



# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: WISE BUSINESS FORMS

PROJECT ADDRESS: 380 RIVERSIDE ST CHART/BLOCK/LOT: 317-A-5, 317-A-6

APPLICATION FEE: \$50 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)  
FIT-UP OF AN EXISTING MULTI-USE INDUSTRIAL FACILITY TO HOUSE EQUIPMENT.

RECEIVED

### CONTACT INFORMATION:

FEB 21 2012

OWNER/APPLICANT STEPHANIE WINDSOR  
 Name: WISE BUSINESS FORMS  
 Address: Z301 CONGRESS ST.  
PORTLAND, ME 04102  
 Work #: (207) 774-6560  
 Cell #: \_\_\_\_\_  
 Fax #: \_\_\_\_\_  
 Home #: \_\_\_\_\_  
 E-mail: swindsor@wbfb.com

CONSULTANT/AGENT  
 Name: SHIRLEY HOLT  
SETOUT ARCHITECT City of Portland  
 Address: 132 UNION AVE Planning Division  
OLD ORCHARD BEACH, ME 04064  
 Work #: \_\_\_\_\_  
 Cell #: (207) 467-5683  
 Fax #: \_\_\_\_\_  
 Home #: \_\_\_\_\_  
 E-mail: SHIRLEY@SETOUT.COM

### Criteria for an Administrative Authorization:

(see section 14-523(4) on pg .2 of this appl.)

### Applicant's Assessment Planning Division

Y(yes), N(no), N/A

Criteria	Applicant's Assessment	Planning Division
a) Is the proposal within existing structures?	N	No
b) Are there any new buildings, additions, or demolitions?	Y	Yes
c) Is the footprint increase less than 500 sq. ft.?	Y	yes
d) Are there any new curb cuts, driveways or parking areas?	N	no
e) Are the curbs and sidewalks in sound condition?	Y	yes
f) Do the curbs and sidewalks comply with ADA?	Y	yes
g) Is there any additional parking?	N	no
h) Is there an increase in traffic?	N	no
i) Are there any known stormwater problems?	N	no
j) Does sufficient property screening exist?	Y	yes
k) Are there adequate utilities?	Y	yes
l) Are there any zoning violations?	N	no
m) Is an emergency generator located to minimize noise?		N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	no

Signature of Applicant: [Signature] Date: 2/20/12

**Planning Division Use Only**

Authorization Granted  Partial Exemption \_\_\_\_\_ Exemption Denied \_\_\_\_\_

*Barbara Barbydt*

**Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

Planner Signature *Barbara Barbydt* Date *2/29/12*

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

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FEB 29 2012

City of Portland  
Planning Board

**Criteria for an Administrative Authorizations:**  
(See Section 14-523 (4) on page 2 of this application)

**Applicant's Assessment**  
Y(yes), N(no), N/A

**Planning Division**  
Use Only

a) Is the proposal within existing structures?	No	No
b) Are there any new buildings, additions, or demolitions?	Yes	Yes
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	n/a	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No

The Administrative Authorization for 380 Riverside Street was approved by Barbara Barhydt, Development Review Program Manager on 2-29-12 with the following required Standard Condition of Approval listed below:

1. **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.
- 2.



A Hausmann Associates, Inc.  
380 Warren Ave  
Portland, ME 04103  
Phone (207) 828-4650/ Fax (207) 874-2080

February 10, 2012

Gerry Nadeau  
Wise Business Forms  
380 Riverside Street  
Portland, ME 04103

RE: 380 Riverside St., Portland, ME

Dear Gerry;

