

- GENERAL NOTES:**
1. APPLICANT: BIG MOOSE HARLEY-DAVIDSON, 375 RIVERSIDE STREET, PORTLAND, MAINE, 04102
 2. PROPERTY OWNER IS MARIANNE M. REYNOLDS IN ACCORDANCE WITH A DEED BOOK 8705, PAGE 31 AND RECORDED IN C.C.R.D.
 3. TAX ASSESSORS REFERENCE: TAX MAP 317, BLOCK 8, LOT 5
 4. PLAN REFERENCES:
 - A "SITE PLAN, LANDSCAPE PLAN" FOR STEVE REYNOLDS SUBARU, RIVERSIDE STREET, PORTLAND, MAINE BY DESIGN COLLABORATIVE CO., INC.
 5. TOTAL LOT AREA: 2.87 AC (+/-)
 6. ZONING DISTRICT: B-4 ZONE
 7. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY SEBAGO TECHNIQS, INC. ELEVATIONS BASED ON SILL OF EXISTING BUILDING OF 54.71 FROM PLAN REFERENCE A.

EXISTING CONDITIONS PLAN
 OF:
BIG MOOSE HARLEY-DAVIDSON
 375 RIVERSIDE STREET
 PORTLAND, MAINE
 FOR:
PATCO CONSTRUCTION, INC.
 1293 MAIN STREET
 SANFORD, MAINE 04073

Sebago Techniqs
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04090-1330
 Tel (207) 856-0277

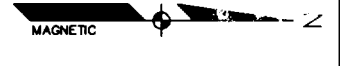
PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
01430	575A	SMF	SMF	PLS

REV	BY	DATE	STATUS
A	G.B	5-21-03	REVISED WATER, GAS, UGE, AND TEL LINES

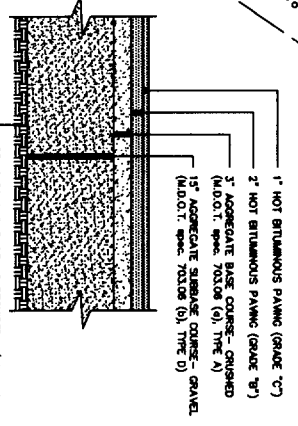
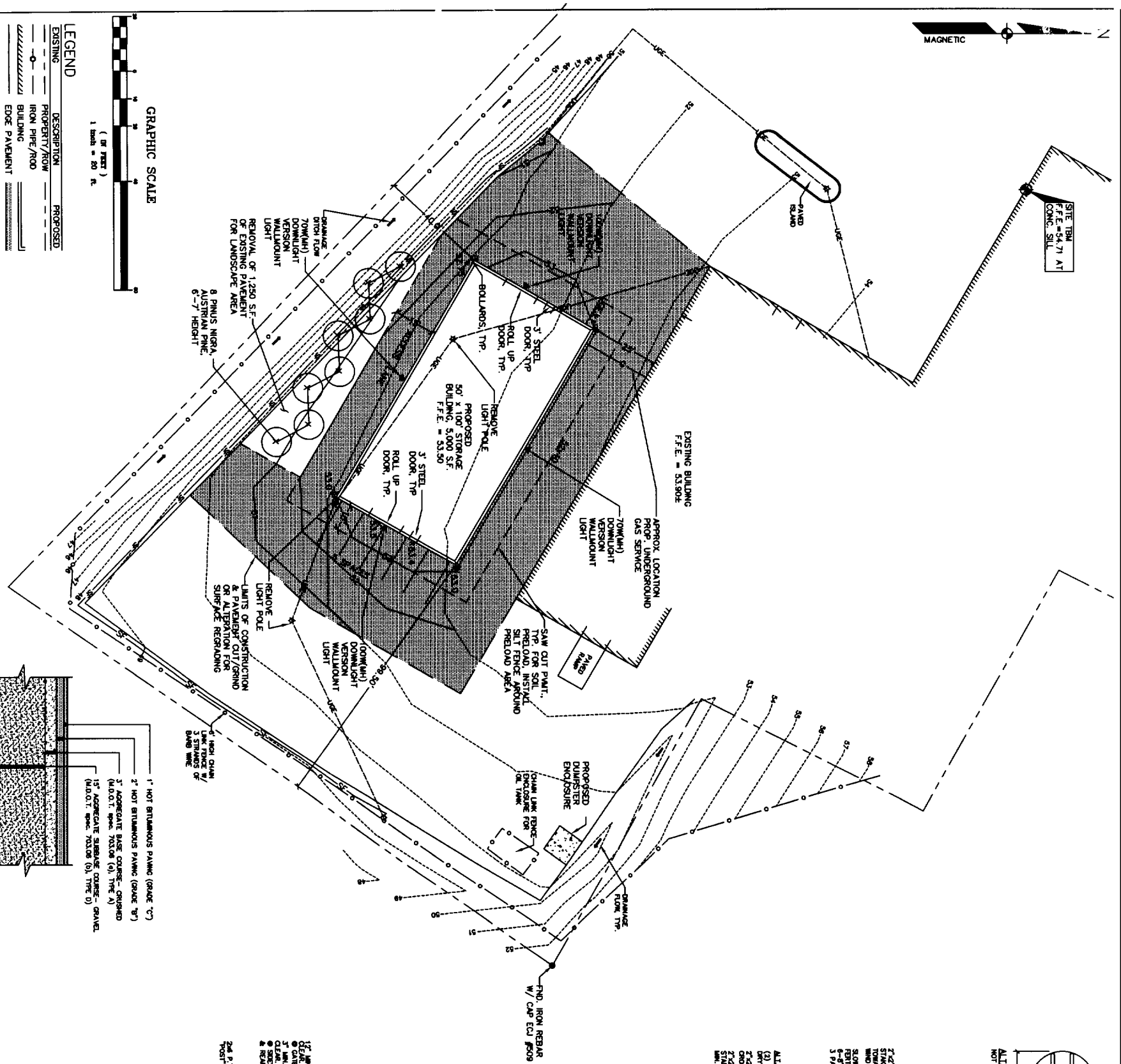
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

