

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No. 02-0029	Issue Date: FEB 18 2002	CBL: 320 A002001
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Location of Construction: 400 Riverside St	Owner Name: Rist/brunet Family Trust	Owner Address: 400 Riverside St # A7	Phone: 207-749-3467
Business Name: n/a	Contractor Name: Sunrise Builders	Contractor Address: 105 Lincoln Street South Portland	Phone: 2077994477
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: I-M

Past Use: Commercial ; Vacant for one month, prior use was office / machine shop / warehouse.	Proposed Use: Commercial ; Office / Storage / Woodshop. Office alterations.	Permit Fee: \$93.00	Cost of Work: \$10,000.00	CEO District: 1
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Proposed Project Description: Office Alterations <i>within Woodshop</i>	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: S-1 Type: JB BOCA 99
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Permit Taken By: gg	Date Applied For: 01/10/2002	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>OK [Signature] 1/14/02</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

20029

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

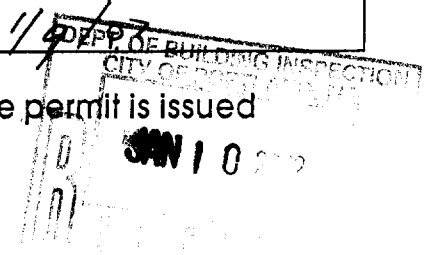
Location/Address of Construction:		400 Riverside Unit E-3, Portland	
Total Square Footage of Proposed Structure 4000 sqft		Square Footage of Lot <u>1 23 Acres</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>320/321/32 A</u> <u>214</u>		Owner: Rist/Brunet Family Trust C/o The Galloway Group	Telephone: 749-3467
Lessee/Buyer's Name (If Applicable) PanTim Wood Products	Applicant name, address & telephone: Sunrise Builders 105 Lincoln Street South Portland, ME 04106 799-4477	Cost Of Work: \$ 10'000	Fee: \$ <u>93.00</u>
Current use: <u>Vacant for 1 month</u>			
If the location is currently vacant, what was prior use: <u>office / machine shop / warehouse</u>			
Approximately how long has it been vacant: <u>1 month</u>			
Proposed use: <u>office / storage / woodshop</u>			
Project description: <u>office alteration</u>			
Contractor's name, address & telephone:		Sunrise Builders 105 Lincoln Street South Portland, ME 799-4477	
Who should we contact when the permit is ready:		<u>XX call</u>	
Mailing address:		Phone: <u>799-4477</u>	

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

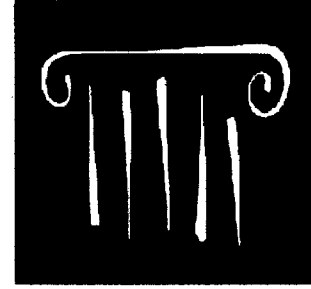
Signature of applicant: <u>[Signature]</u>	Date: <u>11/27/07</u>
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This is not a permit, you may not commence ANY work until the permit is issued



February 4, 2002

Mr. Mike Nugent
City of Portland
Inspections Office, Room 315
389 Congress St.
Portland, ME 04101



**PORT ■ CITY
ARCHITECTURE**

761-9000

RE: **400 RIVERSIDE AVE, PANTIM CO.**

Dear Mike,

As we discussed last Thursday, Port City Architecture has been retained by the Galloway Group (owners of 400 Riverside) to assist with any code related requirements for alterations begun by one of their tenants, Pantim Co. As per your request we have reviewed the BOCA requirements for separations between Use groups and have noted those findings below:

Existing Conditions:

Mixed Occupancies in building:

S1 Moderate storage (Pantim), B Business (Medquist), F1 Moderate Industrial (Vortex)

Building Construction:

3B, Masonry or other noncombustible exterior walls, Wood interior structure.

Total Square footage of building:

1st floor: 20,000sf 2nd Floor: 1,875

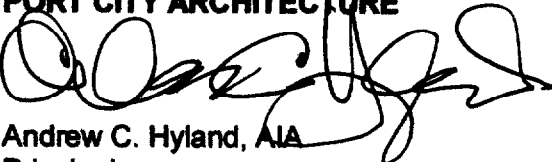
Code Analysis for mixed-use buildings:

Section 313 of BOCA describes how to accommodate mixed uses within the same building. The uses can be separated with assemblies as per table 313.1.2 or they can remain nonseparated as per 313.1.1 provided that the building complies with the area and height limitations for the most restrictive of the uses.

In this case the S1 limitations are most restrictive and allow for 8,400 sf per floor and 2 stories for type 3B construction. This can be increased to an allowable 21,000 sf per floor as per 506.2 for street frontage. Because this building is 20,000 sf and is of type 3B construction, the use groups do not have to be separated. All other code requirements shall apply to each portion of the building based on its individual use group. Table 602 shall apply requiring all exits and shafts to be 1 hour rated. Interior structural elements do not require protective enclosure for fire. Tenant spaces and the separations between uses are also not required to be rated.

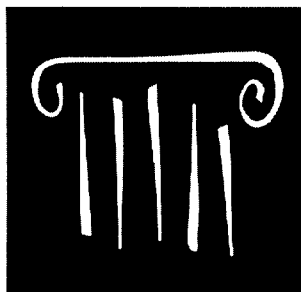
If you have any questions or comments about our analysis, please feel free to call.

Sincerely,
PORT CITY ARCHITECTURE



Andrew C. Hyland, AIA
Principal

ACH/cb



PORT ■ CITY
ARCHITECTURE February 4, 2002

Mr. Mike Nugent
City of Portland
Inspections Office, Room 315
389 Congress St.
Portland, ME 04101

RE: **400 Riverside Ave, Pantim Co.**

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PORT CITY ARCHITECTURE

Andrew C. Hyland, AIA
Principal

ACH/cb

Application ID Number: 2-0029

Department: Zoning

Status: Pending

Reviewer: Marge Schmuckal

Comments: 400 Riverside St

Approval Date: 01/14/2002

Sign By Date: 01/11/2002

OK to Issue Permit Name: Marge Schmuckal Date: 01/14/2002

Conditions Section:

Separate permits shall be required for any new signage.