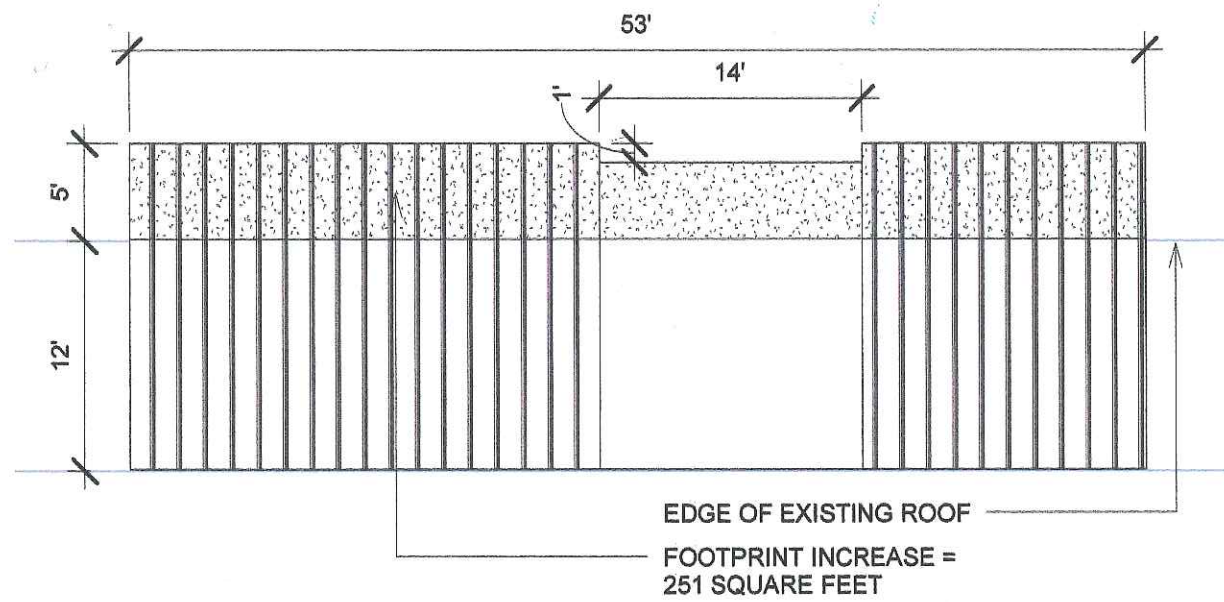
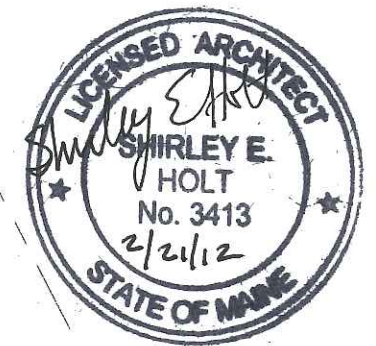
Please let this serve as acknowledgement that A. Hausmann Associates, Inc. is the owner of record on the property known as 362-382 Riverside St., Portland, ME.

A. Hausmann Associates, Inc. entered into a lease agreement with Wise Business Forms on September 1, 2011 which allows them full use of the 80,000 square foot premises through May 31, 2017.

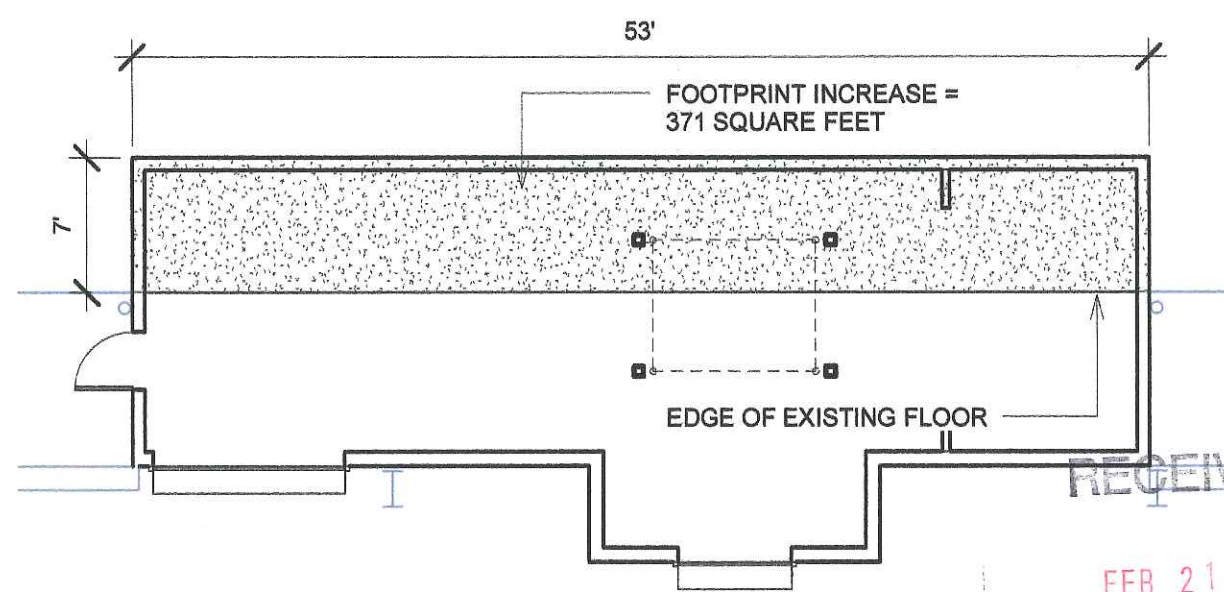
Sincerely,

Andréa Girard  
Treasurer

**NOTE:**  
 SITE INFORMATION EXTRACTED FROM  
 A PLAN BY SBM ASSOCIATES,  
 ARCHITECT/ENGINEER, GORHAM, ME,  
 DATED 2/21/92. PLAN INCLUDED FOR  
 REFERENCE