SHEET 1 OF 2

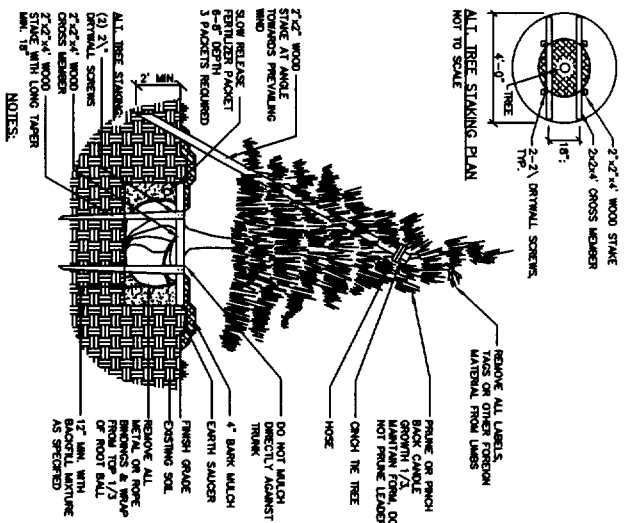
01430EC



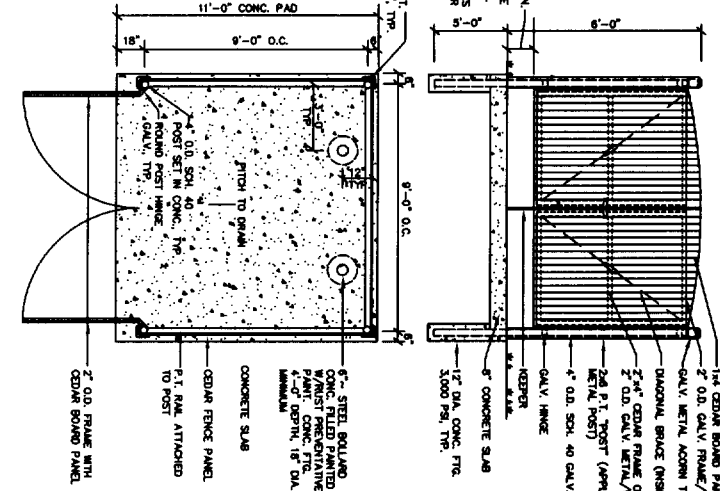
SITE TBM
F.F.E. = 54.71 AT
CONC. SILL



NOTES:
1. CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
2. CONCRETE SHALL SET GRADE STAKES HAVING SUBGRADE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
3. FINISH GRADE SHALL BE 0.00' TO 0.05' ABOVE FINISH GRADE.
4. FINISH GRADE SHALL BE 0.00' TO 0.05' ABOVE FINISH GRADE.
5. FINISH GRADE SHALL BE 0.00' TO 0.05' ABOVE FINISH GRADE.



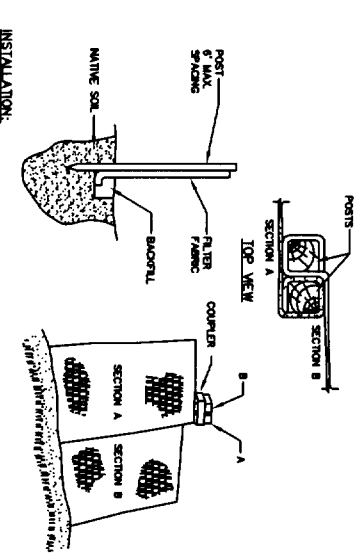
NOTES:
1. INSTALL STAKES AND CUTS TO TREES IF THE FOLLOWING APPLY:
2. THE TREE IS OF SUBSTANTIAL SIZE.
3. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN SITES.
4. THE PLANTING LOCATION IS COMPRESSED OR SAND OR OTHER UNDESIRABLE SOILS.
5. LONGER EXTENDED STAKES.
6. IF STAKES AND CUTS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.



NOTES:
1. CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
2. CONCRETE SHALL SET GRADE STAKES HAVING SUBGRADE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
3. FINISH GRADE SHALL BE 0.00' TO 0.05' ABOVE FINISH GRADE.
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5. FINISH GRADE SHALL BE 0.00' TO 0.05' ABOVE FINISH GRADE.

