

WISE BUSINESS FORMS

380 RIVERSIDE STREET, PORTLAND, MAINE

OWNER

WISE Business Forms
2301 Congress Street
Portland, Maine
(207) 774-6560

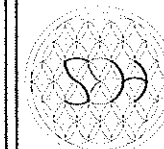
ARCHITECT

SEHolt Architect LLC
132 Union Avenue
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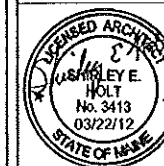
STRUCTURAL ENGINEER

Downtown Structural Consultants, LLC
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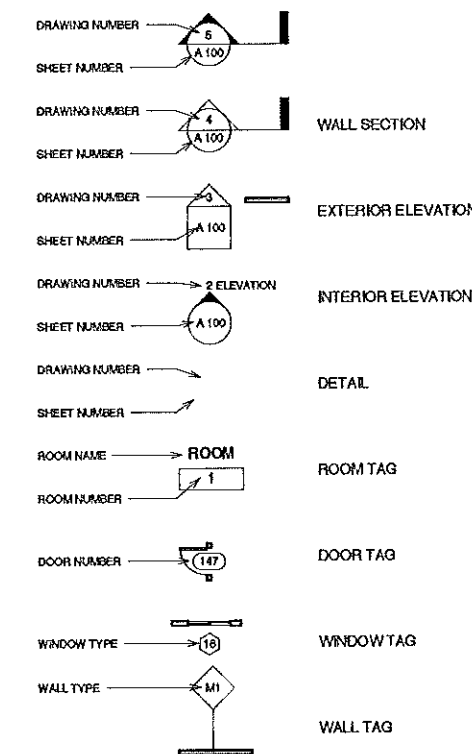
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A 601	DOORS SCHEDULE AND DETAILS
A 602	WINDOW DETAILS
A 603	FINISH PLAN AND SCHEDULE



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ARCHITECTURAL SYMBOLS



No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/23/12
3	PERMIT-2	03/03/12
4	PERMIT-3	03/22/12

WISE BUSINESS FORMS

WISE BUSINESS FORMS FIT UP

COVER

Project number 1201

Date 02/22/12

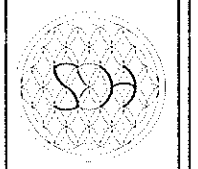
Drawn by SEH

Checked by SEH

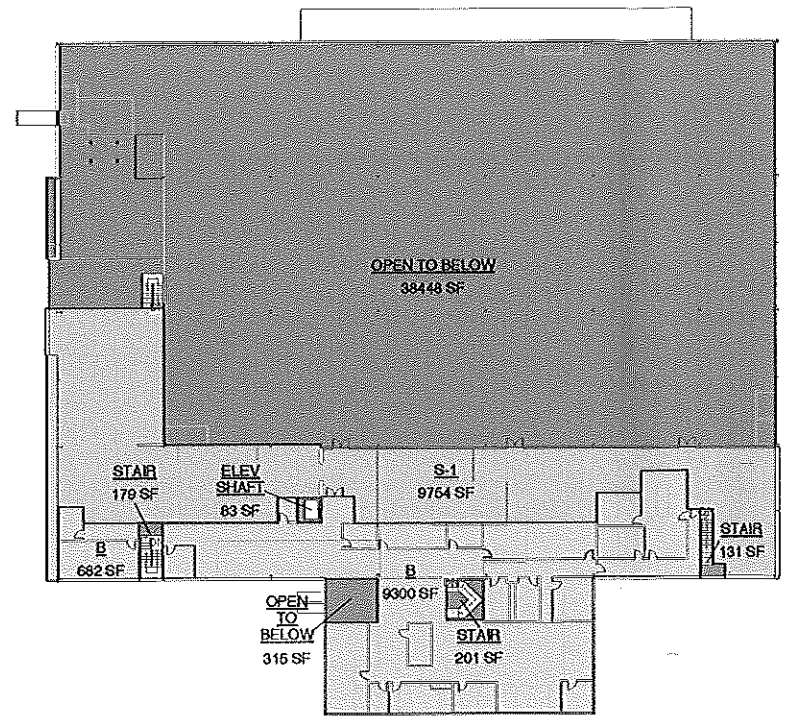
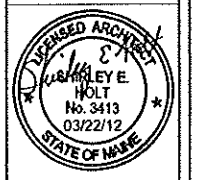
G 001

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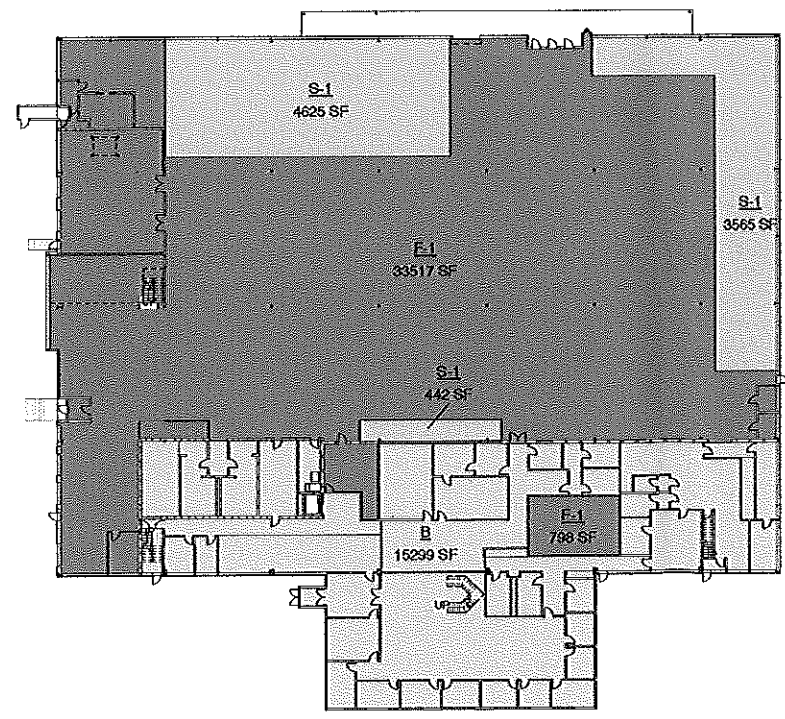
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3 Second Floor
1/32" = 1'-0"



2 First Floor Plan
1/16" = 1'-0"

Code Compliance Summary: WISE Business Forms, 389 Riverside Street, Portland, Maine

Codes Reviewed: IBC 2009 and NFPA 101 2009

	IBC	NFPA 101
Classification:		
Use Group	Previous: Nonseparated Mixed Use (F-1, B and S-1) Proposed: Nonseparated Mixed Use (F-1, B and S-1)	Industrial
Construction Type	IIIB	III(200)
Fire Protection System	Fully Sprinklered	Fully Sprinklered
Heights and Area Limitation	<p>Factory, F-1 Height: 2 stories tabular 55 ft tabular 1 story sprinkler increase 20 ft sprinkler increase Area: 12,000 SF tabular 24,000 sprinkler increase (200%) 9,000 frontage increase (75%) 45,000 SF allowed</p> <p>Business, B Height: 3 stories tabular 55 ft tabular 1 story sprinkler increase 20 ft sprinkler increase Area: 19,000 SF tabular 38,000 sprinkler increase (200%) 14,250 frontage increase (75%) 71,250 SF allowed</p> <p>Storage, S-1 Height: 2 stories tabular 55 ft tabular 1 story sprinkler increase 20 ft sprinkler increase Area: 17,500 SF tabular 35,000 sprinkler increase (200%) 13,125 frontage increase (75%) 65,625 SF allowed</p>	Not Applicable
Egress:		
Occupant Load	100 SF per person maximum allowed for both industrial and business areas and 500 SF per person for storage areas.	100 SF per person maximum allowed
Egress Width	44" minimum 32" minimum clear width at doors 0.3 in/occupant at stairs 0.2 in/occupant at other types of egress	44" minimum 32" minimum clear width at doors 0.3 in/occupant at stairs 0.2 in/occupant at other types of egress
Travel Distance to Exits	250 feet maximum in Factory and Storage Use Groups 300 feet maximum in Business Use Group	250 feet maximum
Common Path of Travel	100 feet maximum w/ automatic sprinkler	100 feet maximum
Dead End Corridor	50 feet maximum w/ automatic sprinkler	50 feet maximum
Means of Egress	2 where occupant load is 50-500 3 where occupant load is 501-1000 3 exits required from first floor 2 exits required from second floor	2 where occupant load is 50-500 3 where occupant load is 501-1000 3 exits required from first floor 2 exits required from second floor
Fire Resistance Ratings:		
Building Elements	Required fire-rating in hours: 0 Primary Structural Frame 2 Exterior Bearing Walls 0 Interior Bearing Walls 0 Exterior Non-Bearing Walls & Partitions 0 Interior Non-Bearing Walls & Partitions 0 Floor Construction 0 Roof Construction 3 Fire Walls 3 Fire Barriers 0 Exit Access Corridors	No minimum construction requirements
Exit Enclosure	1 hour where connecting less than 4 stories	1 hour where connecting less than 4 stories
Building Area	<p>First Floor: F-1 34,315 SF S-1 8,632 SF B 15,299 SF 58,246 SF total (unchanged)</p> <p>Second Floor: S-1 9,754 SF B 9,982 SF 19,736 SF total (unchanged)</p>	
Building Occupant Load:	<p>First Floor: F-1 344 S-1 18 B 153 total 515 occupants</p> <p>Second Floor: S-1 20 B 100 total 120 occupants</p>	