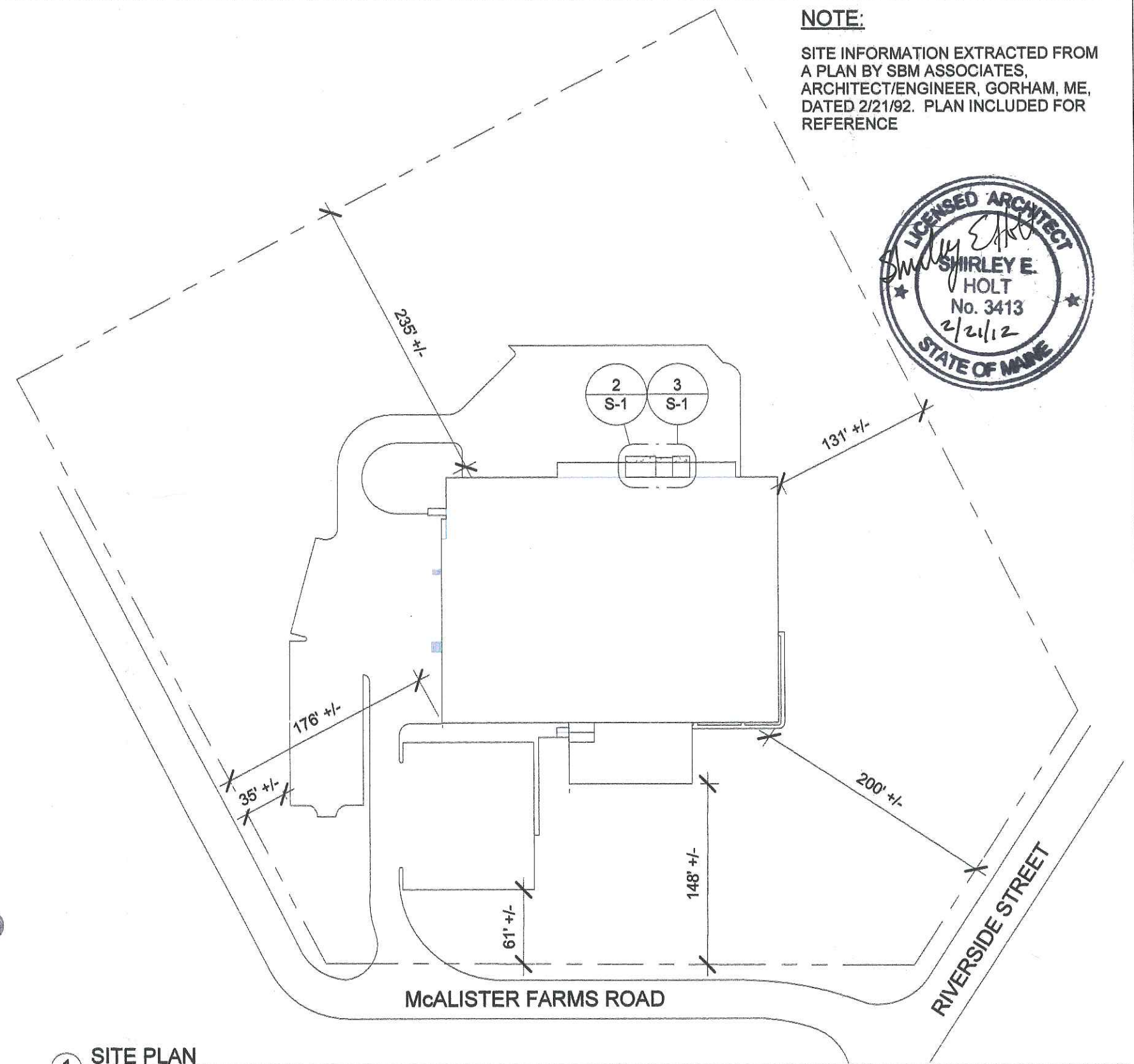


③ FOOTPRINT INCREASE - ROOF  
 1" = 10'-0"