GENERAL NOTES:

1. ADJACENT: BIG MOOSE HARLEY-DAVIDSON, 375 REVERSE STREET, PORTLAND, MAINE, 04102
2. DEED REFERENCE: BOOK 8706, PAGE 31.
3. TAX ASSESSORS REFERENCE: TAX MAP 317, BLOCK B, LOT 3
4. PLAN REFERENCES
5. A "SITE PLAN LANDSCAPE PLAN" FOR STEVE FINNIGAN SQUARE, REVERSE STREET, PORTLAND, MAINE BY DESIGN COLLABORATIVE CO., INC.
6. TOTAL LOT AREA: 287 AC.
7. ZONING DISTRICT: B-4 ZONE
8. USE: MOTORCYCLE STORAGE FACILITY
9. SPACE AND BULK CRITERIA
10. MIN. LOT SIZE: 10,000 S.F.
11. MIN. STREET FRONTAGE: 20'
12. MIN. REAR YARD: 20'
13. MIN. SIDE YARD: 5'-2 STORIES -12'
14. MIN. BUILDING HEIGHT: 12'-0 STORIES -12'
15. MIN. FLOOR AREA RATIO (FAR) -0.65
16. BUILDING STAMINA: 3,000 S.F. STORAGE FACILITY - ACCESSORY USE
17. REQUIRED: 1 SPACE FOR EVERY 1,000 S.F. (FOR PART OF BUSINESS NOT CATERING TO RETAIL TRADE WITH FLOOR AREA PROVIDED) 5 SPACES
18. THE TOPOGRAPHIC SURVEY HAS BEEN PERFORMED BY SEBAGO TECHNIQS, INC. ELEVATIONS BASED ON BELL OF EXISTING BUILDING OF 54.71 FROM PLAN REFERENCE A.
19. THE FACILITY IS SERVED BY PRIVATE SEWERAGE TREATMENT SYSTEM, CITY WATER, GAS, UNDERGROUND ELECTRIC AND TELEPHONE. NO SERVICES OTHER THAN UNDERGROUND AND ELECTRIC WILL BE SERVED FROM THE STORAGE FACILITY.
20. MATERIALS AND SUPPLIES USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE SPECIFICATIONS OF THE PORTLAND ENGINEERING AND SURVEYING SOCIETY AND SPECIFICATIONS AND/OR COMMON ALI.O.I. STANDARDS AND SPECIFICATIONS.
21. THE CONSTRUCTION OF DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND INSPECTOR SERVICES DIVISION IN WRITING OF THE COMMENCEMENT OF CONSTRUCTION (FOR RECORD) AND TO PROVIDE THE DEVELOPER'S SITE PLAN AND SPECIFIC LOCATION OF ANY STRUCTURE OR IMPROVEMENTS TO BE CONSTRUCTED IN THE STORAGE FACILITY.
22. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
23. WARNING SIGNS, BARRIERS OR BARRICADES APPROPRIATE FOR THE TYPE OF CONSTRUCTION MUST BE EMPLOYED TO DURING CONSTRUCTION.
24. CONSTRUCTION SIGNS SHALL BE CONTINUED AND DEPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLO WHITE OBSCURITY CHAPTER 12.
25. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
26. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS PERMITTED ON THE SITE PLAN, APPROVAL OF THE CITY OF PORTLAND. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, MAINE, WITHOUT LIMITATION, TOPOGRAPHIC, PLANNING, LANDSCAPE, REVISIONS OF RECORD OR ANY OTHER PERMITS, WITHOUT LIMITATION, LOCATION AND SWIFTHOOD OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
27. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, MAINE, WITHOUT LIMITATION, LOCATION AND SWIFTHOOD OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.



INSTALLATION:

1. EXCAVATE A 4" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. REPORT TO SECTION A AT THE END POSITION THE POSTS AGAINST THE BACK (CONCRETE) WALL OF TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LING ON THE TRENCH BOTTOM.
4. LAY THE TOP-AN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOP-AN CAN ALSO BE ACCOMPLISHED BY TAMPING THE SOIL WITH A ROLLER OR COMPACTOR. TOP-AN CAN ALSO BE ACCOMPLISHED BY TAMPING THE SOIL WITH A ROLLER OR COMPACTOR.
5. JOIN SECTION AS SHOWN ABOVE.
6. BARRIERS SHALL BE BUILT SET FENCE OR EQUAL.

REV.	BY:	DATE:	STATUS:	REVISION PER PLANNING COMMENTS:
A	JMS	10-31-01	ISSUED TO CITY FOR REVIEW	
B	JMS	11-20-01	REVISED PER PLANNING COMMENTS	

THIS PLAN SHALL NOT BE USED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, REVISIONS, OR ADDITIONS TO THIS PLAN SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC. AUTHORIZED OR OTHERWISE. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

MINOR SITE PLAN
OF:
BIG MOOSE HARLEY-DAVIDSON
375 REVERSE STREET
PORTLAND, MAINE
FOR:
PATCO CONSTRUCTION INC.
1283 MAIN STREET
SHAWANO, MAINE 04073

Sebago Technics
Engineering & Planning for the Pasture
1000 Main Street
Westbrook, ME 04092-1339
TEL (207) 556-0277