Create Date: 01/11/2002 By: gg Update Date: 01/14/2002 By: mes

February 4, 2002

Mr. Mike Nugent
City of Portland
Inspections Office, Room 315
389 Congress St.
Portland, ME 04101



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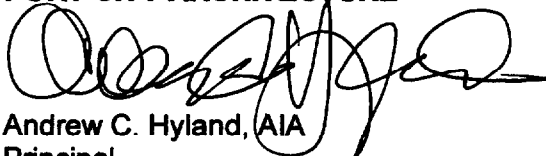
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Sincerely,
PORT CITY ARCHITECTURE



Andrew C. Hyland, AIA
Principal

ACH/cb

February 8, 2002



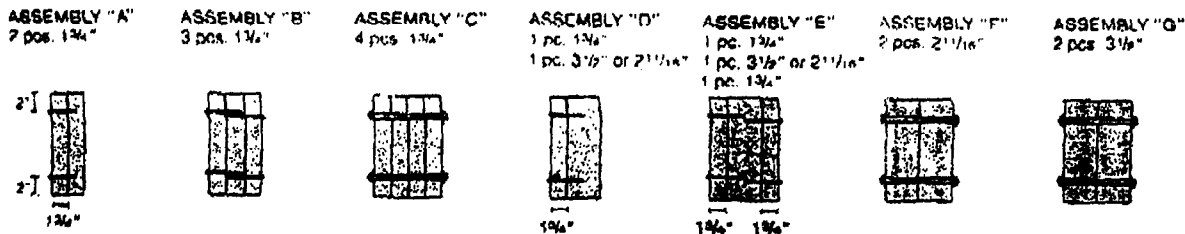
ESTIMATE OF PROBABLE COST

Pantim Wood Products

General Conditions	1	LS	\$2,500	\$2,500
Demo Mezz and Stairs	1	LS	\$3,500	\$2,500
Demo Walls	100	LF	\$3	\$300
Misc Demo	1	LS	\$500	\$500
Partitions	38	LF	\$20	\$760
Sheetrock Ceiling System	630	SF	\$2.25	\$1,417
Sheetrock Wall System	1440	SF	\$2.00	\$2,880
New Beam and Post	1	EA	\$400	\$400
Doors w/ hardware	3	EA	\$800	\$2,400
SAT Repairs	1	LS	\$1,000	\$1,000
Carpet and Flooring	1980	SF	\$2	\$3,960
Paint and Finishes	1	LS	\$2,000	\$2,000
Mechanical	N/A			
Electrical	1	LS	\$5,000	\$5,000
O & P @ 15% + 10%				\$6,404
Total				\$32,021

MICRO=LAM® LVL & PARALLAM® PSL HEADERS & BEAMS

SIDE-LOADED CONNECTION FOR MULTIPLE MEMBER BEAMS



	470	705	505	1010
	NOT APPLICABLE		340	680
	310	465	460	820
	NOT APPLICABLE		860	1720

EXAMPLE PROBLEM

SOLUTION: First, check allowable load tables to verify that 3 pos. can carry the total load of 700 plf with proper live load deflection criteria. Minimum live load spacing is either 6\"/>

NOTES:

1. Verify adequacy of beam in uniform load tables, pages 22 and 23.
2. Values listed are for 100% stress level. Increase 15% for snow loaded roof conditions or 25% for non-snow roof conditions, where code allows.
3. "Nailed connection" values may be doubled for 6" o.c. or tripled for 4" o.c. nail spacing.
4. Bolts are to be material conforming to ASTM standard A307 (machine bolts). Bolt holes are to be the same diameter as the bolt, and located 2" from the top and bottom of the member. Washers should be used under head and nut.
5. For a three-piece member, the nailing specified is from each side.
6. 7"-wide beams should only be side-loaded when loads are applied to both sides of the members (to minimize rotation).
7. Beams wider than 7" require special consideration by the design professional.

FLOOR BEAM SIZING TABLE

GENERAL NOTES:

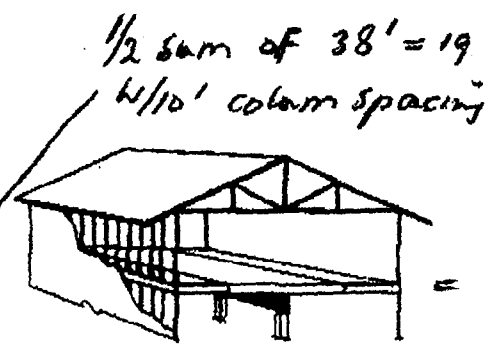
1. Table may be used to size 2.0E ES MICRO=LAM® LVL or 2.0E ES Parallam® PSL beams
2. Table assumes a residential floor loading of 40 psf live load and 12 psf dead load with beam deflection limited to L/360 at live load. For other loading conditions refer to allowable uniform load tables on page 22 or contact your Trus Joist MacMillan representative for assistance.
3. Table assumes a continuous floor joist span and a simple or continuous beam span.
4. Reduction in live load has been applied in accordance with UBC 2306, NBC 1115.1 and SBC 1203.2.
5. Support beam ends with double trimmers (3" bearing). At intermediate supports of continuous spans use 5 trimmers (7.5" bearing). In gray shaded portion of table, use 3 trimmers (4.5" bearing) at beam ends and 7 trimmers (10.5" bearing) at intermediate supports of continuous spans. See page 27 for information on Parallam® PSL columns and posts.

6. Beam widths of 3 1/2" and 5 1/2" may be one piece or multiple pieces as shown in the following chart:

BEAM DEPTH	BEAM WIDTH	
	Two 1 3/4"	Three 1 3/4"
3 1/2"		
5 1/2"		

Multiple member beams must be properly connected together. See above and page 20 for connection details.

	3 1/2" x 8 1/2"	3 1/2" x 9 1/2"	3 1/2" x 9 1/2"	5 1/2" x 9 1/2"	5 1/2" x 9 1/2"	5 1/2" x 9 1/2"	5 1/2" x 9 1/2"	5 1/2" x 9 1/2"	5 1/2" x 9 1/2"	5 1/2" x 9 1/2"
	3 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"	5 1/2" x 11 1/2"
	3 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"	5 1/2" x 14"
	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"	5 1/2" x 16"