1 Code Summary
1/16" = 1'-0"

No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/23/12
3	PERMIT-2	03/08/12
4	PERMIT-3	03/22/12

WISE BUSINESS FORMS

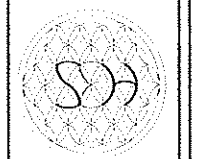
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CODE SUMMARY

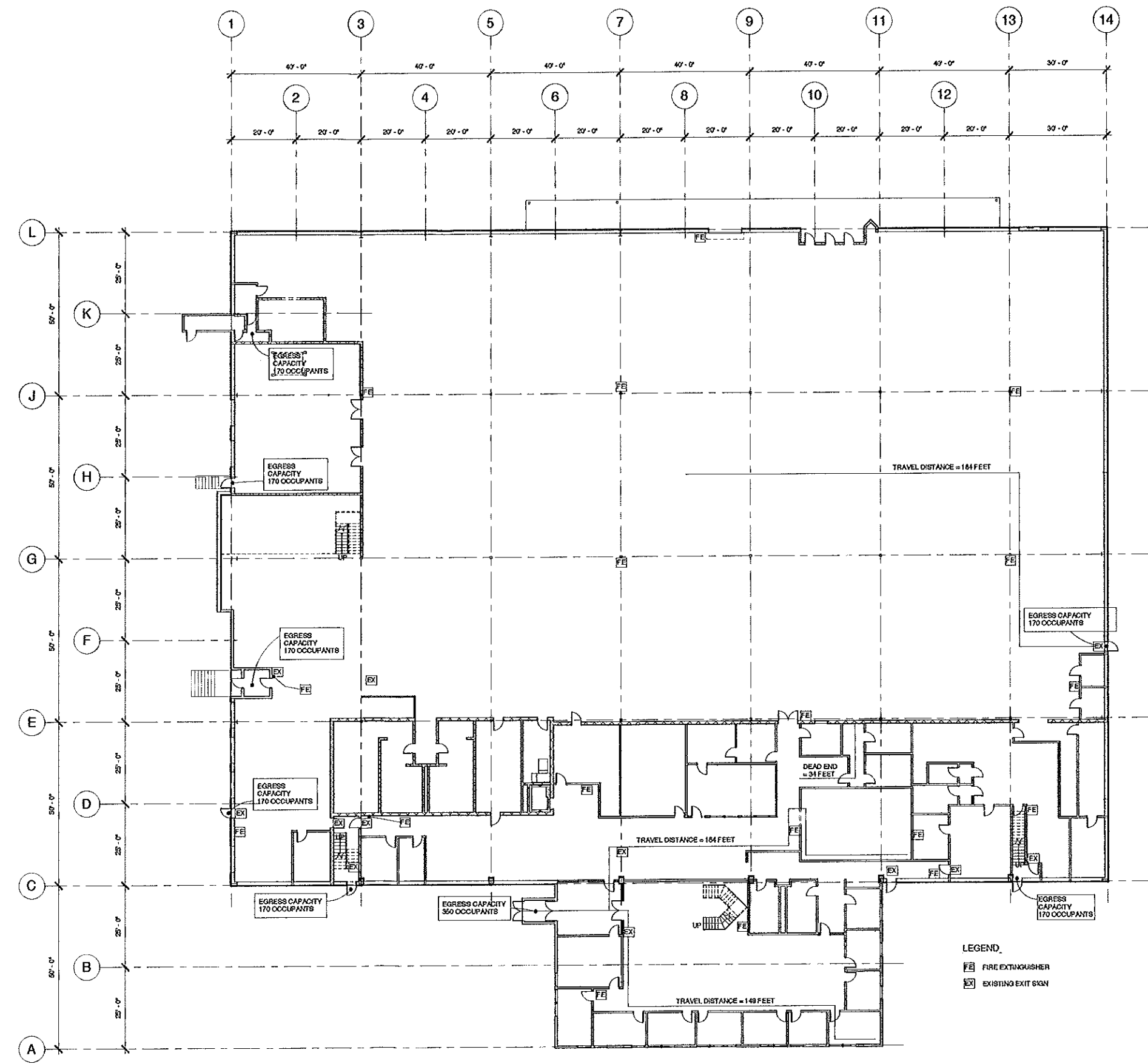
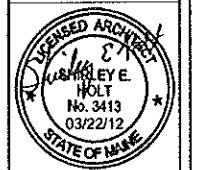
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Date 02/22/12
Drawn by SEH
Checked by SEH

G 002

Scale As indicated



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1 FIRST FLOOR LIFE SAFETY PLAN
 1/16" = 1'-0"

No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/26/12
3	PERMIT-2	03/03/12
4	PERMIT-3	03/22/12

WISE BUSINESS FORMS

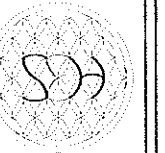
WISE BUSINESS FORMS FIT UP

FIRST FLOOR LIFE SAFETY PLAN

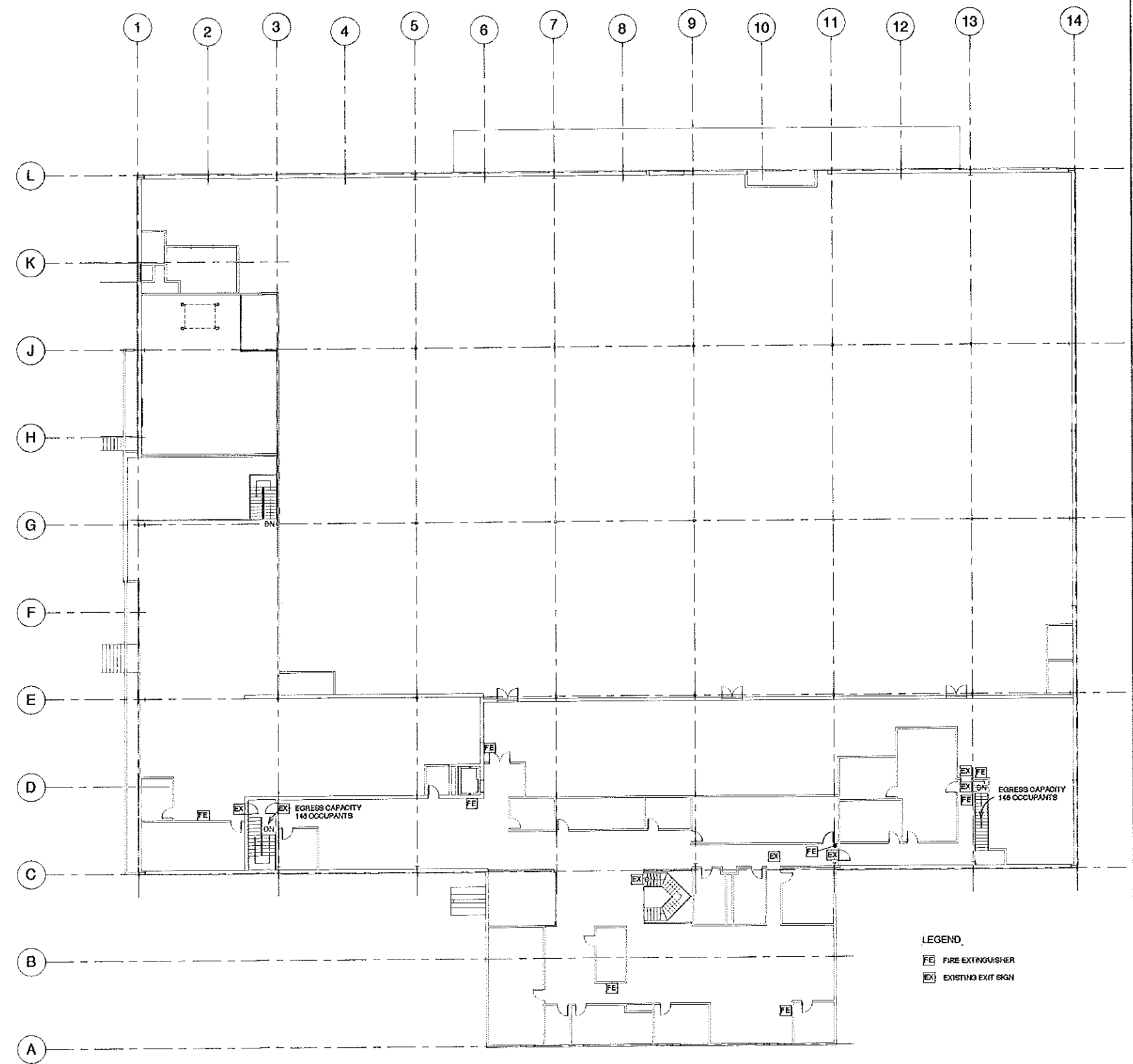
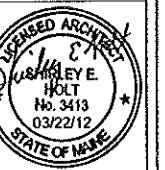
Project number 1201
 Date 02/22/12
 Drawn by SEH
 Checked by SEH