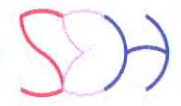
② FOOTPRINT INCREASE - FLOOR  
 1" = 10'-0"

RECEIVED  
 FEB 21 2012  
 City of Portland  
 Planning Division



① SITE PLAN  
 1" = 100'-0"

**SE Holt Architect**  
 132 Union Ave  
 Old Orchard Beach, ME 04064  
 (207) 467-5683  
 www.seholt.com



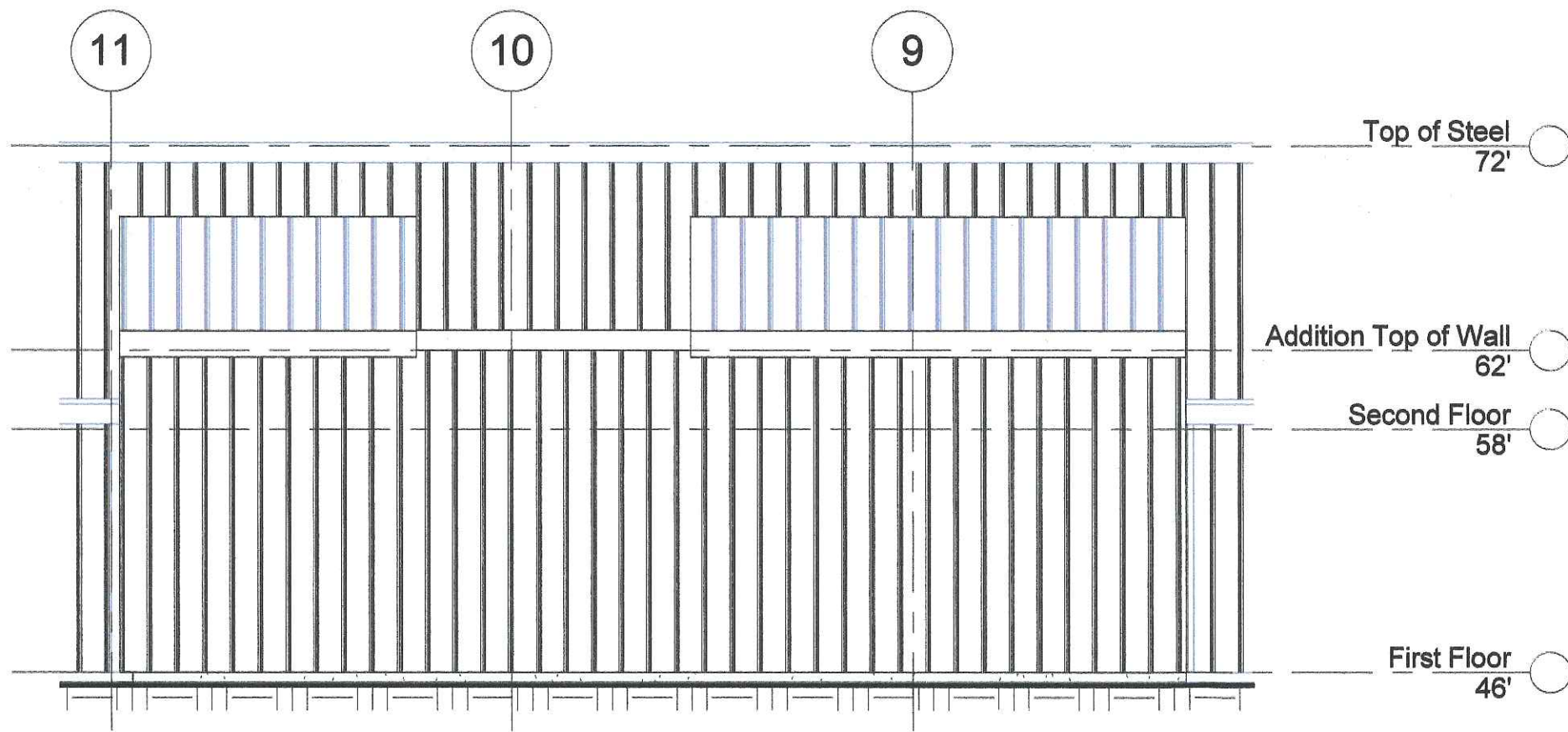
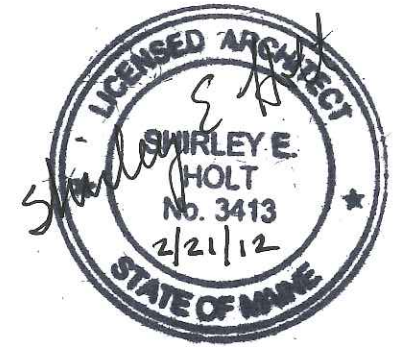
**WISE Business Forms**  
 380 Riverside St  
 Portland, Maine