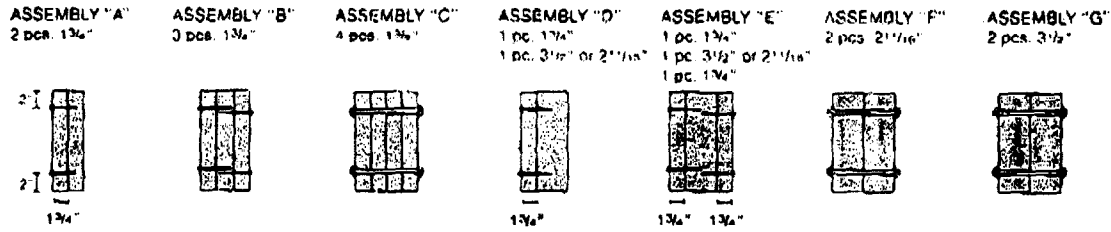


Non-shaded portion indicates area of load on beam.

page 2 of 2

MICRO=LAM® LVL & PARALLAM® PSL HEADERS & BEAMS

SIDE-LOADED CONNECTION FOR MULTIPLE MEMBER BEAMS



	470	705	505	1010
1 3/4"				
2 1/4"	NOT APPLICABLE	340	680	
3 1/4"	340	510	505	1010
4 1/4"	310	465	460	920
5 1/4"	NOT APPLICABLE			
6 1/4"	NOT APPLICABLE		860	1720

EXAMPLE PROBLEM

SOLUTION: First, check allowable load tables to verify that 3 pcs. can carry the total load of 730 plf with proper live load deflection criteria. Maximum load applied to either outside member is 300 plf. For a 10\"/>

NOTES:

1. Verify adequacy of beam in uniform load tables, pages 22 and 23.
2. Values listed are for 100% stress level. Increase 15% for snow loaded roof conditions or 25% for non-snow roof conditions, where code allows.
3. "Nailed connection" values may be doubled for 6" o.c. or tripled for 4" o.c. nail spacing.
4. Bolts are to be material conforming to ASTM standard A307 (machine bolts). Bolt holes are to be the same diameter as the bolt, and located 2" from the top and bottom of the member. Washers should be used under head and nut.
5. For a three-piece member, the nailing specified is from each side.
6. 7"-wide beams should only be side-loaded when loads are applied to both sides of the members (to minimize rotation).
7. Beams wider than 7" require special consideration by the design professional.

FLOOR BEAM SIZING TABLE

GENERAL NOTES:

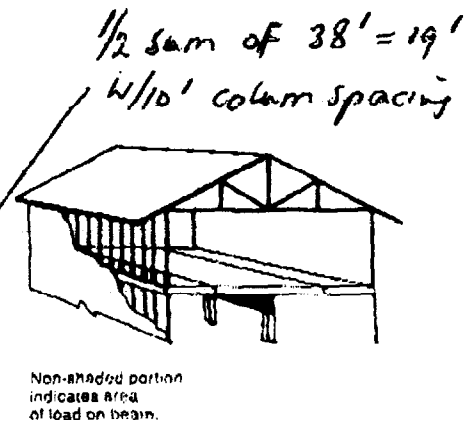
1. Table may be used to size 2.0E ES MICRO=LAM® LVL or 2.0E ES Parallam® PSL beams.
2. Table assumes a residential floor loading of 40 psf live load and 10 psf dead load with beam deflection limited to L/360 at two loads. For other loading conditions refer to allowable uniform load tables on page 22 or contact your Tris Joist/MacMillan representative for assistance.
3. Table assumes a continuous floor system and a simple or continuous beam span.
4. Reduction in live load has been applied in accordance with UBC 2306, NBC 1115.1 and SBC 1203.2.
5. Support beam ends with double trimmers (3" bearing). At intermediate supports of continuous spans use 5 trimmers (7.5" bearing). In gray shaded portion of table, use 3 trimmers (4.5" bearing) at beam ends and 7 trimmers (10.5" bearing) at intermediate supports of continuous spans. See page 27 for information on Parallam® PSL columns and posts.

6. Beam widths of 3 1/4" and 5 1/4" may be one piece or multiple pieces as shown in the following chart.

BEAM DEPTH:	BEAM WIDTH:	
	3 1/4"	5 1/4"
5 1/2" & 7 1/4"	Two 1 3/4"	Three 1 3/4"
9 1/2" & 11"	One 3 1/4" or Two 1 3/4"	One 5 1/4" or Two 1 3/4"

Multiple member beams must be properly connected together. See above and page 20 for connection details.

Column Spacing	11'	12'	14'	16'	18'	20'
10'	3 1/2" x 9 1/2"	3 1/2" x 9 1/2"	3 1/2" x 9 1/2"	5 1/4" x 9 1/2"	5 1/4" x 9 1/2"	5 1/4" x 9 1/2"
12'	5 1/4" x 9 1/2"	5 1/4" x 9 1/2"	3 1/2" x 11 7/8"	3 1/2" x 11 7/8"	3 1/2" x 11 7/8"	3 1/2" x 11 7/8"
14'	5 1/4" x 11 7/8"	5 1/4" x 11 7/8"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 14"
16'	5 1/4" x 14"	5 1/4" x 14"	3 1/2" x 16"	3 1/2" x 16"	3 1/2" x 16"	3 1/2" x 16"
18'	5 1/4" x 16"	5 1/4" x 16"	3 1/2" x 18"	3 1/2" x 18"	3 1/2" x 18"	3 1/2" x 18"
20'	5 1/4" x 18"	5 1/4" x 18"	3 1/2" x 18"	3 1/2" x 18"	3 1/2" x 18"	3 1/2" x 18"