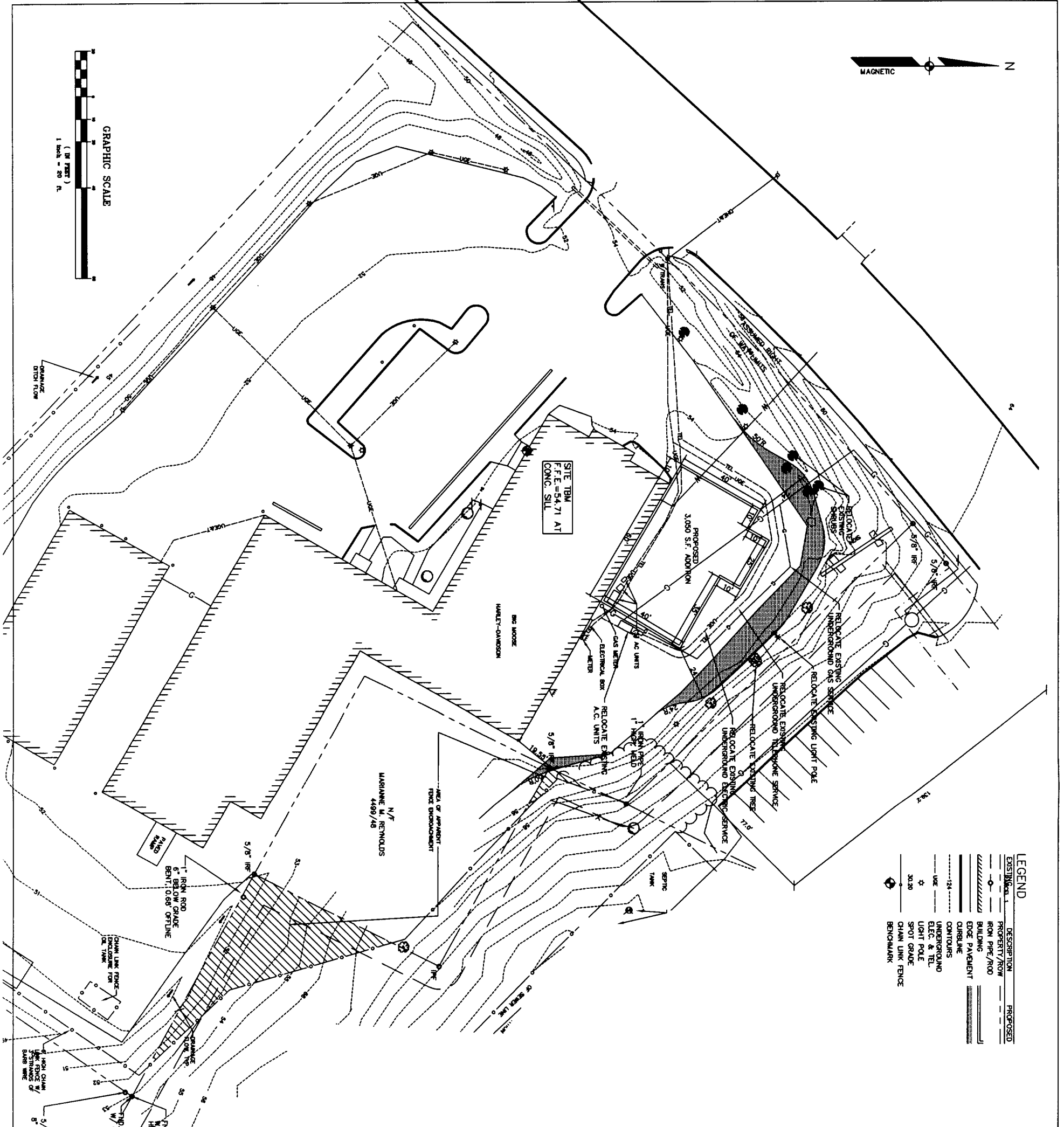
DESIGN BY: JMS
DRAWN BY: BHR
CHECKED BY: JMS
DATE: 10-26-01
SCALE: 1"=20'
FIELD BK: 575A
PROJ. NO.: 01430
DRAWING: 01430S