G 003
 Scale 1/16" = 1'-0"

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1 SECOND FLOOR LIFE SAFETY PLAN
 1/16" = 1'-0"

No.	Description	Date
1	PRUING	02/22/12
2	PERMIT	02/22/12
3	PERMIT-2	03/08/12
4	PERMIT-3	03/22/12

WISE BUSINESS FORMS
 WISE BUSINESS FORMS FIT UP

SECOND FLOOR LIFE SAFETY PLAN

Project number 1201
 Date 02/22/12
 Drawn by SEH
 Checked by SEH

G 004

Scale 1/16" = 1'-0"

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STRUCTURAL DESIGN CRITERIA:

- Light Gage Metal Studs - Exterior and Interior Load-Bearing.
1. Building Code: The Building is designed to comply with The 2009 Edition of the International Building Code, IBC 2009 & The 2005 Edition of ASCE-7, "Minimum Design Loads for Buildings and Other Structures".
2. Design Loads:
Floors: Live Load: Refer to Architectural Drawings
Design Wind: Location: Portland, Maine
Wind Load (Per ASCE 2005 Section 6.0): Basic Wind Speed V = 100 MPH
Wind Exposure Factor = B
Importance Factor I = 1.00
Roof: Live Load: Ground Snow Load Pg = 60 PSF Plus Snow Drift Loading Where Applicable. (Per ASCE 2005 Section 7.0)
Snow Exposure Factor (Ce) = 1.0
Importance Factor (I) = 1.0
Snow Load Thermal Factor (Ct) = 1.1
3. Galvanized 18 and 20 Gage Studs, Track, Bridging, End Closure and Accessories Shall Be Formed From Steel That Corresponds to The Requirements of ASTM A653/A653M, Grade A, with a Yield Stress of 33 ksi.
4. Galvanized Studs of 12, 14, and 16 Gage Shall be Formed From Steel That Corresponds to The Requirements of ASTM A653/A653M, with a Yield Stress of 50 ksi.
5. Fasteners: Unless Noted Otherwise: Use Only The Following Fasteners:
1.) P.A.F. = 0.157" dia. Powder Actuated Fastener (M18).
Use "X-U 32P8" At 1 1/2" Length For Attachment to Concrete (With 1 1/2" Embedment).
2.) Use #10 Screws Typical For Attachment of Light Gage Metal Framing to Structural Steel and Miscellaneous Steel Connections, Including Rigid Connectors to Steel Bent Plates.
3.) Use #10-18 Screws Typical For All Light Gage Steel to Light Gage Steel Connections. Screw Design Values Are Based On AISI/LGSEA Values.
6. FastClips, FastStruts (Slip Conn.) & Uni-Clips (Rigid Conn.) Are By Dietrich Industries, U.N.O. VertiClips, (Slip Conn.) & SUIRiClips (Rigid Conn.) Are By The Steel Network, U.N.O.

STUD NOMENCLATURE:

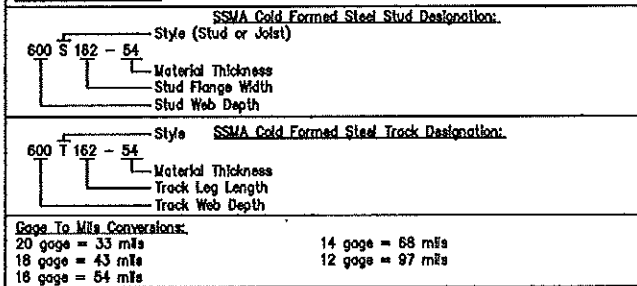


Table with 2 columns: Gage To Mils Conversions, and values for 20 gage = 33 mils, 18 gage = 43 mils, 16 gage = 54 mils, 14 gage = 68 mils, 12 gage = 97 mils.

GENERAL COLD FORMED METAL FRAMING NOTES:

- INSTALLATION:
1. Installation shall be in accordance w/ Steel Stud Manufacturers Association (SSMA) IC80 ER-4943P Printed Instructions and recommendations.
2. Temporary bracing is the responsibility of the contractor. Do not remove bracing until work is permanently stabilized.
3. Cutting of steel framing members may be accomplished with a saw or shear. Torch cutting of load bearing members is permitted only if ends are ground smooth.
MATERIALS:
4. All light gage framing members shall be manufactured from steel that meets the requirements of A.I.S.I. specifications, latest edition.
5. All Studs and Accessories Shall Be Formed From Steel Having a Hot-Dipped, Galvanized Coating per ASTM A653 and C955, minimum G60 coating.
CONNECTIONS:
6. Fastener penetration through joined materials shall not be less than three exposed threads. Minimum spacing and edge distance of screw fasteners shall not be less than 3/8".
7. All clip angles shall match stud gage unless otherwise noted.
LOAD BEARING MEMBERS: (JOISTS, RAFTERS AND AXIALLY LOADED STUDS)
8. Both flanges of studs must be attached to track members @ top & bottom.
9. All axially loaded members shall be aligned vertically to allow for full transfer of loads down to the foundation.
10. Load bearing members shall bear squarely and tightly in their tracks. Provide at least 10 inches of unpunched steel at bearing points.
11. Joists and Rafters: provide and blocking where joist ends are not otherwise restrained from rotation. Provide solid bridging in first two rows of members. Attach flat strapping to top and bottom flanges of joist from third row extending for a maximum of 10 ft. Repeat solid bridging for one joist bay and then another 10 ft. of flat strapping. Bridging should be a maximum of 8 ft. on center between supports.
12. Stud lateral bridging requirements for walls subject to axial loading - Provide bridging at a minimum of 48" on center vertically by one of the following methods:
a.) 1 1/2" cold rolled U-channel attached w/ clips and No. 8 screws (spacing as required) (6" wide studs, max)
b.) 2" x 20 gage flat strapping applied to both stud faces with one bay of solid blocking every 10' (spacing as required).
c.) Dietrich Metal Framing Type spazzbar 5400 bridging running through studs then twist locking (spacing as required) (6" wide studs, max)
NON-LOAD BEARING MEMBERS: (CURTAINWALL)
13. Stud lateral bridging requirements for walls subject to wind loading only.
a.) sheath walls on both sides or, use spazzbar at 4'-0" o.c. Vertically.
b.) provide spazzbar within 12" of top of studs where deflection track is used.

GENERAL NOTES:

- 1. All studs and accessories are of the type, size, gage and spacing as shown on the shop drawing and shall be manufactured by Dietrich Metal Framing. Heavier gages may be substituted for those shown.
2. Contents of this submittal show the intended application of cold formed components. Framing erector is to refer to the project contract documents for additional construction assembly requirements.
3. Dimensions shown herein have been determined per the contract documents and are for design reference only. All conditions shall be field verified prior to erection.
4. The contents of this submittal are subject to the review and approval of the Owner's Structural Engineer and Architect prior to erection. Material selections and connection details shown herein may differ from those shown in the contract documents. The framing erector shall await approval before framing materials are ordered.