838-3808

Page 1 of 2

To: Dave Cadell

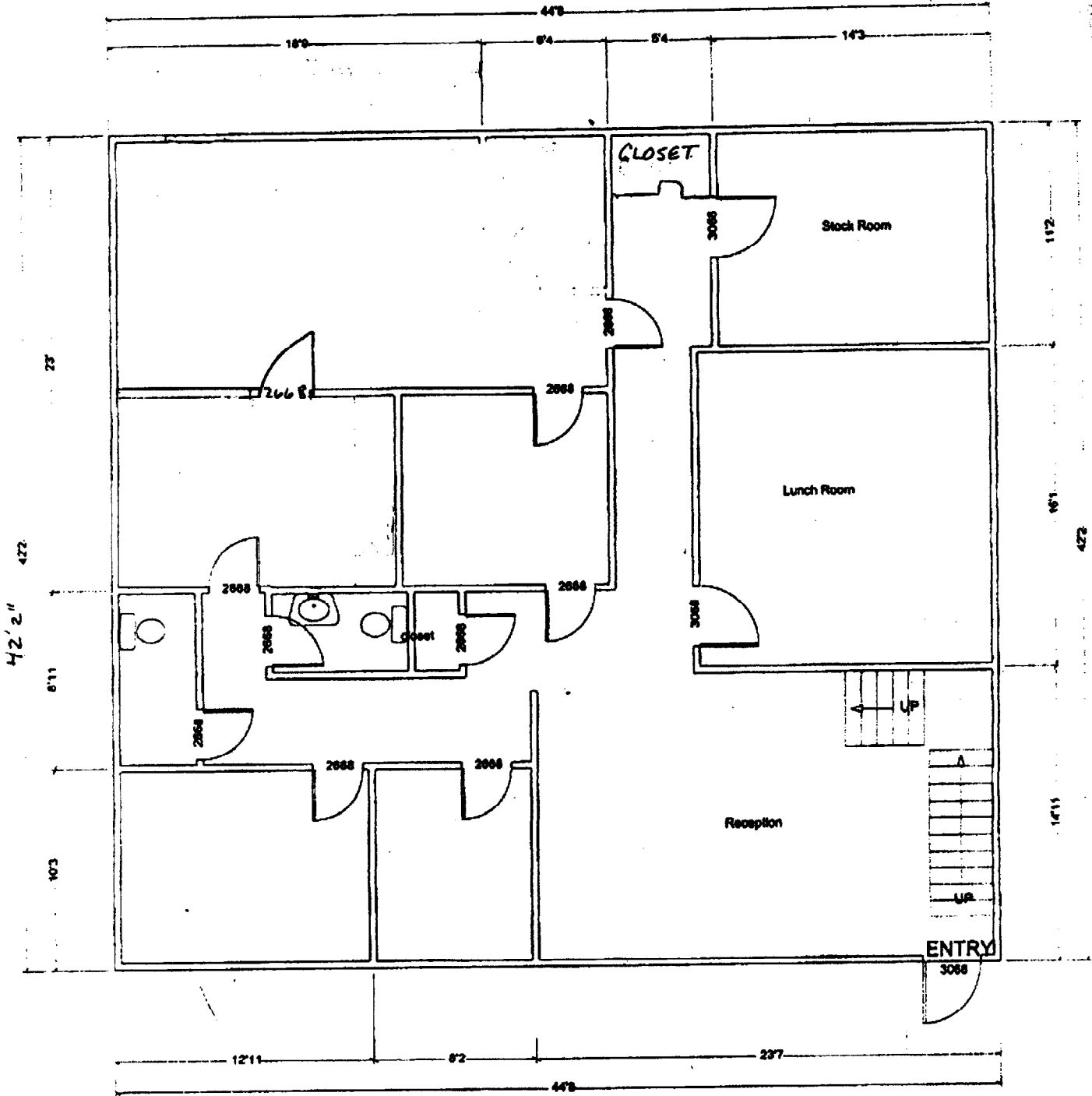
Building Inspector City of Portland

Fax # 874-8716

Following headers will be used
as recommended by manufacturer:

" 3 1/2 x 11 7/8 Parallel PSL "

Plan



SUITE E-2 1875 Square Feet
 400 RIVERSIDE ST.
 PORTLAND, MAINE

2nd floor

CBL

STREET ADDRESS

400 Riverside

DATE

TIME

CONTACT

NARRATIVE

INITIALS

DATE	TIME	CONTACT	NARRATIVE	INITIALS
			Both	
			① Identify Use Curved	Office
			② 2nd Floor Flat Plan	Woods
			Meal On-Site Mon 1/28 9:30	
			MSM & DC	
			③ Header Span of 10' with 8'x8' beam	
1/24/02	2:15		Called Sunrise left message for call back regarding 8'x8' beam 10' span	
	3:40		Spoke with the Sunrise He will contact lumber yard for the 1x4 and have spec sheet faxed over	
1/30			Separation Between S1 & B use require 3HR separation Buckler Advised	

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

N/A **Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

_____ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

_____ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

Signature of Inspections Official

Date

Date

CBL: 320 A002 Building Permit #: 02 0029

Handwritten notes on the left margin: "13", "13 1610 10", and "at 0719 10".

Handwritten mark on the left margin: a checkmark.

Handwritten dates: "2/18/02" and "2/19/02".

Handwritten signatures over the signature lines.

Date: 1/10/2002

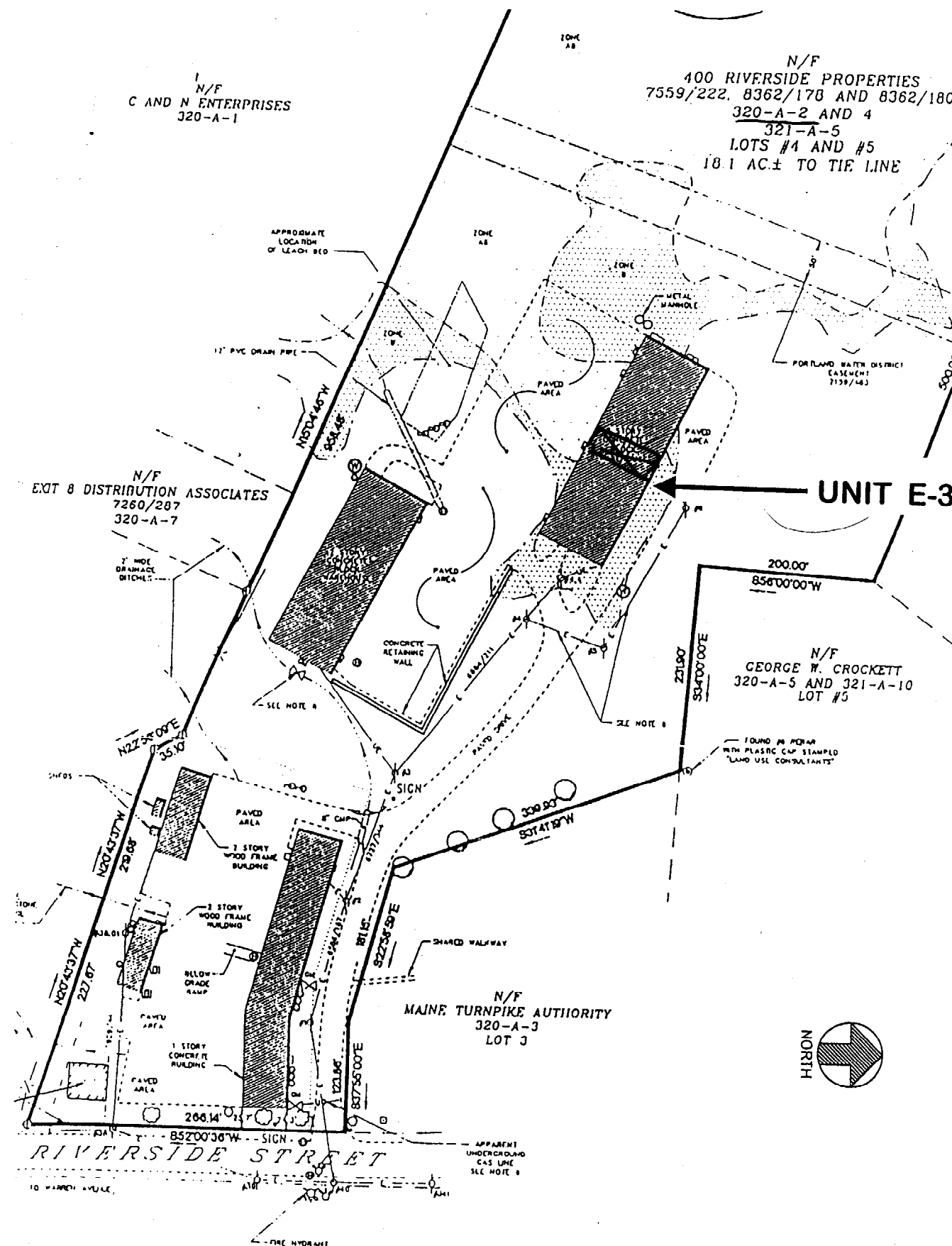
Project:
RENOVATION UNIT E-3
400 RIVERSIDE STREET
PORTLAND, ME

