM & LOT 4, DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET AND MCALISTER DRIVE, PORTLAND, MAINE," DATED APRIL 27, 2005 BY SEBAGO TECHNICS, 205/398, C.C.R.D.
4. "SUBDIVISION - REVISED LOT 6 OF: LOTS 1, 1A, & 6, MCALISTER FARM & LOT 4, DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET AND MCALISTER DRIVE, PORTLAND, MAINE," DATED MAY 8, 2005 BY OWEN HASKELL, INC., 205/399, C.C.R.D.
5. "BOUNDARY SURVEY ON 470 RIVERSIDE STREET, PORTLAND, MAINE MADE FOR PENDE ASSOCIATES, INC." DATED MARCH 22, 2004 BY OWEN HASKELL, INC.
6. CITY OF PORTLAND'S ASSESSOR'S MAPS.

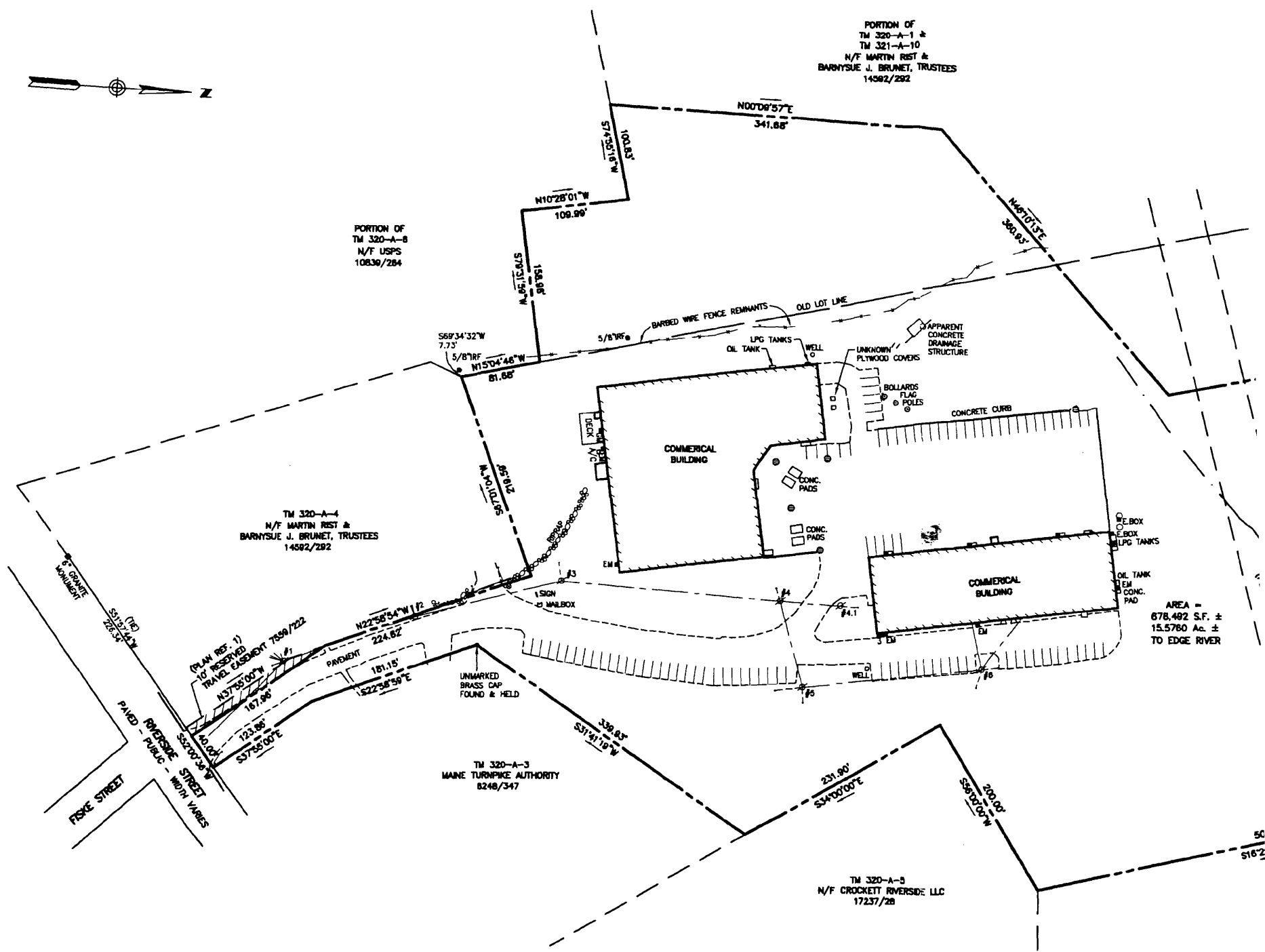
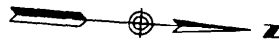
**NOTES:**