No.	Description	Date

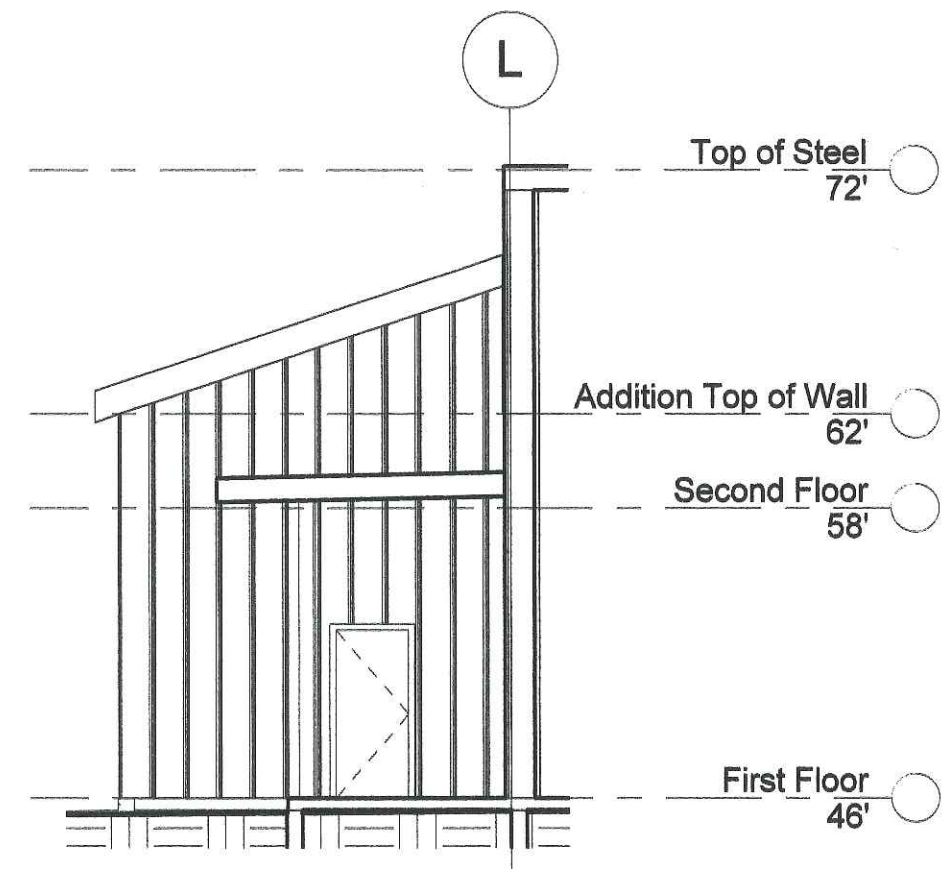
SITE PLAN		S-1
Project number	1201	
Date	02/21/12	
Drawn by	SEH	
Checked by	SEH	
Scale: As indicated		

2/21/2012 10:49:11 AM





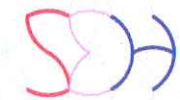
① NORTH ELEVATION  
1/8" = 1'-0"



② WEST ELEVATION  
1/8" = 1'-0"