Contractor:
Sunrise Builders Inc.
105 Lincoln Street
South Portland, ME 04106
799-4477

Lessee:
PanTim Wood Product
400 Riverside, Unit E-3
Portland, ME 04104
799-0010

OWNER:
The Galloway Group
400 Riverside
Portland, ME 04103
749-3467

Plan: : SITE Plan



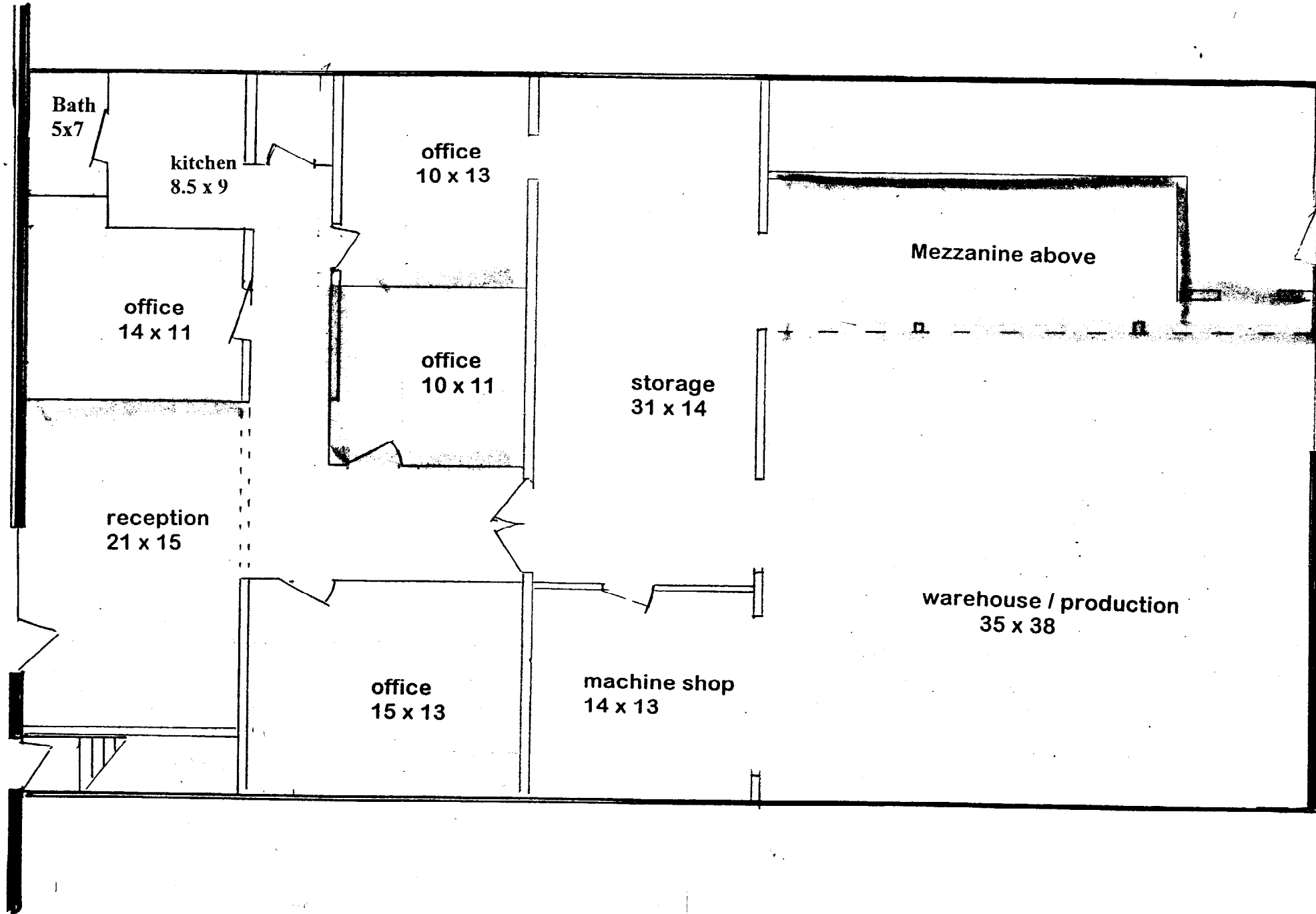
Date: 1/10/2002





Project:
RENOVATION UNIT E-3
400 RIVERSIDE STREET
PORTLAND, ME

Contractor:
Sunrise Builders Inc.
105 Lincoln Street
South Portland, ME 04106
799-4477

Lessee:
PanTim Wood Product
400 Riverside, Unit E-3
Portland, ME 04104
799-0010

OWNER:
The Galloway Group
400 Riverside
Portland, ME 04103
749-3467



-  concrete block
-  structural interior wall
-  no load partitions
(up to suspended ceiling)
-  *demolition*