TYP. PAVED PARKING LOT SECTION
NOT TO SCALE

TYPICAL DUMPSTER ENCLOSURE
NOT TO SCALE

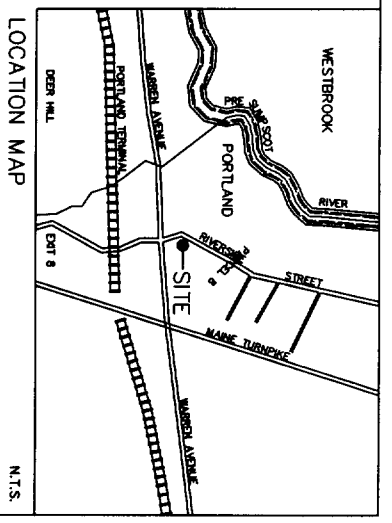


GRAPHIC SCALE
 (1" = 20 FT)
 1 inch = 20 ft



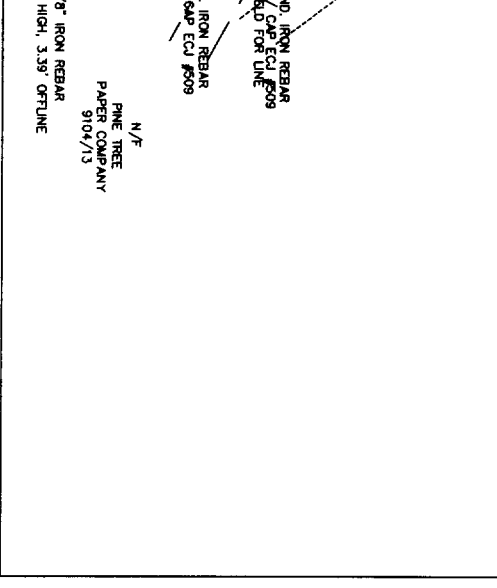
LEGEND

EXISTING	DESCRIPTION	PROPOSED
—○—	PROPERTY/ROAD	---
—○—	IRON PIPE/ROD	---
	BUILDING	---
	EDGE PAVEMENT	---
	CURBLINE	---
---	CONTOURS	---
---	UNDERGROUND ELEC & TEL	---
○	LIGHT POLE	---
○	SPOT GRADE	---
○	CHAIN LINK FENCE	---
▲	BENCHMARK	---



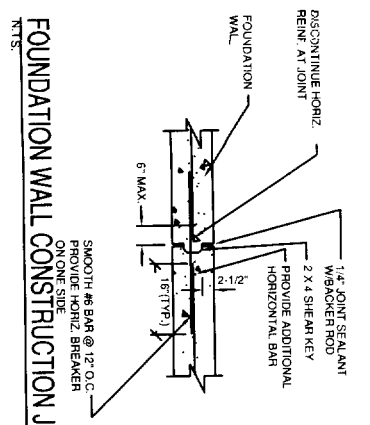
GENERAL NOTES:

1. APPLICANT: BIG MOOSE HARLEY-DAVISON, 375 RIVERSIDE STREET, PORTLAND, MAINE, 04102.
2. DEED REFERENCE: BOOK 8705, PAGE 31.
3. TAX ASSESSORS REFERENCE: TAX MAP 317, BLOCK B, LOT 5
4. PLAN REFERENCES:
 - A. "SITE PLAN, LANDSCAPE PLAN" FOR STEVE REYNOLDS SUBARU, RIVERSIDE STREET, PORTLAND, MAINE BY DESIGN COLLABORATIVE CO., INC.
5. TOTAL LOT AREA: 2.87 AC.(+/-)
6. ZONING DISTRICT: B-4 ZONE
7. SPACE AND BULK CRITERIA:
 - MIN. LOT SIZE: 10,000 S.F.
 - MIN. STREET FRONTAGE: 20'
 - MIN. STREET YARD: 20'
 - MIN. SIDE YARD: 1'-2 STORIES = 10'
 - MIN. REAR YARD: 20'
 - MAX. BUILDING HEIGHT: 20'
 - MAX. IMPERVIOUS SURFACE RATIO = 80%
 - MAX. FLOOR AREA RATIO (FAR) = 0.65
8. BUILDING SUMMARY: 3,050 S.F. BUILDING ADDITION - SHOWROOM
9. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY SEBAGO TECHNIQS, INC. ELEVATIONS BASED ON SILL OF EXISTING BUILDING OF 54.71 FROM PLAIN REFERENCE 44.
10. THE FACILITY IS SERVICED BY PRIVATE SUBSURFACE WASTEWATER SYSTEM, CITY WATER, GAS, UNDERGROUND ELECTRIC AND TELEPHONE. NO SERVICES OTHER THAN UNDERGROUND ELECTRIC WILL BE REQUIRED FOR THE STORAGE FACILITY.
11. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T. STANDARDS AND SPECIFICATIONS.
12. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND INSPECTION SERVICES DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (07A-0300). SHOULD THE IMPROVEMENTS BE OF A NATURE OR KIND OR IN A SPECIFIC AREA, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PLANNING AUTHORITY.
13. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
14. WARNING SIGNS, BARRIERS OR BARRICADES APPROPRIATE FOR THE TYPE OF CONSTRUCTION MUST BE EMPLOYED TO DURING CONSTRUCTION.
15. CONSTRUCTION DEBRIS SHALL BE CONTAINMENTED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
16. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
17. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.

