

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 375 Riverside St		Owner: Reynolds, Steve Big Moose Harley Davidson		Phone: 797-6061	Permit No: 971090
Owner Address:		Lessee/Buyer's Name:		Phone:	Business Name:
Contractor Name: Brown Construction		Address: P.O. Box 1217 Ptd, ME 04104		Phone: 797-6152	
Past Use: Retail		Proposed Use: Same		COST OF WORK: \$ 36,000.00	PERMIT FEE: \$ 200.00
Proposed Project Description: Make Interior Renovations		Signature: <i>[Signature]</i>		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: M Type: 30096
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>	
Permit Taken By: Mary Grosik		Date Applied For: 30 September 1997			

PERMIT ISSUED
Permit Issued:
OCT 10 1997
CITY OF PORTLAND
Zone: CBL
317-5-005

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval:
Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied
Date: 9/30/97

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: Peter Bilodeau	ADDRESS:	DATE: 30 September 1997	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: BROWN CONSTRUCTION		PHONE:	

CEO DISTRICT 7

2/3/98 Work Complete. **COMMENTS** about we have not rec'd
info Re: Live load from architect PSH contacted
Dick Butterfield @ Brown Contractor - they will mail
info on (P)

4/14/98 - Rec'd - ok by P.S.H.
Work Completed (P)

Dick Butterfield @ Brown Const.

	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____

BUILDING PERMIT REPORT

DATE: 9 OCT 97 ADDRESS: 375 Riverside ST.
REASON FOR PERMIT: TO MAKE INTERIOR RENOVATIONS
BUILDING OWNER: Reynolds, Steve
CONTRACTOR: Brown Coast-
PERMIT APPLICANT: Peter Bloddey APPROVAL: X/1, 8 ~~DENIED~~
USE GROUP M BOCA 1996 CONSTRUCTION TYPE 2C

CONDITION(S) OF APPROVAL

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection).
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- X 8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

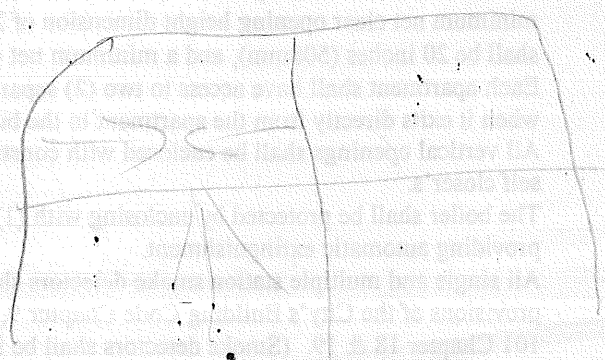
- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. No construction or demolition work shall begin until you have obtained permits for dumpsters or containers. A work Stop Order shall be issued if this requirement is not met.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 26. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- 27. All requirements must be met before a final Certificate of Occupancy is issued.
- 28. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 29. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- * 30. The proposed mezzanines shall meet the requirements set forth in Chapter 5 Section 50510 of the City's building code.
- * 31. The design live load shall be posted on the mezzanines.
- * 32. The plans submitted with the building application didn't bear the seal of the registered design professional - This office must receive a copy of statement from such a person before work begins.
- 34. _____

[Handwritten Signature]
 P. Samuel Hoffes, Code Enforcement

*with 2/3 area of room (don't count enclosed area)
 (Exception Type 1022 Encls.)*

cc: Lt. McDougall, PFD
 Marge Schmuckal

*Walls not more than 42" high -
 21" Spacing*



BROWN CONSTRUCTION INC.

GENERAL CONTRACTORS

P. O. BOX 1217
 PORTLAND, MAINE 04104

TRANSMITTAL LETTER

TO: SAMUEL HOFFSES
CODE ENFORCEMENT
CITY OF PORTLAND
389 CONGRESS ST. 04101

CONTRACT BIG MOOSE HARLEY
375 RIVERSIDE STREET
 DATE 2-5-98
 REPLY TO: JEFFREY D. GIRARDIN

GENTLEMEN:

WE ARE SENDING YOU: HERewith UNDER SEPARATE COVER

SHOP DRAWINGS COLOR SAMPLES SPECIFICATIONS PLANS

NO. OF COPIES	DRWG. NOS.	DATE	DESCRIPTION
1	SI	10-2-97	MEZZANINE FRAMING PLAN, SECTIONS, & DETAILS

SENT TO YOU FOR THE FOLLOWING: APPROVAL FILE OR DISTRIBUTION
 APPROVED FINAL APPROVAL INFORMATION
 APPROVED AS NOTED REVISE RESUBMIT _____ COPIES

NOTES: WE INFORMED STEVE REYNOLDS THAT THE DESIGN LIVE
LOAD MUST BE POSTED ON THE MEZZANINE.

SENT BY C. C. TO

MESSENGER _____

MAIL _____

_____ _____

Very truly yours,
 BROWN CONSTRUCTION INC.
 Per Jeffrey D. Girardin

1020.2 Vestibule: Where an *exit* discharges into an interior vestibule, the vestibule shall be used for ingress and *means of egress* only, and the vestibule shall comply with Sections 1020.2.1 and 1020.2.2.