Plan: A: Existing walls

Scale: 1/8" = 1'

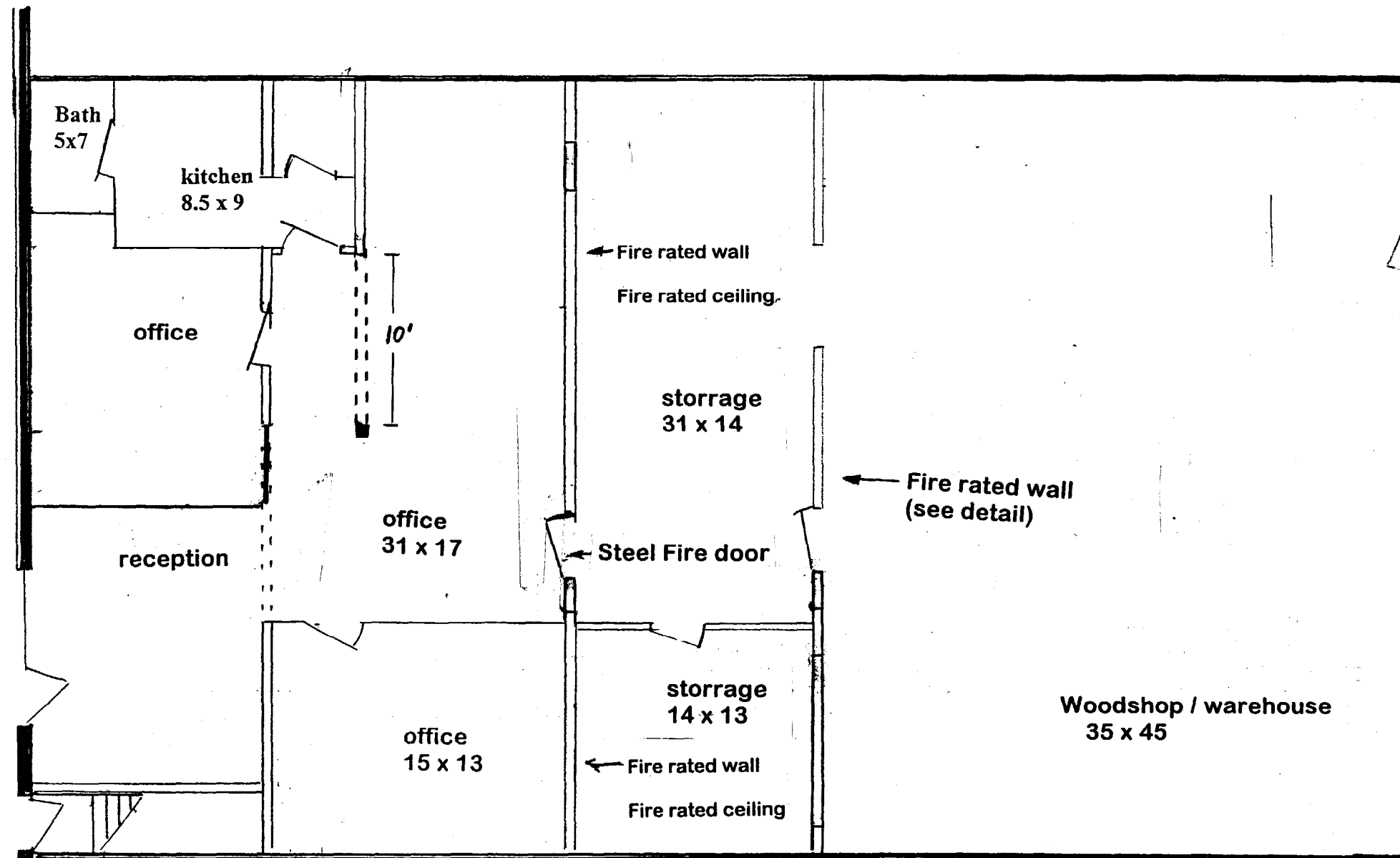
Date: 1/10/2002

Project:
RENOVATION UNIT E-3
400 RIVERSIDE STREET
PORTLAND, ME

Contractor:
Sunrise Builders Inc.
105 Lincoln Street
South Portland, ME 04106
799-4477

Lessee:
PanTim Wood Product
400 Riverside, Unit E-3
Portland, ME 04104
799-0010

OWNER:
The Galloway Group
400 Riverside
Portland, ME 04103
749-3467



Concrete block
structural interior wall
no load partitions
(up to suspended ceiling)

new partitions
new structural header
with 4 x 4 post

Plan: B: New Floorplan

Scale: 1/8" = 1'