SE Holt Architect

132 Union Ave  
Old Orchard Beach, ME 04064  
(207) 467-5683  
www.seholt.com



WISE Business Forms

380 Riverside St  
Portland, Maine

No.	Description	Date

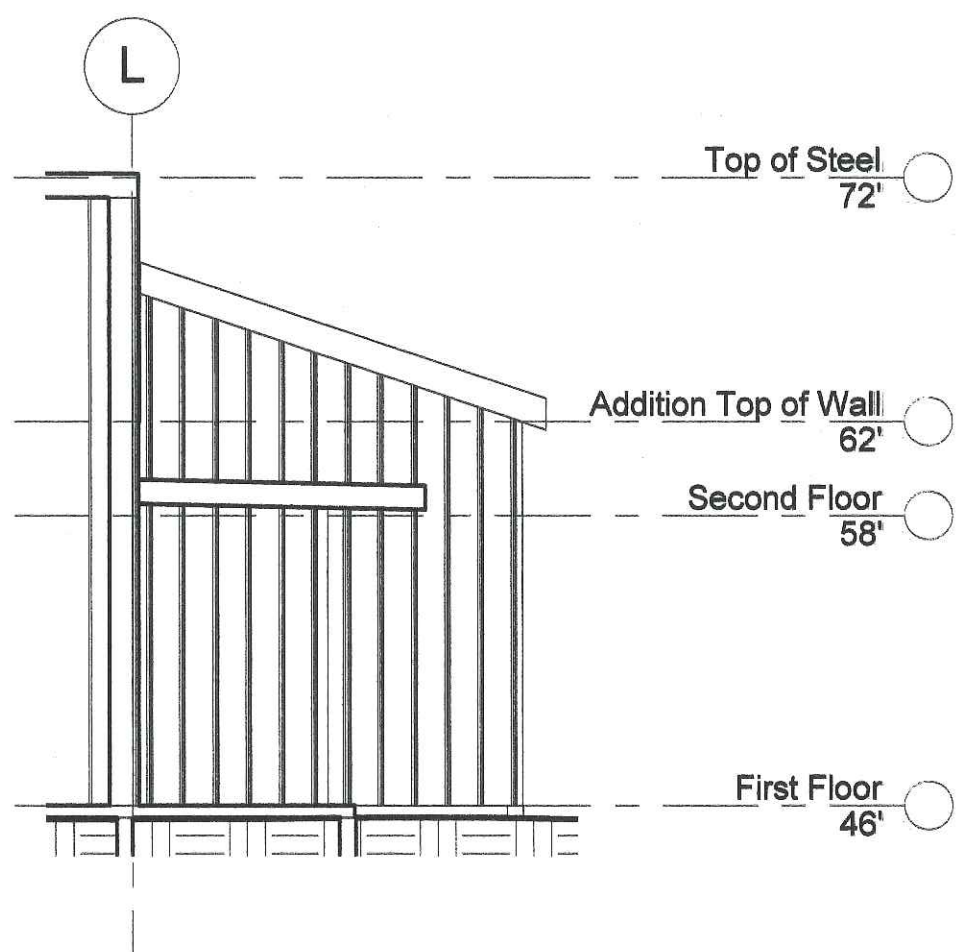
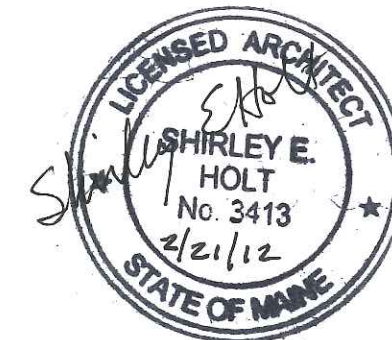
ELEVATIONS