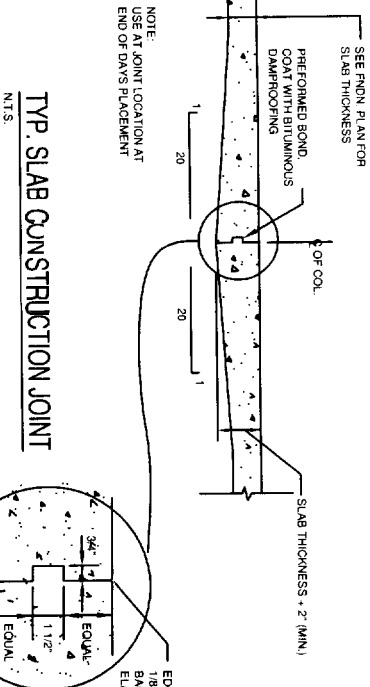


<p>BIG MOOSE HARLEY-DAMSDON 375 RIVERSIDE STREET PORTLAND, MAINE FOR: PATCO CONSTRUCTION, INC. 1293 MAIN STREET SANFORD, MUNE 04073</p>	<p>Sebago Technic Engineering Expertise You Can Build On One Chabot Street Westbrook, Me 04096-1336 Tel (207) 856-0277</p> <table border="1"> <thead> <tr> <th>PROJECT NO.</th> <th>FIELD BOOK</th> <th>DESIGN</th> <th>CHKD</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>01430</td> <td>575A</td> <td>SMF</td> <td>SMF</td> <td>PLS</td> </tr> </tbody> </table>	PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN	01430	575A	SMF	SMF	PLS	<table border="1"> <thead> <tr> <th>REV.</th> <th>BY:</th> <th>DATE:</th> <th>STATUS:</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>GJB</td> <td>5-21-03</td> <td>REVISED GAS, UGE, TEL, WATER LINE</td> </tr> </tbody> </table> <p>THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.</p>	REV.	BY:	DATE:	STATUS:	A	GJB	5-21-03	REVISED GAS, UGE, TEL, WATER LINE	<p>TE -03 SCALE 1" = 20' 2</p>
PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN																	
01430	575A	SMF	SMF	PLS																	
REV.	BY:	DATE:	STATUS:																		
A	GJB	5-21-03	REVISED GAS, UGE, TEL, WATER LINE																		

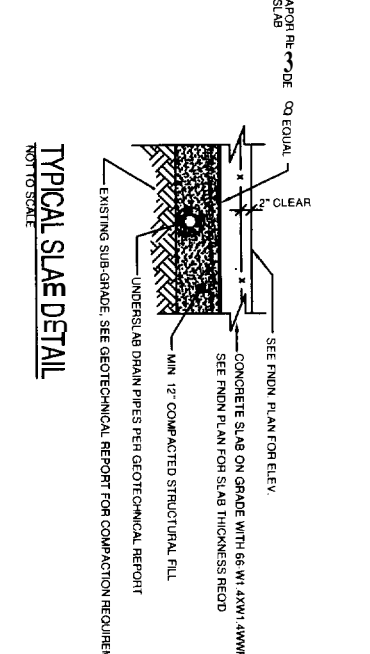
ISSUED FOR CONSTRUCTION



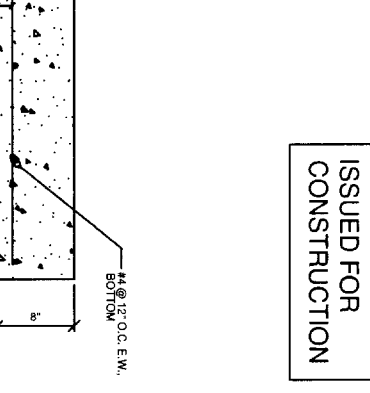
FOUNDATION WALL CONSTRUCTION JOINT DETAIL
N.T.S.



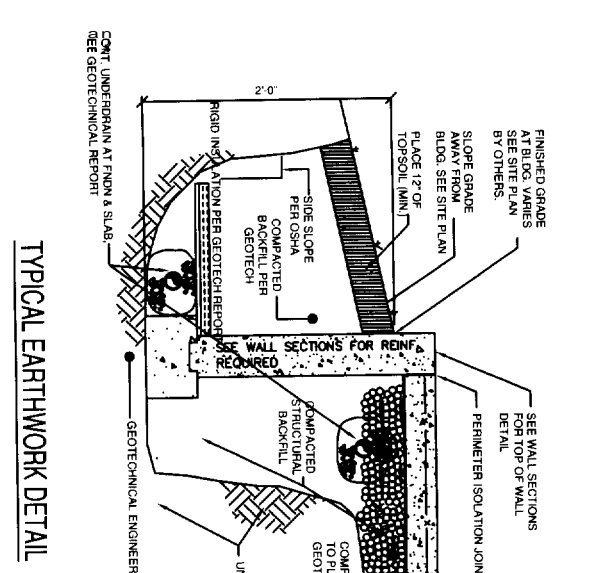
TYP. SLAB CONSTRUCTION JOINT
N.T.S.



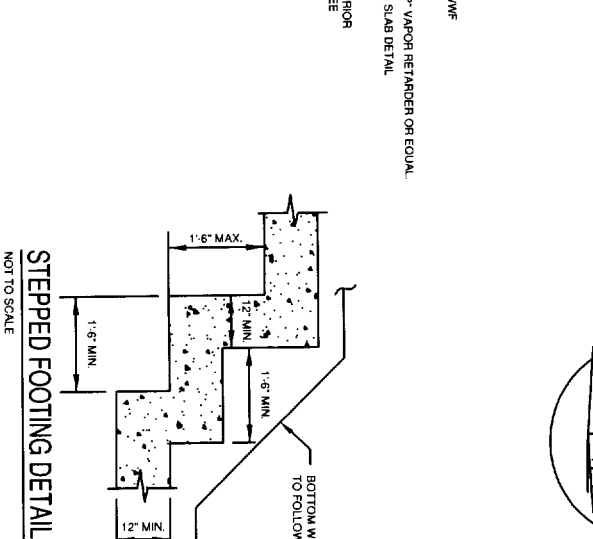
TYPICAL SLAB JOINT AT COLUMN
(SIMILAR AT WALL)
N.T.S.