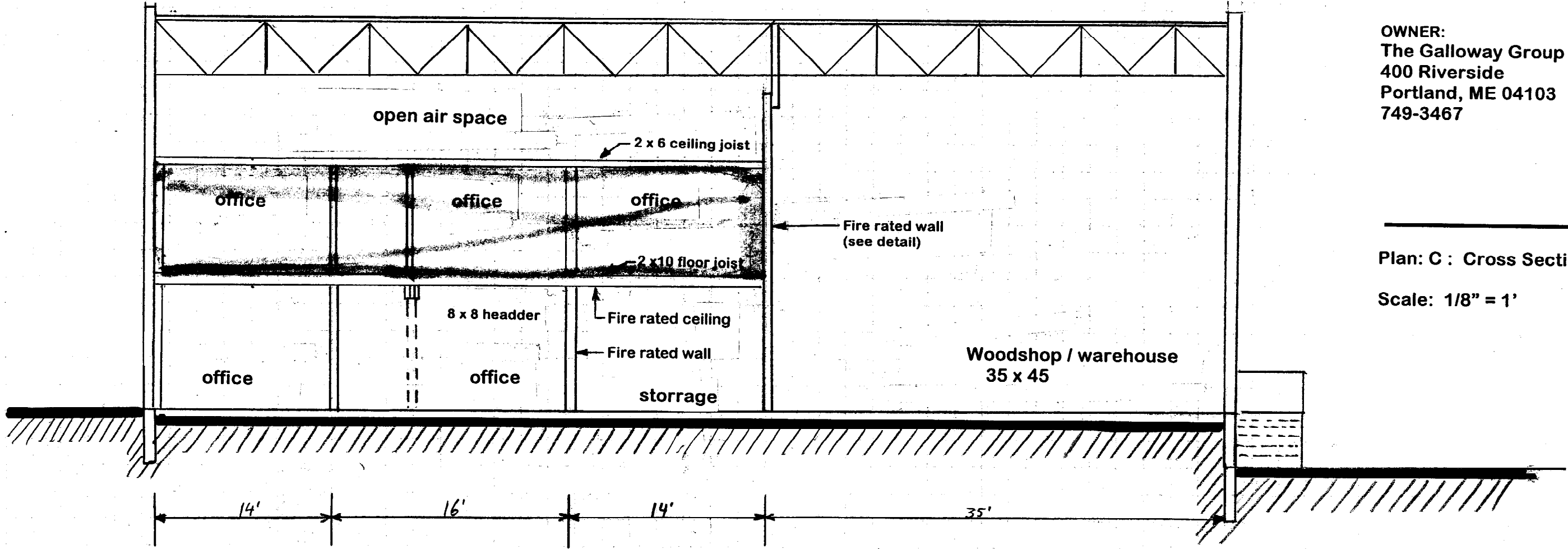
Date: 1/10/2002

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Plan: C : Cross Section

Scale: 1/8" = 1'

other tenant

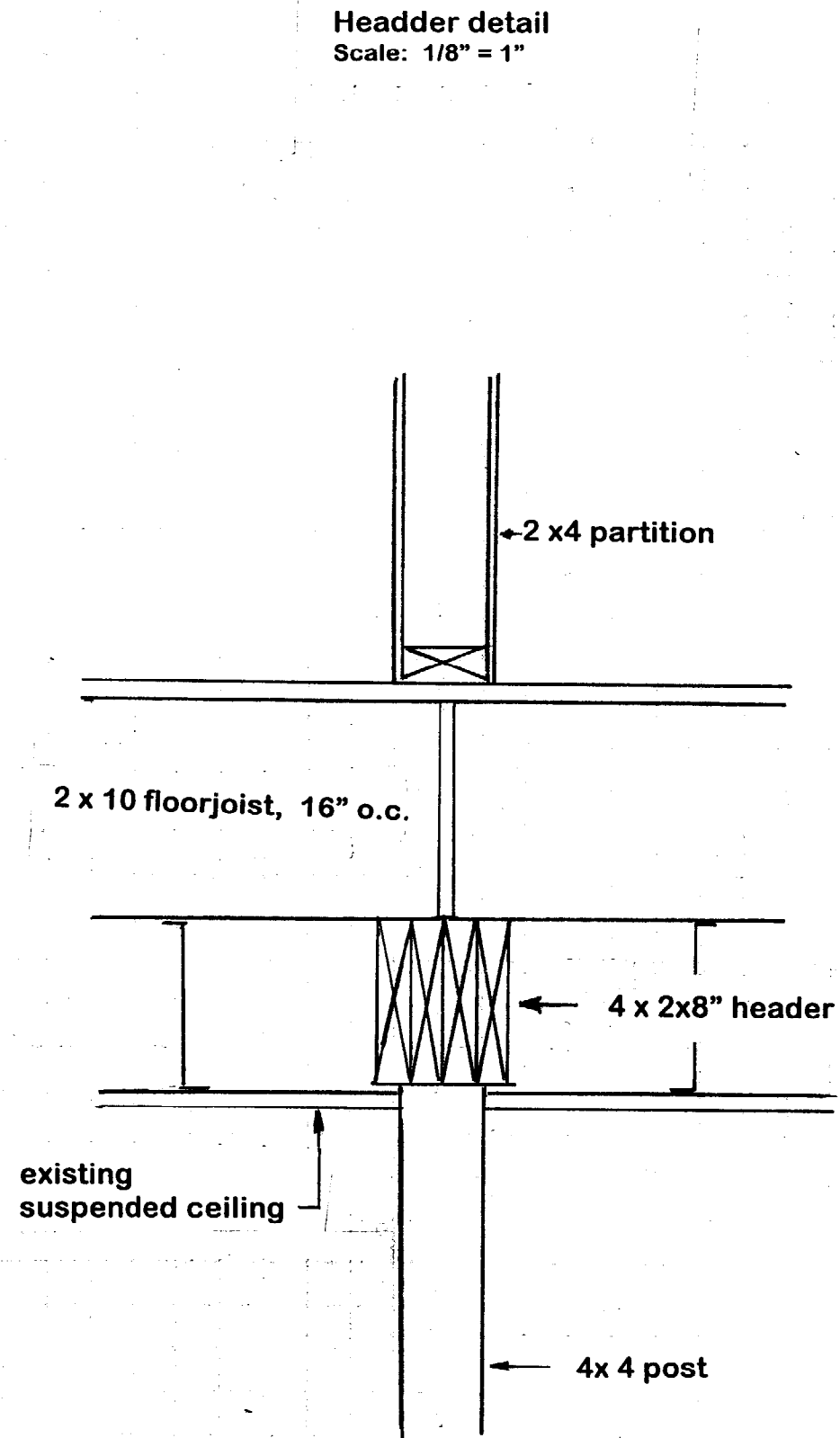
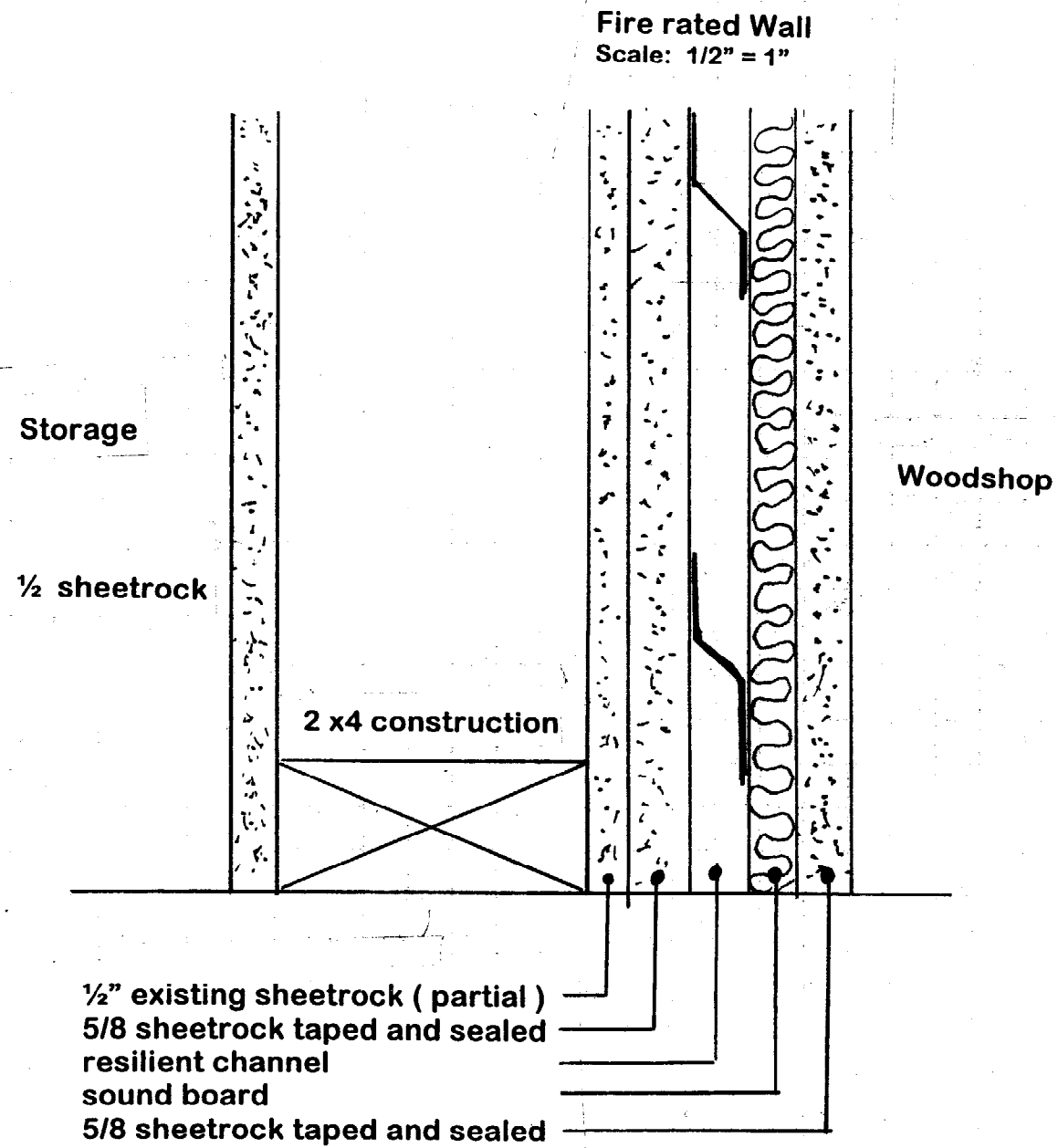
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Plan: D : DETAILS