Project number	1201
Date	02/21/12
Drawn by	SEH
Checked by	SEH

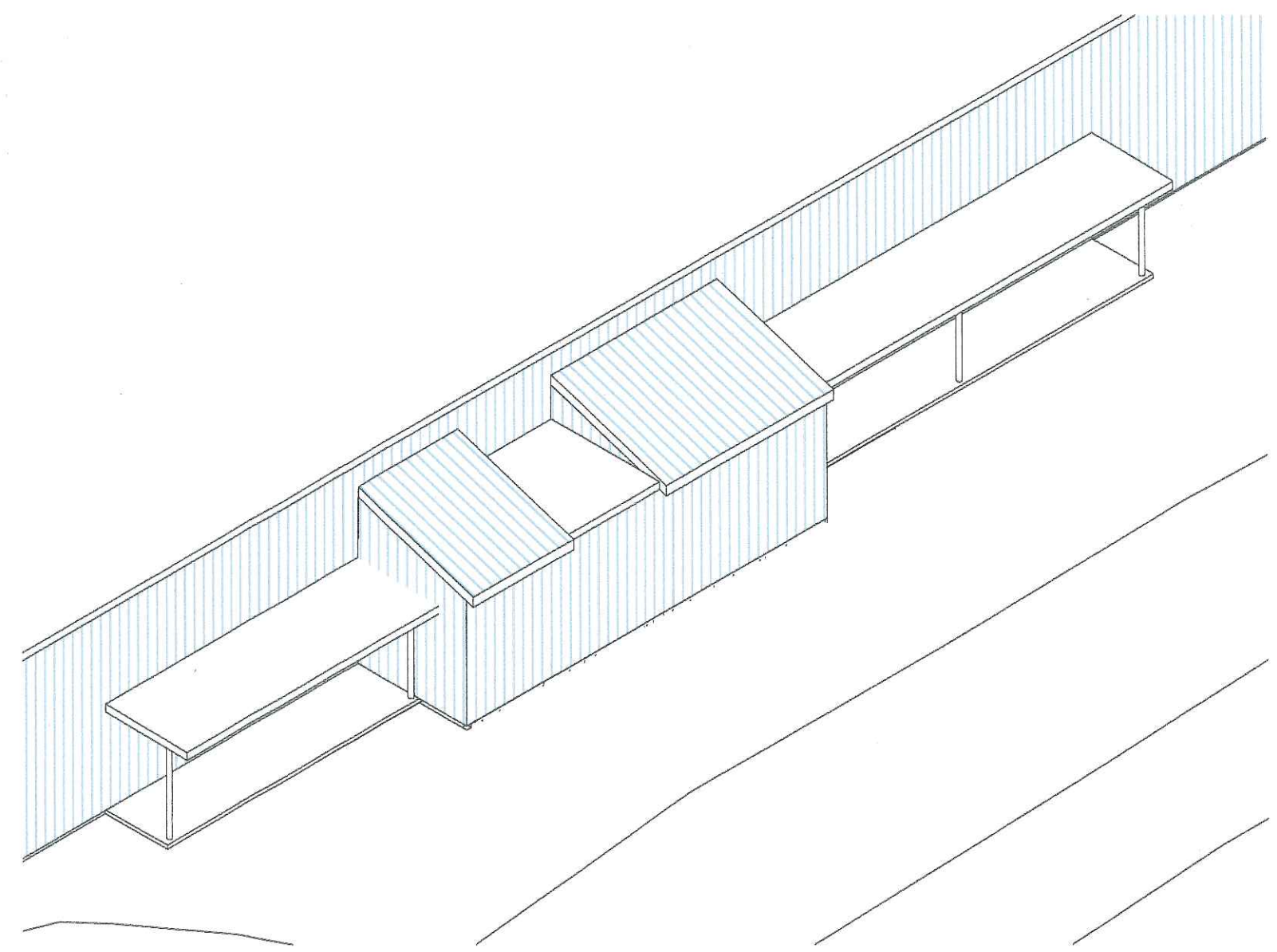
A-1

Scale: 1/8" = 1'-0"



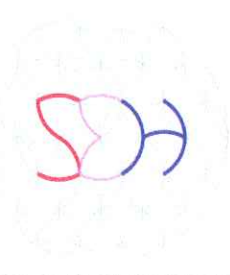


2 EAST ELEVATION  
1/8" = 1'-0"



1 ISOMETRIC VIEW OF ADDITION

SEHolt Architect  
132 Union Ave  
Old Orchard Beach, ME 04064  
(207) 467-5683  
www.seholt.com



**WISE Business Forms**  
380 Riverside St  
Portland, Maine

No.	Description	Date

ELEVATION AND ISOMETRIC	
Project number	1201
Date	02/21/12
Drawn by	SEH
Checked by	SEH
<b>A-2</b>	
Scale: 1/8" = 1'-0"	

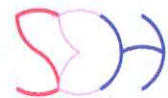
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SEHolt Architect

132 Union Ave  
 Old Orchard Beach, ME 04064  
 (207) 467-5683  
 www.seholt.com



WISE Business Forms

380 Riverside St  
 Portland, Maine

No.	Description	Date

PHOTOS

Project number	1201
Date	02/21/12
Drawn by	Author
Checked by	SEH

PIX

Scale:

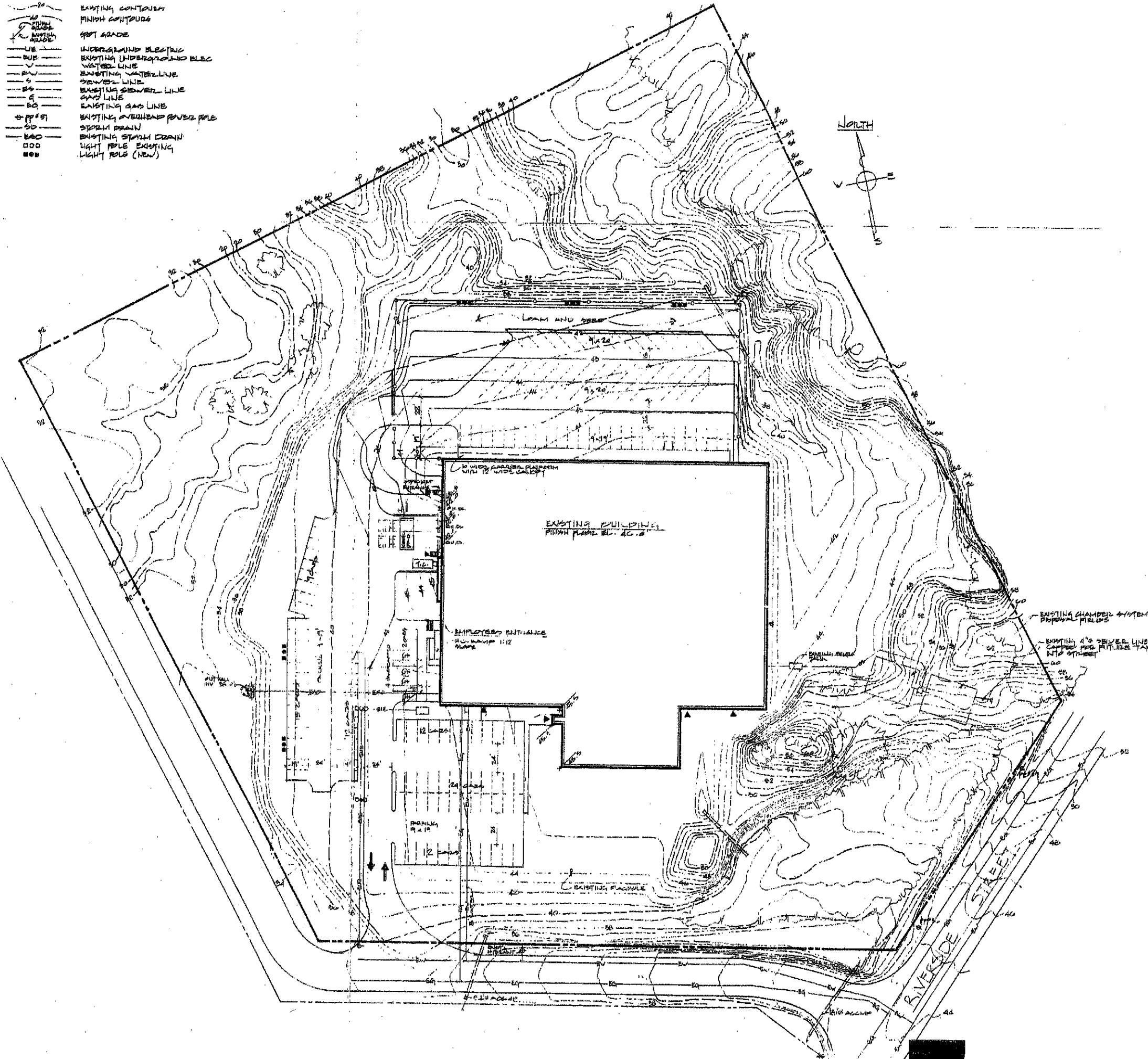


**LEGEND OF SYMBOLS**

- EXISTING CONTOUR
- FINISH CONTOUR
- SPOT GRADE
- UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND ELEC
- WATER LINE
- EXISTING WATERLINE
- SEWER LINE
- EXISTING SEWER LINE
- GAS LINE
- EXISTING GAS LINE
- EXISTING AVERAGE PAVEMENT
- STORM DRAIN
- EXISTING STORM DRAIN
- LIGHT POLE EXISTING
- LIGHT POLE (NEW)

**LOT AND BUILDING DATA**

ITEM	EXISTING	PROPOSED
LOT SIZE	10.03 ACRES	10.03 ACRES
BUILDING FOOTPRINT	59,144 SF	59,144 SF
WAREHOUSE	15,614 SF	4,100 SF
OFFICE (RENTAL)	43,530 SF	47,294 SF (UGFO)
TOTAL (M+W+O)	92,078 SF	72,208 SF
<b>PARKING</b>		
CARS (INCLUDING V.E.)	110	90
SEMI TRUCKS	7	3
TRUCK GARAGES	0	6
TOTAL PARKING	117	157
<b>IMPERVIOUS AREAS</b>		
BUILDING		59,144 SF
PAVING		63,235 SF
TOTAL		122,379 SF 2.94 ACRES



**SBM ASSOCIATES**  
 ARCHITECT/ENGINEER  
 381 Main Street • Portland, Maine • Telephone 207-539-2420

REVISIONS

PROPOSED NORTHWEST CARRIER STATION  
 380 RIVERSIDE STREET  
 PORTLAND, MAINE  
**SITE PLAN AND LEGENDS**  
 SCALE 1" = 40'  
 DATE 2/21/92  
 BY: HSS: III

SP.1