WISE BUSINESS FORMS - BALER ROOM FIT-UP

PORTLAND, MAINE

STRUCTURAL DESIGN CRITERIA:

- 1. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
2. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
3. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
4. IT IS THE OWNER'S SOLE RESPONSIBILITY TO EMPLOY ONE OR MORE SPECIAL INSPECTORS (IF REQUIRED) TO PROVIDE INSPECTIONS IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF IBC 2006.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING AND TEMPORARY BRACING DURING THE PROGRESS OF THE PROJECT.
6. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE RECOMMENDATIONS AND REQUIREMENTS CONTAINED IN THE "MANUAL OF STEEL CONSTRUCTION", ALSO THIRTEENTH EDITION (INCLUDING ALSO CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES), AND "STRUCTURAL STEEL WELDING CODE - STEEL", (AWS D1.1, LATEST EDITION).
7. STRUCTURAL STEEL ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING:
a) ASTM A992, GRADE 50. ALL WIDE FLANGE SECTIONS, FY=50
b) ASTM A36: OTHER ROLLED SHAPES, PLATES AND BARS, FY=36
ASTM A36: THREADED AND OTHER STEEL RODS

FOUNDATION NOTES:

- 1. FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE OF 1500 PSF. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY. NOTIFY THE ENGINEER AND STOP WORK IF CLAY, WET SOILS, FILL, OR OTHER DELETERIOUS MATERIALS ARE ENCOUNTERED.
2. DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-0" BELOW FINISHED GRADE.
3. NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS OR SLABS UNLESS NOTED OTHERWISE.
4. FOUNDATION CONTRACTOR SHALL SET COLLAR ANCHOR BOLTS AND LEVELING PLATES, INCLUDING GROUTING, AS PER THE STRUCTURAL STEEL CONTRACTOR'S DRAWINGS.
5. EXCAVATING AND BACK FILLING AT NEW AND EXISTING FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
6. SUITABLE MATERIAL FOR BACK FILLING AGAINST THE FOUNDATION WALLS AND BENEATH THE STRUCTURAL SLAB INCLUDES: SELECT FILL, STRUCTURAL FILL AND GRANULAR BACKFILL. THESE MATERIALS SHALL BE SANDY GRAVEL TO GRAVELY SAND, FREE OF ORGANIC MATERIAL, LOAM, TRASH, OR FROZEN SOIL AND CONFORM TO THE FOLLOWING GRADATION:
SIDE SIZE PERCENT FINER BY WEIGHT
100
No. 4 30-90
No. 40 10-20
No. 200 0-8

- 2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND THE ARCHITECTURAL AND SITE SHOP DRAWINGS.
3. ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE CONTRACTOR SHALL DETERMINE ALL NECESSARY DIMENSIONS, ELEVATIONS AND CONDITIONS REQUIRED FOR THE FABRICATION AND ERECTION OF THE BUILDING COMPONENTS PRIOR TO SUBMISSION OF SHOP DRAWINGS.
4. SECTIONS AND DETAILS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL AND USED FOR SIMILAR CONDITIONS.
5. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
6. PROVIDE CONTROL JOINTS IN STRUCTURAL SLAB AT 12'-0" ON CENTER MAX.
7. PROPORTION DESIGN MIXES TO PROVIDE CONCRETE FOR INTERIOR SLABS-ON-GRADE WITH THE FOLLOWING PROPERTIES:
a. STRENGTH: 4000psi @ 28 DAYS, 3/4" AGGREGATE
b. W/C RATIO: 0.48
c. SLUMP: 3" ± 1"
8. PROPORTION DESIGN MIXES TO PROVIDE CONCRETE FOR EXTERIOR FROST WALLS, FOOTINGS AND ALL OTHER EXPOSED SITE CONCRETE WITH THE FOLLOWING PROPERTIES:
a. STRENGTH: 3600psi @ 28 DAYS, 3/4" AGGREGATE
b. W/C RATIO: 0.52
c. ENTRAINED AIR: 6% ± 1%
d. SLUMP: 3" ± 1"
9. PORTLAND CEMENT: ASTM C150, TYPE I OR TYPE II.

CONCRETE NOTES:

- 1. ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 4000 PSI AT FOUNDATION WALLS AND FOOTINGS, 4200 PSI AT SLABS-ON-GRADE, MAXIMUM SIZE AGGREGATE SHALL BE 3/4".
3. ALL CONCRETE WITH THE EXCEPTION OF INTERIOR FLOOR SLABS SHALL BE AIR ENTRAINED.
4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
5. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION AND PLACED IN ACCORDANCE WITH ACI-318.
6. SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318. SPLICES OF W/F SHALL BE 6" MINIMUM.
7. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNLESS OTHERWISE NOTED.
8. HOOKS NOT DIMENSIONED SHALL BE A6I STANDARD HOOKS.
9. CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
CONCRETE CAST AGAINST EARTH = 3"
CONCRETE EXPOSED TO EARTH OR WEATHER = 1-3/4" FOR #5 AND SMALLER
CONCRETE NOT EXPOSED TO EARTH OR WEATHER = 3/4"
10. SUBMIT COMPLETE REBAR SHOP DRAWINGS AND SCHEDULES SHOWING ALL DETAILS AND ELEVATIONS PRIOR TO ANY FABRICATION.
11. VAPOR RETARDER SHALL BE PREMOULDED SEVEN-PLY MEMBRANE OF REINFORCED CORE AND CARRIER SHEET WITH FORTIFIED BITUMEN LAYERS; PROTECTIVE WEATHER COATING, AND PLASTIC ANTI STICK SHEET. WATER VAPOR TRANSMISSION RATE OF 1 PERM WHEN TESTED TO ASTM E 96, METHOD B. PROVIDE GYFOLYN+REINFORCED TYPE T-65 UNDER SLAB VAPOR RETARDER.



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WISE BUSINESS FORMS FIT-UP

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WISE BUSINESS FORMS

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SEAL: MARCH 20, 2012

CURRENT ISSUE STATUS PERMIT

This Drawing Shall Be Considered A "Contract Document" ONLY When It Possesses The Engineer's Seal & Signature. Otherwise It Shall Be Considered A "Progress Print" - Not For Construction.

Table with 2 columns: SCALE, PROJECT NUMBER, DATE, DESIGN BY, REVISIONS. Values include SEE PLAN, 2012-101, 01/28/2012, CTR/msh, and 1. PERMIT SET 03/20/2012.

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER: S001

TOTAL NUMBER OF SHEETS:



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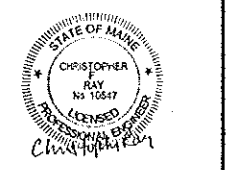
Old Orchard Beach Maine

WISE BUSINESS FORMS FIT-UP

380 Riverside Street
Portland, ME

WISE BUSINESS FORMS

900 Cummings Center
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Beverly, MA 01915



SEAL: MARCH 20, 2012

CURRENT ISSUE STATUS:
PERMIT

This Drawing Shall Be Considered A "Contract Document" ONLY When It Possesses The Engineer's Seal & Signature. Otherwise It Shall Be Considered A "Progress Print" - Not For Construction.

SCALE: SEE PLAN
PROJECT NUMBER: 2012-101
DATE: 01/26/2012
DESIGN BY: CRR/eah
REVISIONS:
1. PERMIT SET 03/20/2012

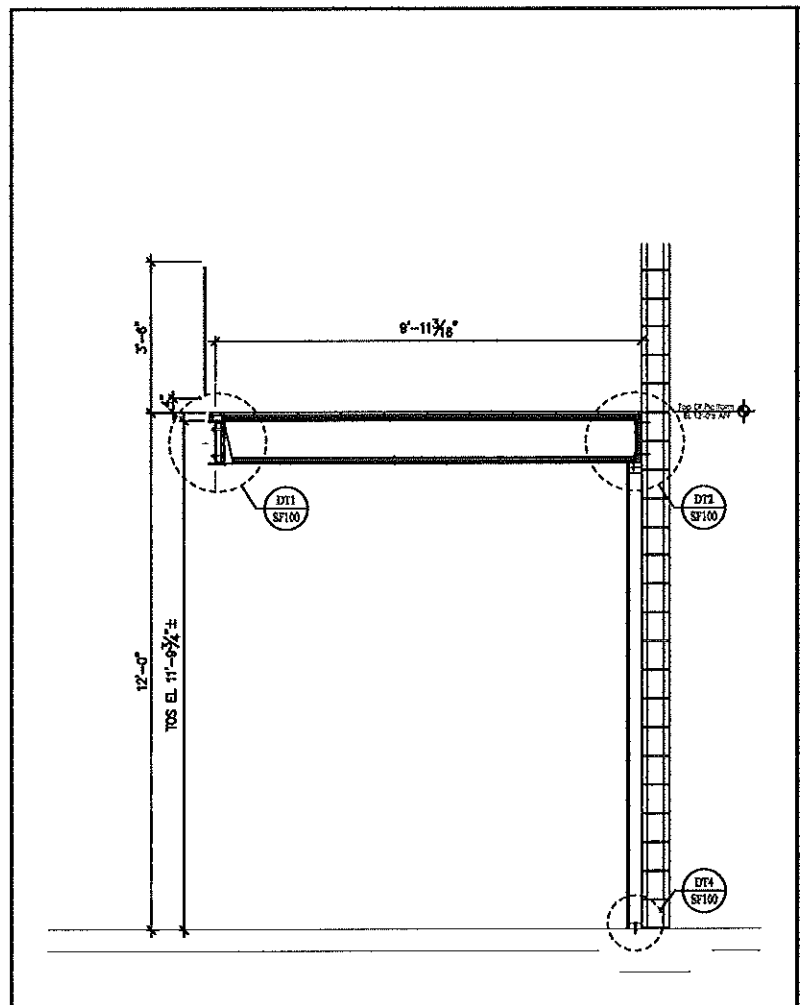
SHEET TITLE:

BALER ROOM AND CYCLONE FRAMING PLANS

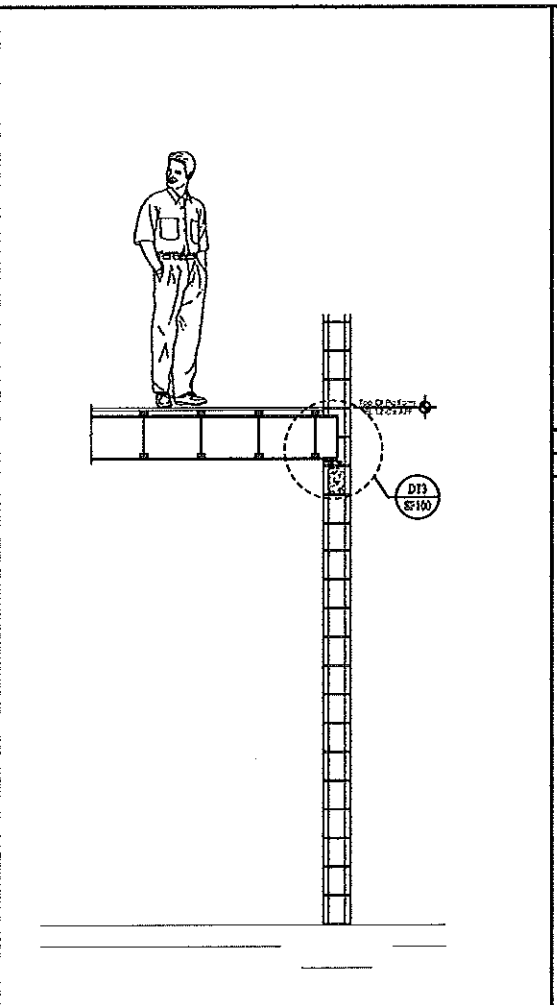
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SF100

TOTAL NUMBER OF SHEETS:

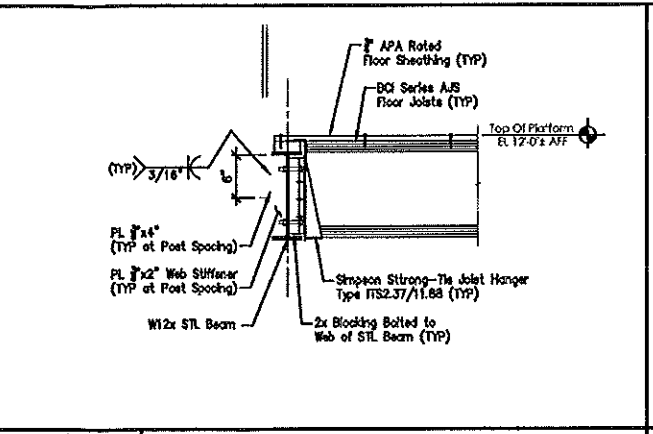
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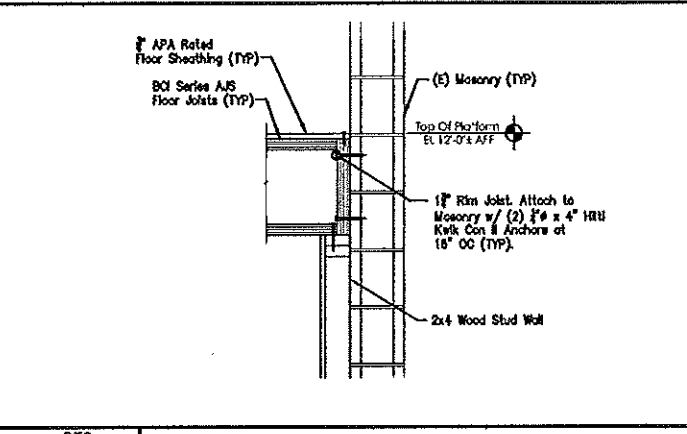
S1 POWER PLATFORM SECTION
1/2" = 1'-0"



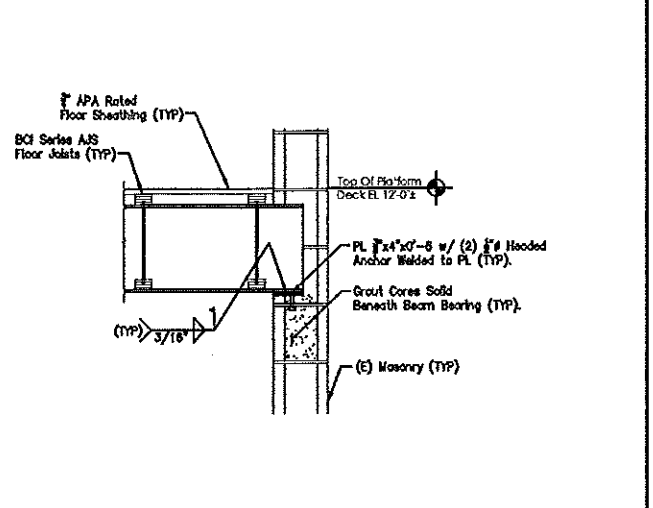
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1/2" = 1'-0"



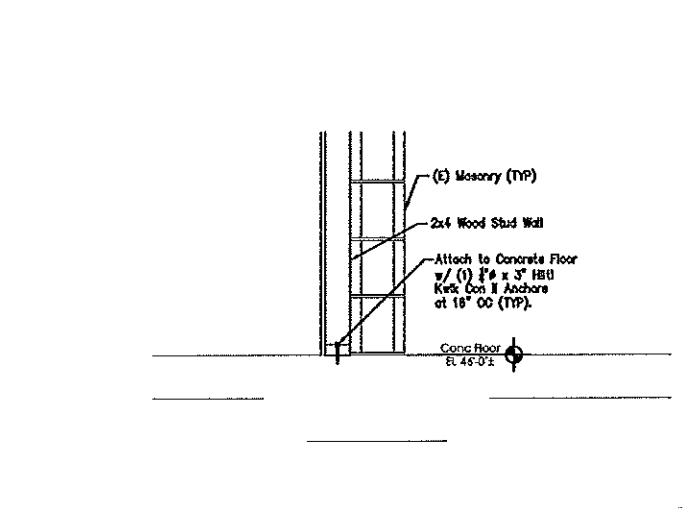
DT1 POWER PLATFORM DETAIL
1" = 1'-0"



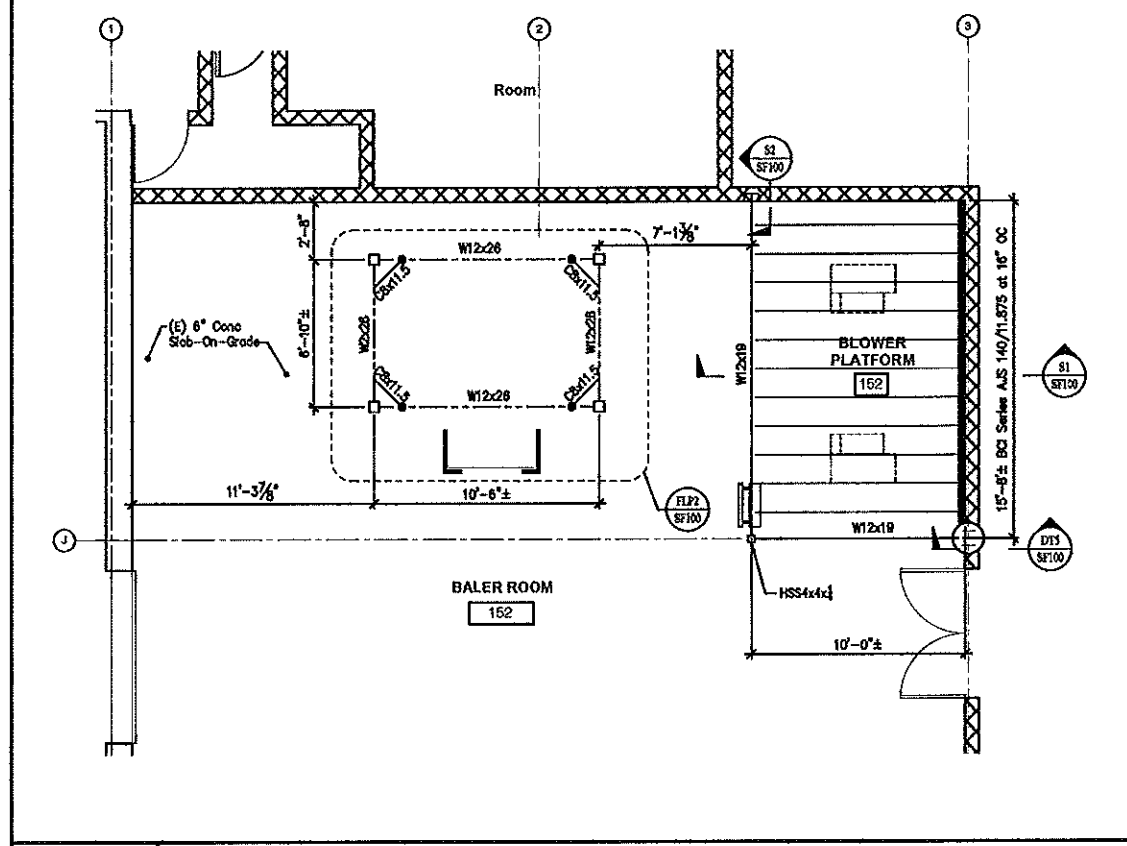
DT2 POWER PLATFORM DETAIL
1" = 1'-0"