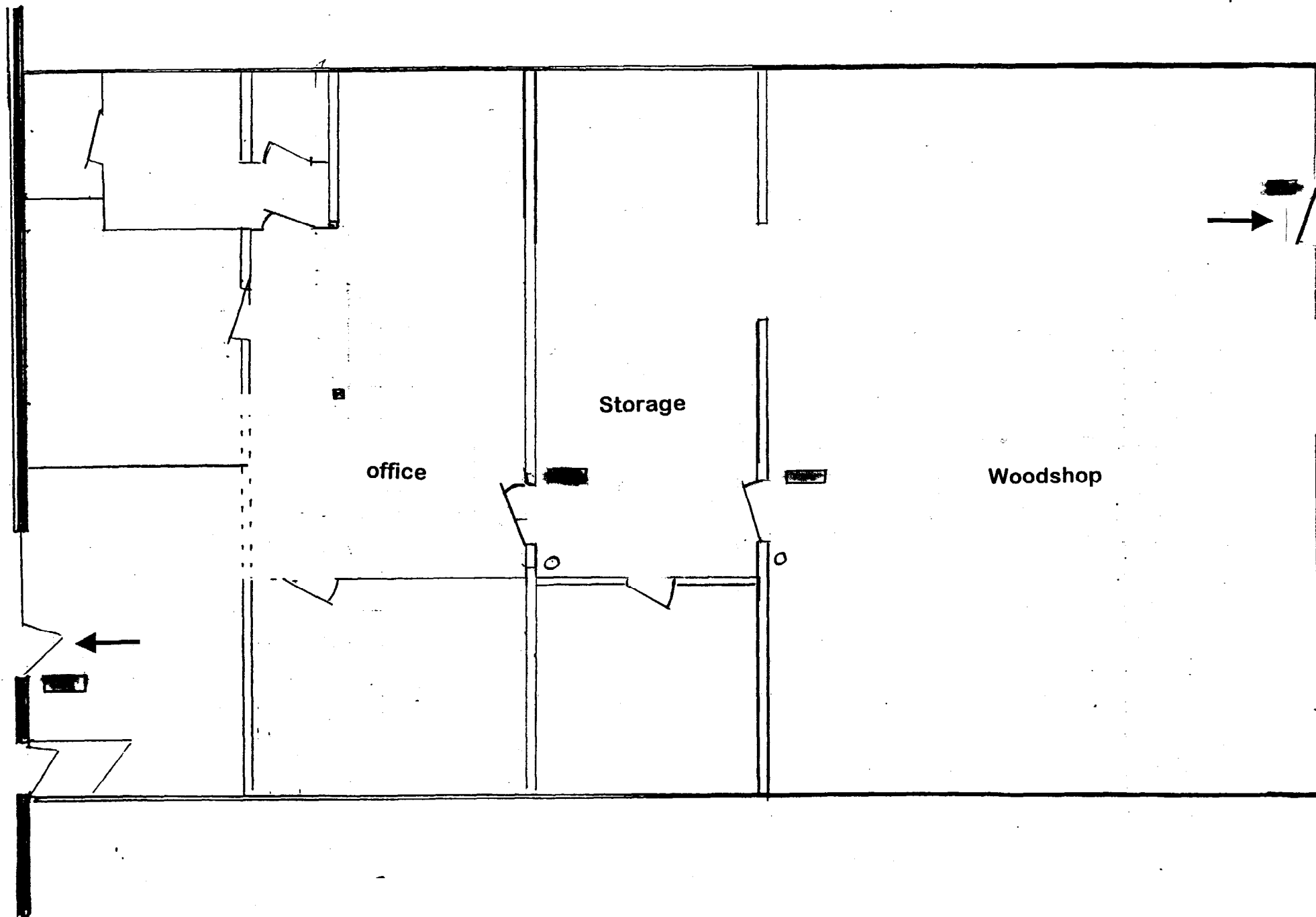
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- Fire extinguisher
- ▣ Exit signs
- Fire escape doors

Plan: E : FIRE SAFETY Plan