1020.2.1 Depth and width: The vestibule depth from the exterior of the building shall not be greater than 10 feet (3048 mm) and the width shall not be greater than 20 feet (6096 mm).

1020.2.2 Separation: The vestibule shall be separated from the remainder of the *level of exit discharge* by self-closing doors and the equivalent of 1/4-inch-thick wired glass in steel frames.

1020.3 Lobby: Where an *exit* discharges into an interior *lobby* located at the *level of exit discharge*, the story containing the *lobby* shall be equipped throughout with an *automatic sprinkler system* installed in accordance with Section 906.2.1 or 906.2.2. Opening protectives shall be required in accordance with Table 717.1 at the point in which an enclosed *exit stairway* discharges into a *lobby*.

Exception: An *automatic sprinkler system* is not required in areas that are separated from the *lobby* by *fire separation assemblies* (see Section 709.0) having a fire-resistance rating of not less than that required for *exit* enclosures.

1020.4 Width and height: The clear width of the passageway shall not be less than the width required for the capacity of the *exit stairways* leading thereto and all required *exit* doorways opening into the passageway. Such passageway shall have a minimum width of 44 inches (1118 mm) and a minimum clear ceiling height of 8 feet (23438 mm).

1020.5 Maximum stairway limitations: Not more than 50 percent of the required *stairways* shall discharge through the same passageway. Multiple *lobbies* constructed in accordance with Section 1020.3 located adjacent to one another shall be separated from each other in accordance with the requirements for enclosure of *exits*.

SECTION 1021.0 GUARDS

1021.1 Design and construction: Where required by the provisions of Sections 406.5, 408.3.2, 1005.5, 1014.7, 1016.5 and 1825.5, guards shall be designed and constructed in accordance with the requirements of this section and Section 1606.4.

1021.2 Height: The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the tread or adjacent walking surface.

Exceptions

1. In other than occupancies in Use Group E, guards shall not be less than 36 inches (914 mm) in height above the leading edge of the tread along stairs which are not more than 20 feet (6096 mm) in height or which reverse direction at an intermediate landing with 12 inches (305 mm) or less measured horizontally between successive flights.
2. Guards along open-sided floor areas, *mezzanines* and landings within a single *dwelling unit* in Use Group R-2 and serving a single *dwelling unit* in Use Group R-3 shall not be less than 36 inches (914 mm) in height.

3. Guards along open-sided floor areas located less than 30 inches (762 mm) above the floor or grade below shall not be less than 36 inches (914 mm) in height.

1021.3 Opening limitations: In occupancies in Use Groups A, B, E, H-4, I-1, I-2, M and R, and in *public garages* and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4 inches (102 mm) cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

Exceptions

1. The triangular openings formed by the riser, tread and bottom rail at the open side of a *stairway* shall be of a maximum size such that a sphere 6 inches (152 mm) in diameter cannot pass through the opening.
2. At elevated walking surfaces for access to and utilization of electrical, mechanical, or plumbing systems or equipment, guards shall have balusters or be of solid materials such that a sphere with a diameter of 21 inches (533 mm) cannot pass through any opening.

In occupancies in Use Groups I-3, F, H-1, H-2, H-3, S, (other than *public garages* and open parking structures), and along open-sided floor areas located less than 30 inches (762 mm) above the floor or grade below, balusters, horizontal intermediate rails or other construction shall not permit a sphere with a diameter of 21 inches (533 mm) to pass through any opening.

1021.4 Railings: Metal or other approved noncombustible railings shall be provided on balconies and galleries as prescribed in Sections 1021.4.1 through 1021.4.3.

1021.4.1 At fascia: Railings shall be provided at the fascia of boxes, balconies and galleries and shall not be less than 26 inches (660 mm) in height; at the end of aisles extending to the fascia for the full width of the aisle and shall not be less than 36 inches (914 mm) in height; and at the foot of steps for the full width of the steps and shall not be less than 42 inches (1067 mm) in height.

1021.4.2 At cross aisles: Railings shall be provided along cross aisles, and shall not be less than 26 inches (660 mm) in height except that railings are not required where the backs of the seats along the front of the aisles project 24 inches (610 mm) or more above the floor of the aisle.

1021.4.3 Successive tiers: Where seatings are arranged in successive tiers, and where the height of rise between *platforms* exceeds 18 inches (457 mm), railings not less than 26 inches (660 mm) in height shall be provided along the entire row of seats at the edge of the *platform*.

SECTION 1022.0 HANDRAILS

1022.1 General: Where required by the provisions of Sections 1012.5, 1013.0, 1014.6.6.1, 1014.7 and 1016.5, handrails shall be designed and constructed in accordance with this section and Section 1606.4.

1022.2 Handrail details: Handrails shall be continuous, without interruption by newel posts, other structure elements or obstructions. A handrail and any wall or other surface adjacent to the handrail shall be free of any sharp or abrasive elements. The clear space between the handrail and the adjacent wall or surface shall