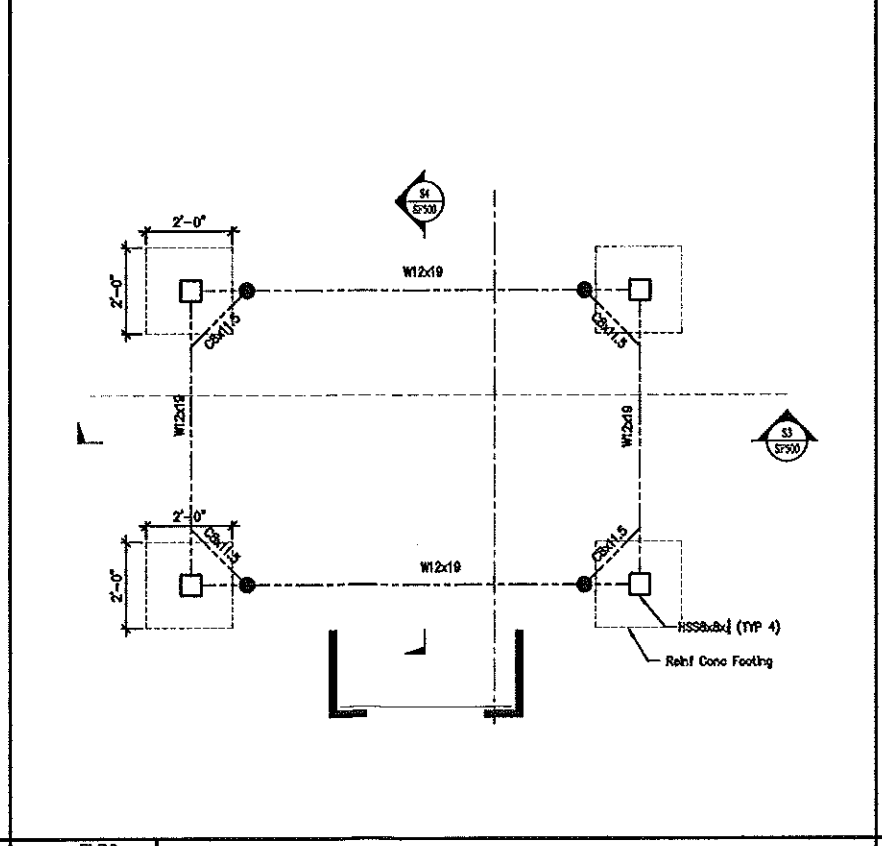
DT3 POWER PLATFORM DETAIL
1" = 1'-0"



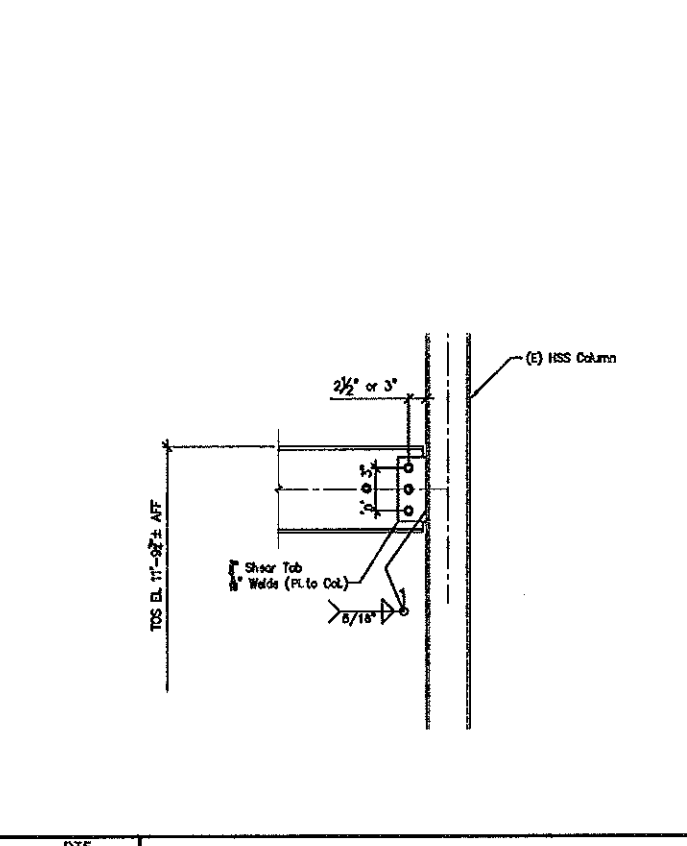
DT4 POWER PLATFORM DETAIL
1" = 1'-0"



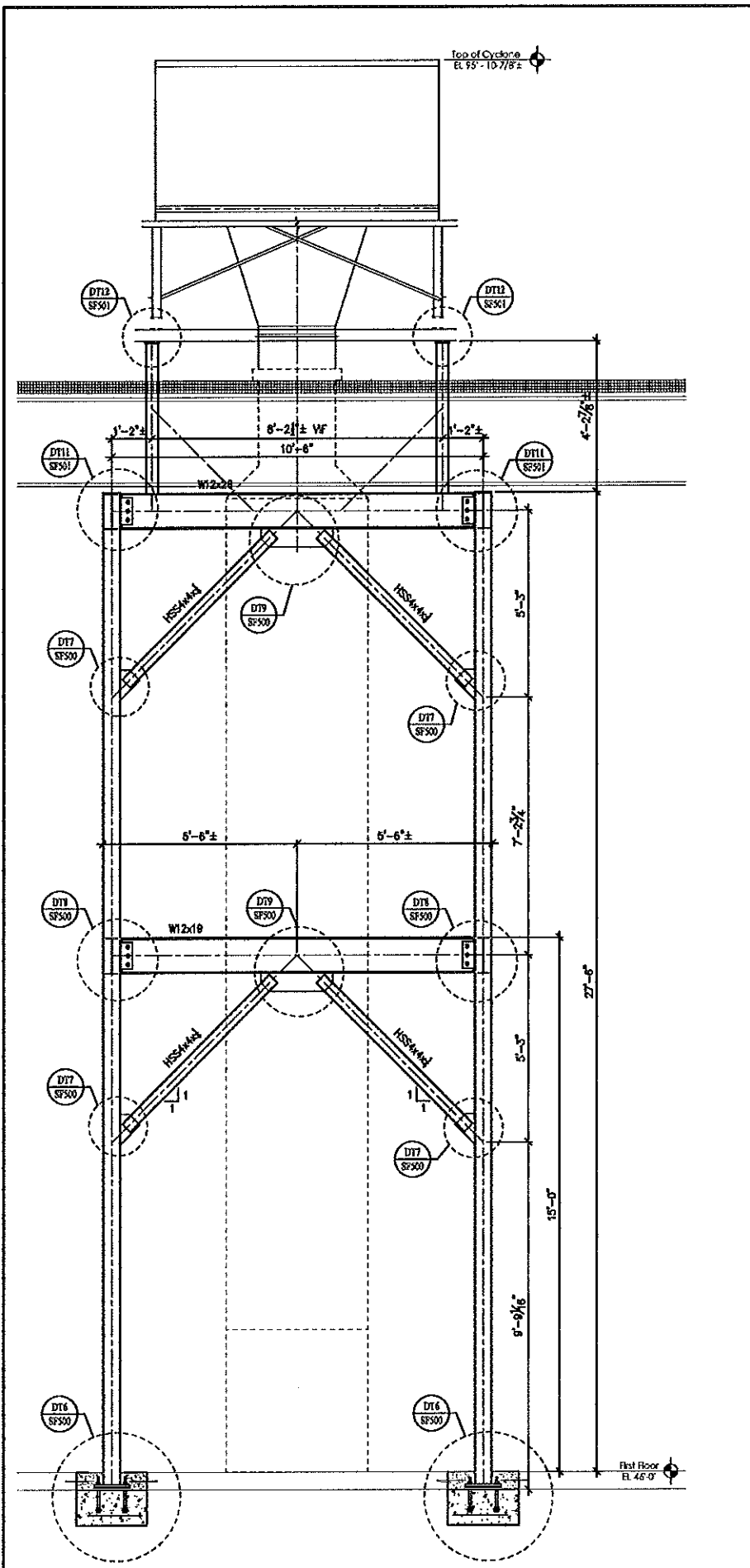
FLP1 BALER ROOM AND POWER PLATFORM PLAN
1/4" = 1'-0"