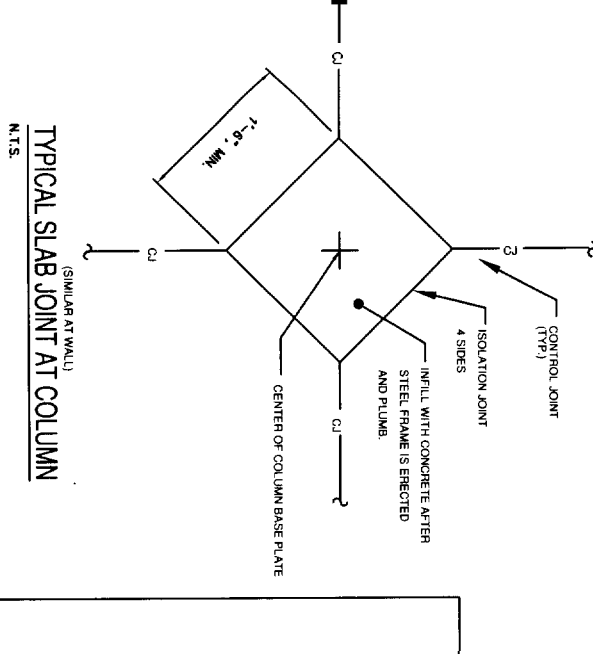
TYPICAL SLAB JOINT AT PERSON DOOR
N.T.S.