1. RECORD OWNERSHIP OF THE SUBJECT PROPERTY IS MARTIN RIST AND BARNYSUE BRUNET, (A.K.A. BONNIE BRUNET) TRUSTEES, AND IS REFLECTED IN THE FOLLOWING DEEDS: 14592/292, 17989/303, 22280/17, 23429/140, 23429/143, CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED ON PLAN REFERENCE 1.
3. SUBJECT PROPERTY IS COMPRISED OF PORTIONS OF LOTS 1, 2, AND 6, MAP 320, BLOCK A, AND A PORTION OF LOT 5, MAP 321, BLOCK A OF THE CITY OF PORTLAND ASSESSORS MAPS.
4. RIVERSIDE STREET LINE IS BASED ON FOUND MONUMENTS AND PLAN REFERENCE 1.
5. ACCORDING TO FEMA F.I.R.M. PANEL 8 OF 17 FOR THE CITY OF PORTLAND, COMMUNITY-PANEL NUMBER 230051 0008 C, HAVING A REVISION DATE OF DECEMBER 8, 1998, PORTIONS OF THE SUBJECT PROPERTY LIE IN ZONE AE, AN AREA WHERE BASE FLOOD ELEVATIONS ARE DETERMINED, AND ZONE X, WHICH IS DESCRIBED AS: "AREAS OF 500 YEAR FLOOD; AREAS OF 100 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD."
6. SURVEYED PROPERTY IS SUBJECT TO A 50 FOOT WIDE PORTLAND WATER DISTRICT EASEMENT AND A 250 FOOT SHORELAND ZONE BOUNDARY AS SHOWN ON PLAN, AS WELL AS BEING SUBJECT TO AND WITH THE BENEFIT OF EASEMENTS AND ENCUMBRANCES REFLECTED ON PLAN REFERENCE 1 AND LISTED IN 14592/292.

**CERTIFICATION:**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON A GROUND FIELD SURVEY AND BELIEVED TO BE ACCURATE FOR PROFESSIONAL LAND SURVEYING PURPOSES.

DATE



**PLAN REFERENCES:**

1. "DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET, PORTLAND, MAINE, THIRD AMENDED RECORDING PLAT" DATED APRIL 30, 1996 BY LAND USE CONSULTANTS, 187/115, C.C.R.D.
2. "DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET, PORTLAND, MAINE, SECOND AMENDED RECORDING PLAT" DATED JANUARY 21, 1987 BY LAND USE CONSULTANTS 161/115, C.C.R.D.
3. "SUBDIVISION AMENDMENT OF LOTS 1, 1A, & 5, MCALISTER FARM & LOT 4, DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET AND MCALISTER DRIVE, PORTLAND, MAINE," DATED APRIL 27, 2005 BY SEBAGO TECHNIQS, 205/398, C.C.R.D.
4. "SUBDIVISION - REVISED LOT 6 OF: LOTS 1, 1A, & 5, MCALISTER FARM & LOT 4, DONALD O. BUTLER SUBDIVISION, RIVERSIDE STREET AND MCALISTER DRIVE, PORTLAND, MAINE," DATED MAY 6, 2005 BY OWEN HASKELL, INC., 205/399, C.C.R.D.
5. "BOUNDARY SURVEY ON 470 RIVERSIDE STREET, PORTLAND, MAINE MADE FOR PENDE ASSOCIATES, INC." DATED MARCH 22, 2004 BY OWEN HASKELL, INC.
6. CITY OF PORTLAND'S ASSESSOR'S MAPS.

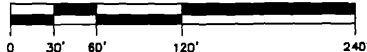
**NOTES:**

1. RECORD OWNERSHIP OF THE SUBJECT PROPERTY IS MARTIN REST AND BARNYSUE BRUNET, (A.K.A. BONNIE BRUNET) TRUSTEES, AND IS REFLECTED IN THE FOLLOWING DEEDS: 14582/292, 17989/303, 22290/17, 23429/140, 23429/143, CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED ON PLAN REFERENCE 1.
3. SUBJECT PROPERTY IS COMPRISED OF PORTIONS OF LOTS 1, 2, AND 5, MAP 320, BLOCK A, AND A PORTION OF LOT 5, MAP 321, BLOCK A OF THE CITY OF PORTLAND ASSESSOR'S MAPS.
4. RIVERSIDE STREET LINE IS BASED ON FOUND MONUMENTS AND PLAN REFERENCE 1.
5. ACCORDING TO FEMA F.I.R.M. PANEL B OF 17 FOR THE CITY OF PORTLAND, COMMUNITY-PANEL NUMBER 2300S1 0006 C, HAVING A REVISION DATE OF DECEMBER 8, 1998, PORTIONS OF THE SUBJECT PROPERTY LIE IN ZONE AE, AN AREA WHERE BASE FLOOD ELEVATIONS ARE DETERMINED, AND ZONE X, WHICH IS DESCRIBED AS: "AREAS OF 500 YEAR FLOOD; AREAS OF 100 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD."
6. SURVEYED PROPERTY IS SUBJECT TO A 50 FOOT WIDE PORTLAND WATER DISTRICT EASEMENT AND A 250 FOOT SHORELAND ZONE BOUNDARY AS SHOWN ON PLAN, AS WELL AS BEING SUBJECT TO AND WITH THE BENEFIT OF EASEMENTS AND ENCUMBRANCES REFLECTED ON PLAN REFERENCE 1 AND LISTED IN 14582/292.

**LEGEND:**

- IRON PIPE OR ROD FOUND
- WATER VALVE
- UTILITY POLE
- MANHOLE
- CATCH BASIN
- RIPRAP
- GM GAS METER
- EM ELECTRIC METER
- GUARDRAIL
- FENCE
- CURB
- OVERHEAD WIRES

**GRAPHIC SCALE**



AREA =  
678,482 S.F. ±  
15.5780 Ac. ±  
TO EDGE RIVER

**CERTIFICATION:**  
OWEN HASKELL, INC.  
LAWYERS TITLE INSURANCE  
NORWAY SAVINGS BANK  
410 RIVERSIDE ST.,  
PORTLAND, MAINE 04101  
THAT THIS PLAN IS  
GROUND FIELD SURVEY  
INFORMATION AND BASIS  
FOR PROFESSIONAL  
SERVICES.

DATE