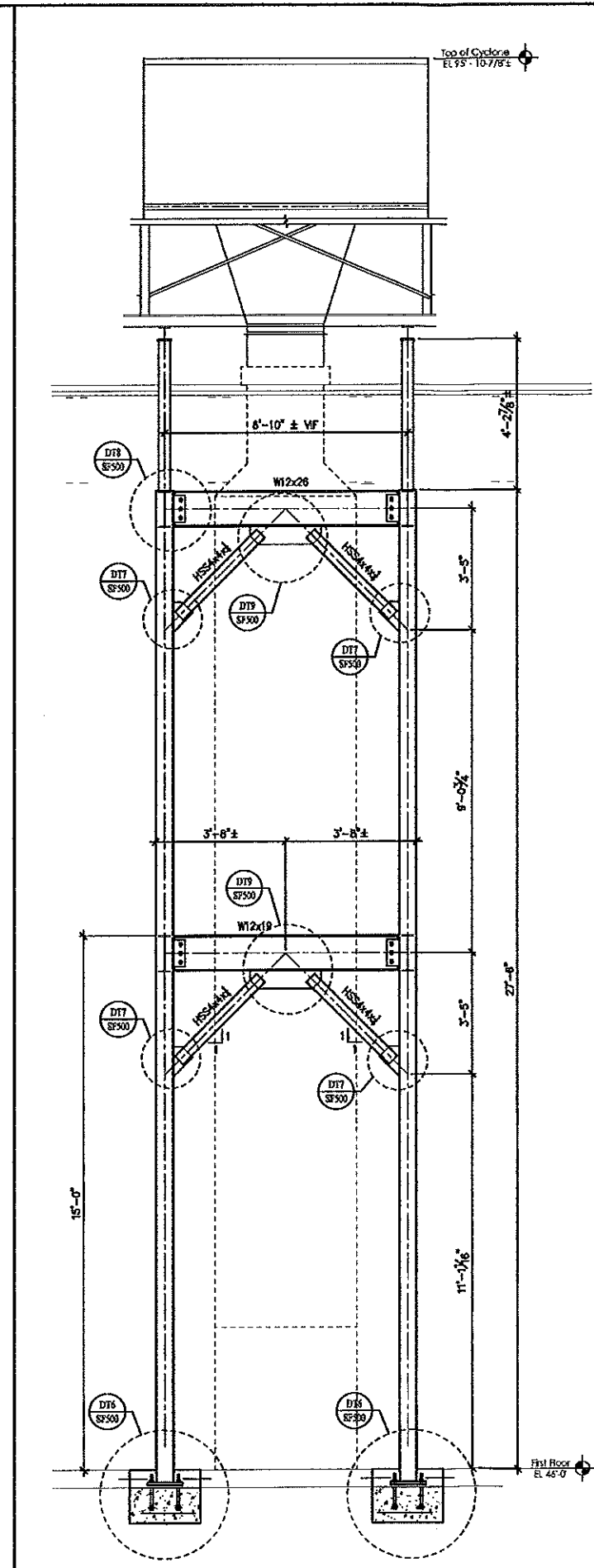
FLP2 CYCLONE SUPPORT FRAMING PLAN
1/2" = 1'-0"



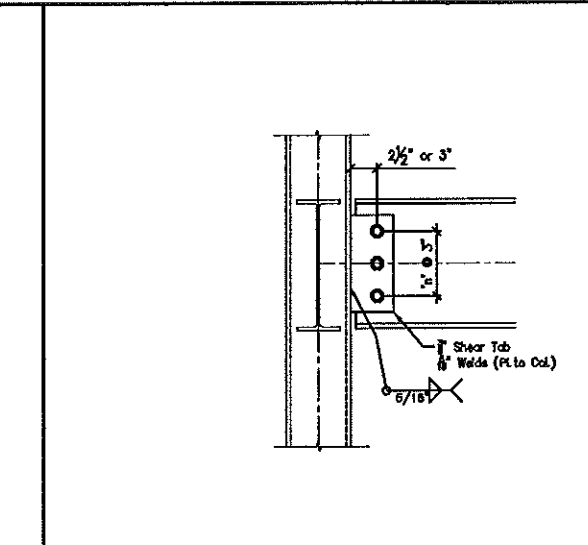
DT5 POWER PLATFORM DETAIL
1" = 1'-0"



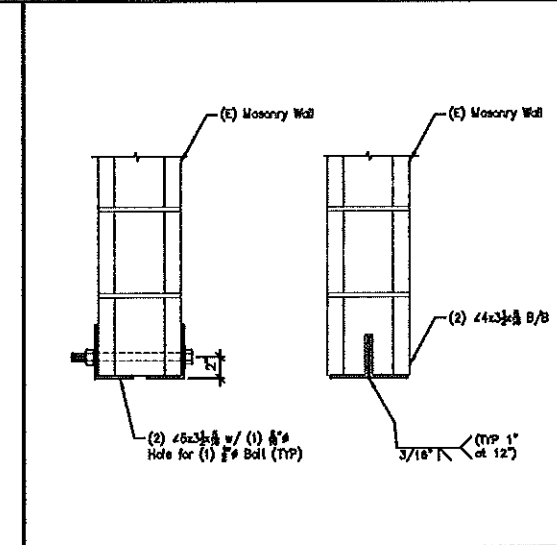
S3 BUILDING SECTION at CYCLONE STEEL FRAME
1/2" = 1'-0"



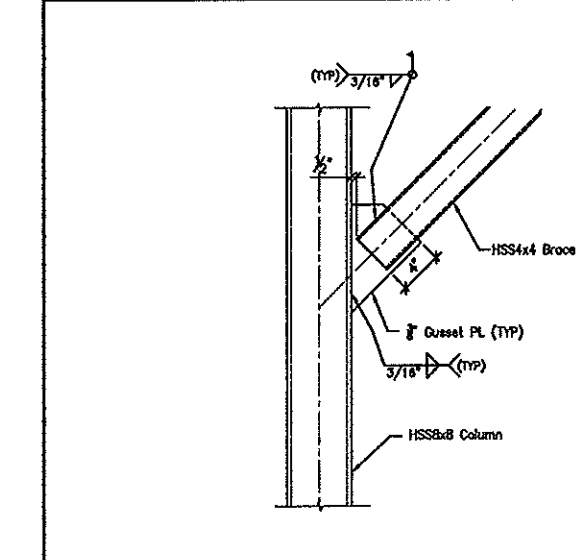
S4 BUILDING SECTION at CYCLONE STEEL FRAME
1/2" = 1'-0"



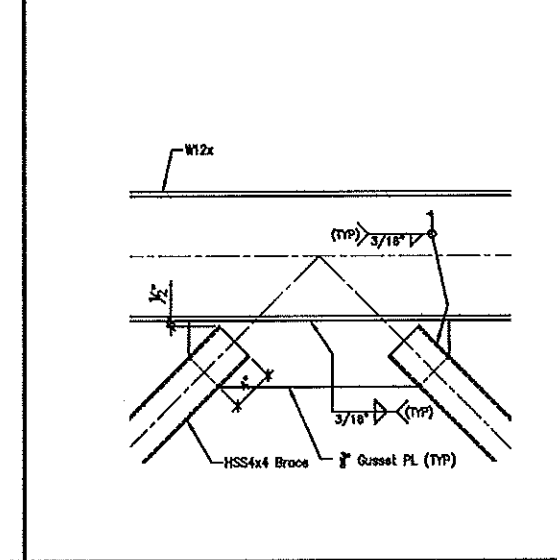
DT8 CYCLONE STEEL FRAME CONN DETAIL
1-1/2" = 1'-0"



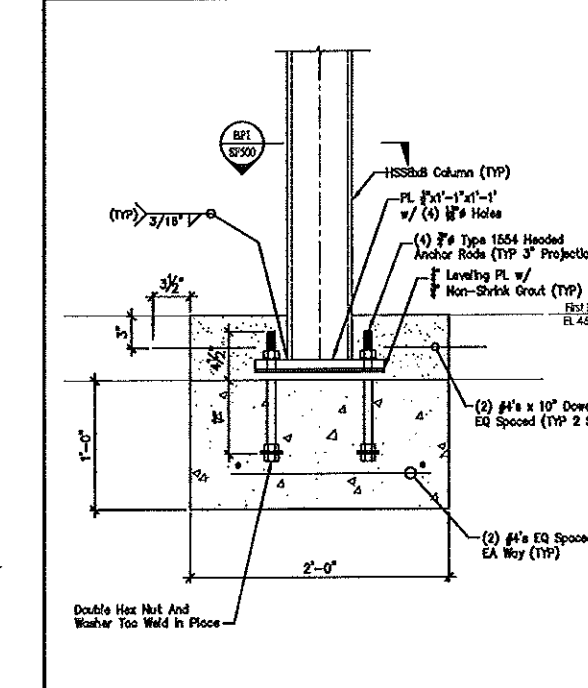
DT10 TYP (E) MASONRY LINTEL SUPPORT
1-1/2" = 1'-0"