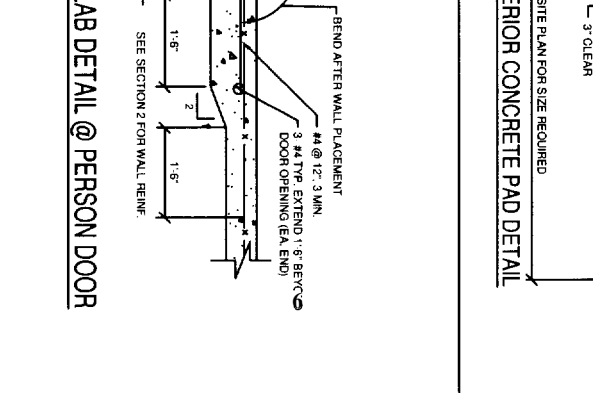
TYPICAL EARTHWORK DETAIL



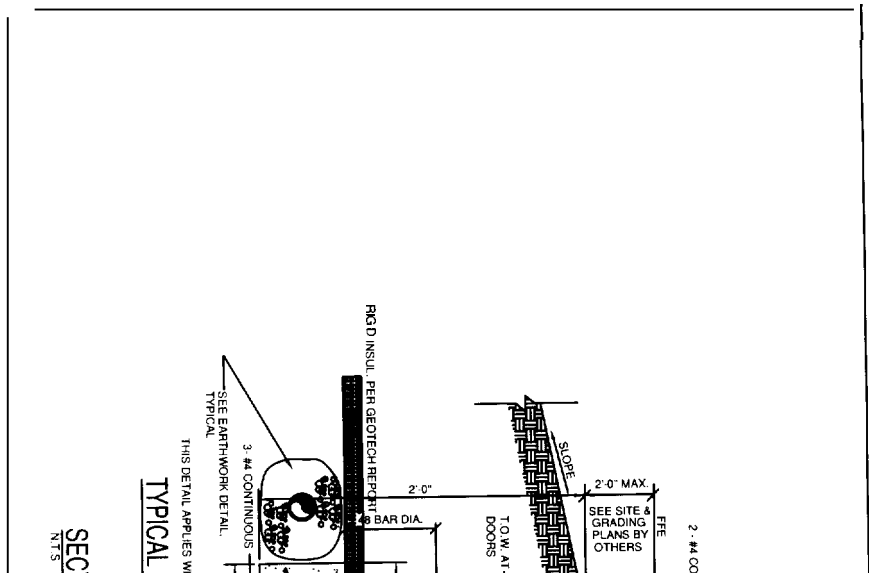
STEPPED FOOTING DETAIL
NOT TO SCALE



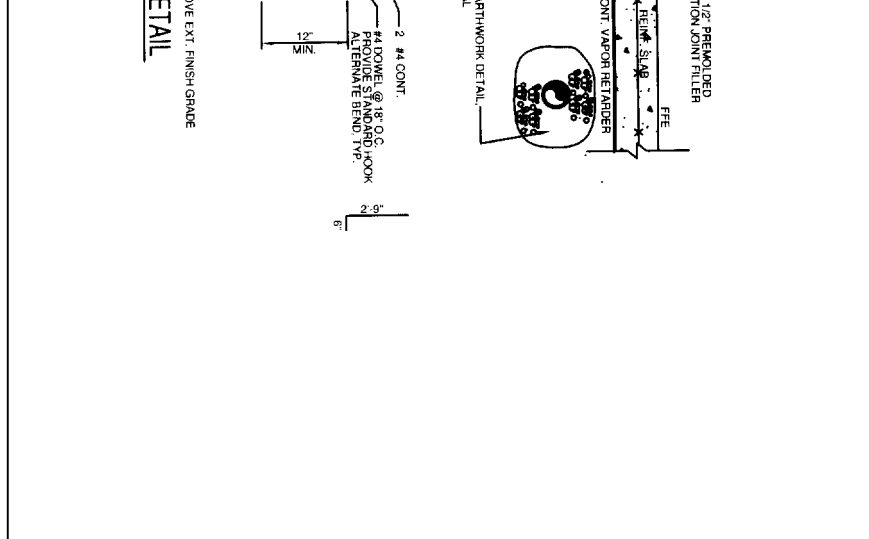
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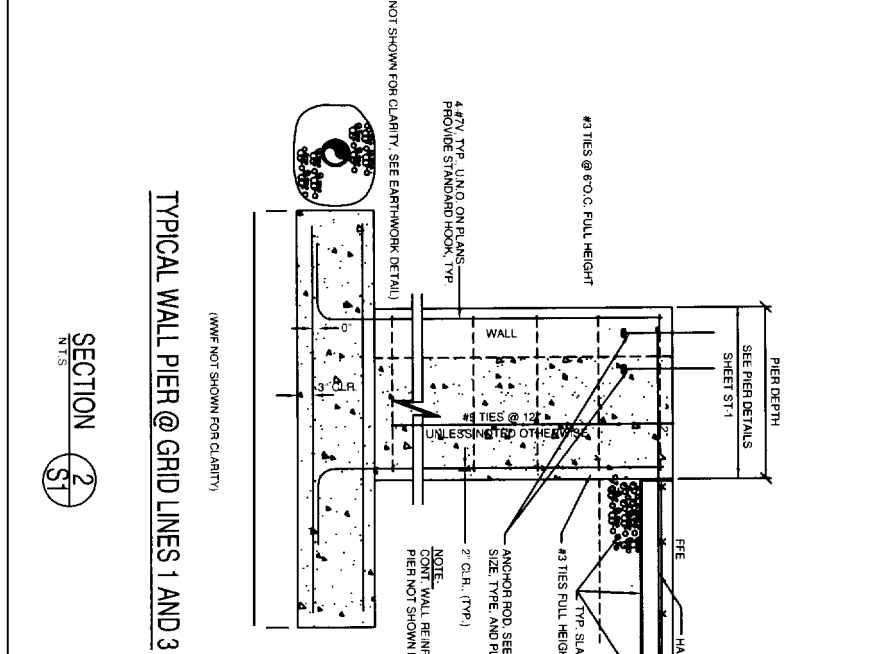
TYPICAL FROST WALL DETAIL



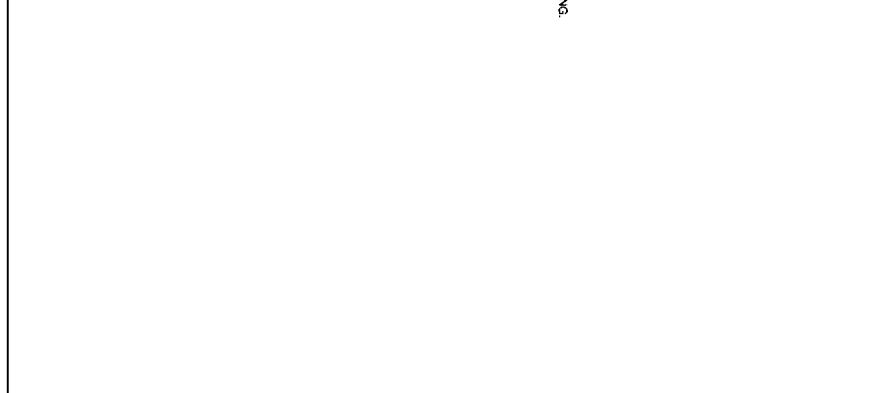
TYPICAL FROST WALL DETAIL



TYPICAL WALL PIER @ GRID LINES 1 AND 3
(WALL NOT SHOWN FOR CLARITY)



TYPICAL WALL PIER @ GRID LINES 1 AND 3
(WALL NOT SHOWN FOR CLARITY)



TYPICAL WALL PIER @ GRID LINES 1 AND 3
(WALL NOT SHOWN FOR CLARITY)

FOUNDATION DETAILS AND SECTIONS & BIG MOOSE HARLEY PORTLAND, ME FOR PATCO CONSTRUCTION, INC. SANFORD, MAINE		SRG ENGINEERING, INC. <small>CONSULTING STRUCTURAL ENGINEERS</small> P.O. BOX 809 GRAY, ME 04039 TEL: (207) 657-7333 FAX: (207) 657-7343 EMAIL: SRG@SRGENG.COM	PROJECT NO. 04-038 EOR SRG DESIGN SRG CHKD SRG DRAWN SRG	REV: _____ BY: _____ DATE: _____ STATUS: _____ THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SRG ENGINEERING, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SRG ENGINEERING, INC.
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