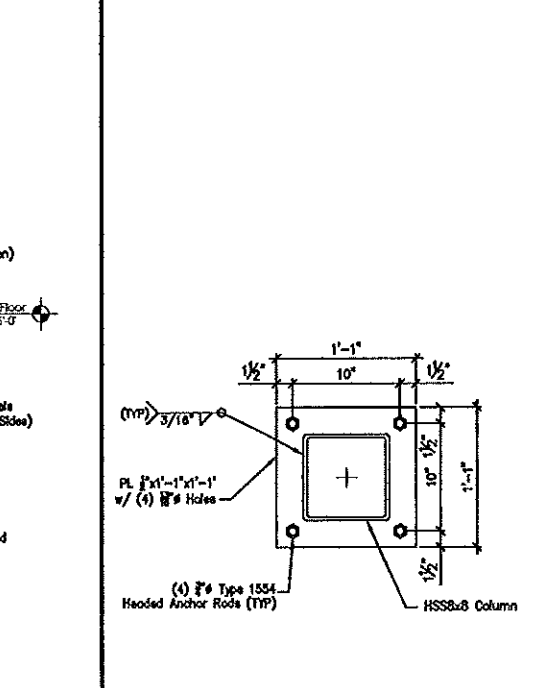
DT7 CYCLONE STEEL FRAME CONN DETAIL
1-1/2" = 1'-0"



DT9 CYCLONE STEEL FRAME CONN DETAIL
1-1/2" = 1'-0"



DT6 CYCLONE STEEL FRAME CONN DETAIL
1-1/2" = 1'-0"



BP1 TYP BASE PLATE-CYCLONE TOWER
1-1/2" = 1'-0"

DSC
Downeast Structural Consultants, LLC
5 Oak Street
Cumberland, Maine 04021
phone: 207.850.3093
www.doneststructural.com

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PREPARED FOR:
SEHolt Architect, LLC
132 Union Avenue
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WISE BUSINESS FORMS FIT-UP
380 Riverside Street
Portland, ME

WISE BUSINESS FORMS
900 Cummings Center
Suite 301U
Beverly, MA 01915

STATE OF MAINE
CHRISTOPHER RAY
No. 10647
REGISTERED PROFESSIONAL ENGINEER
Civil/Structural

SEAL: MARCH 20, 2012

CURRENT ISSUE STATUS:
PERMIT

This Drawing Shall Be Considered A "Control Document" ONLY When It Possesses The Engineer's Seal & Signature. Otherwise It Shall Be Considered A "Program Print" - Not For Construction.

SCALE: SEE PLAN
PROJECT NUMBER: 2012-101
DATE: 01/26/2012
DESIGN BY: CFR/wh
REVISIONS:
1. PERMIT SET 03/20/2012

SHEET TITLE:
BUILDING SECTION AND CYCLONE FRAMING PLANS

SHEET NUMBER:
SF500

TOTAL NUMBER OF SHEETS:
3 OF 4



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Cumberland, Maine 04021
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SEHolt Architect, LLC
132 Union Avenue

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Portland, ME

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Beverly, MA 01915



SEAL: MARCH 20, 2012

CURRENT ISSUE STATUS:
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SCALE: SEE PLAN
PROJECT NUMBER: 2012-101
DATE: 01/28/2012
DESIGN BY: CFR/sah
REVISIONS:
1. PERMIT SET 03/20/2012

SHEET TITLE:

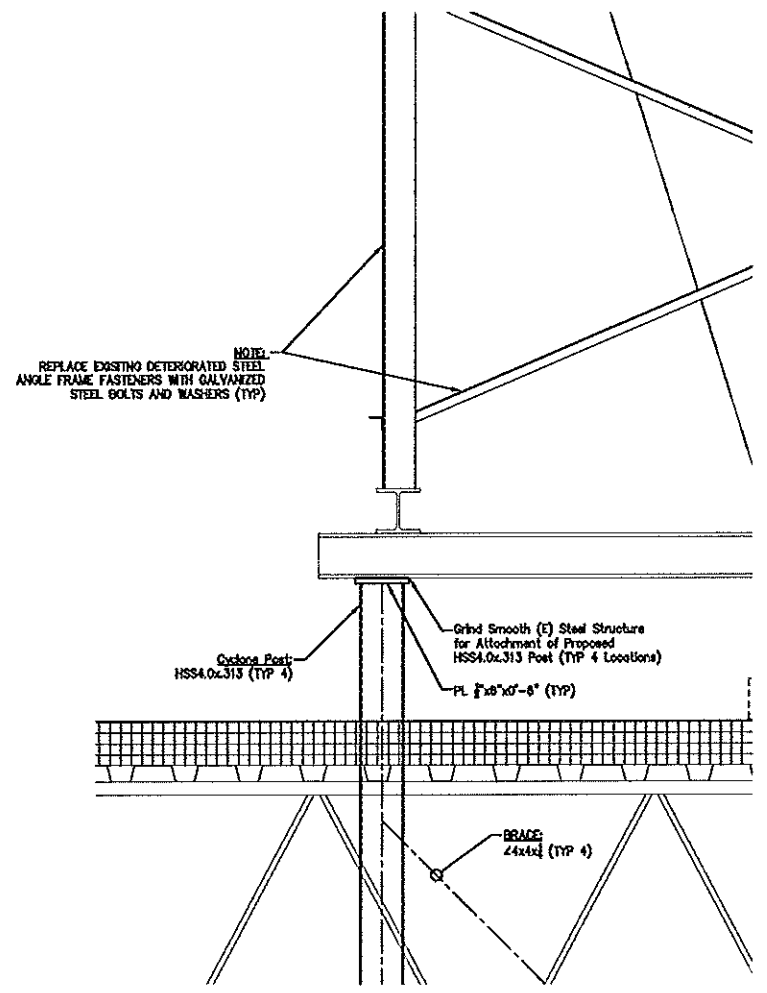
BUILDING SECTIONS AND DETAILS

SHEET NUMBER:

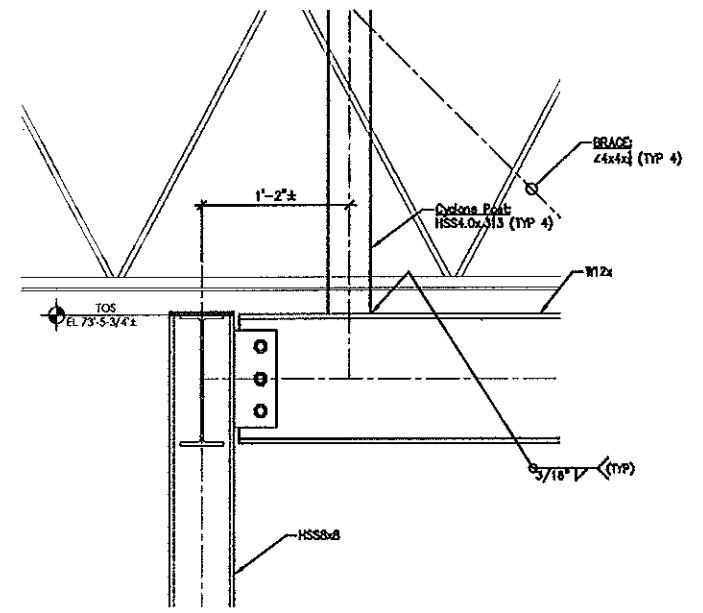
SF501

TOTAL NUMBER OF SHEETS:

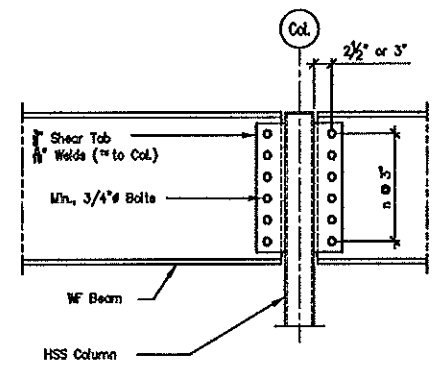
4 OF 4



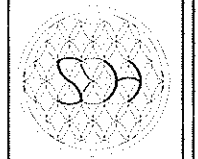
DT12
1-1/2" = 1'-0"
CYCLONE STEEL FRAME CONN DETAIL



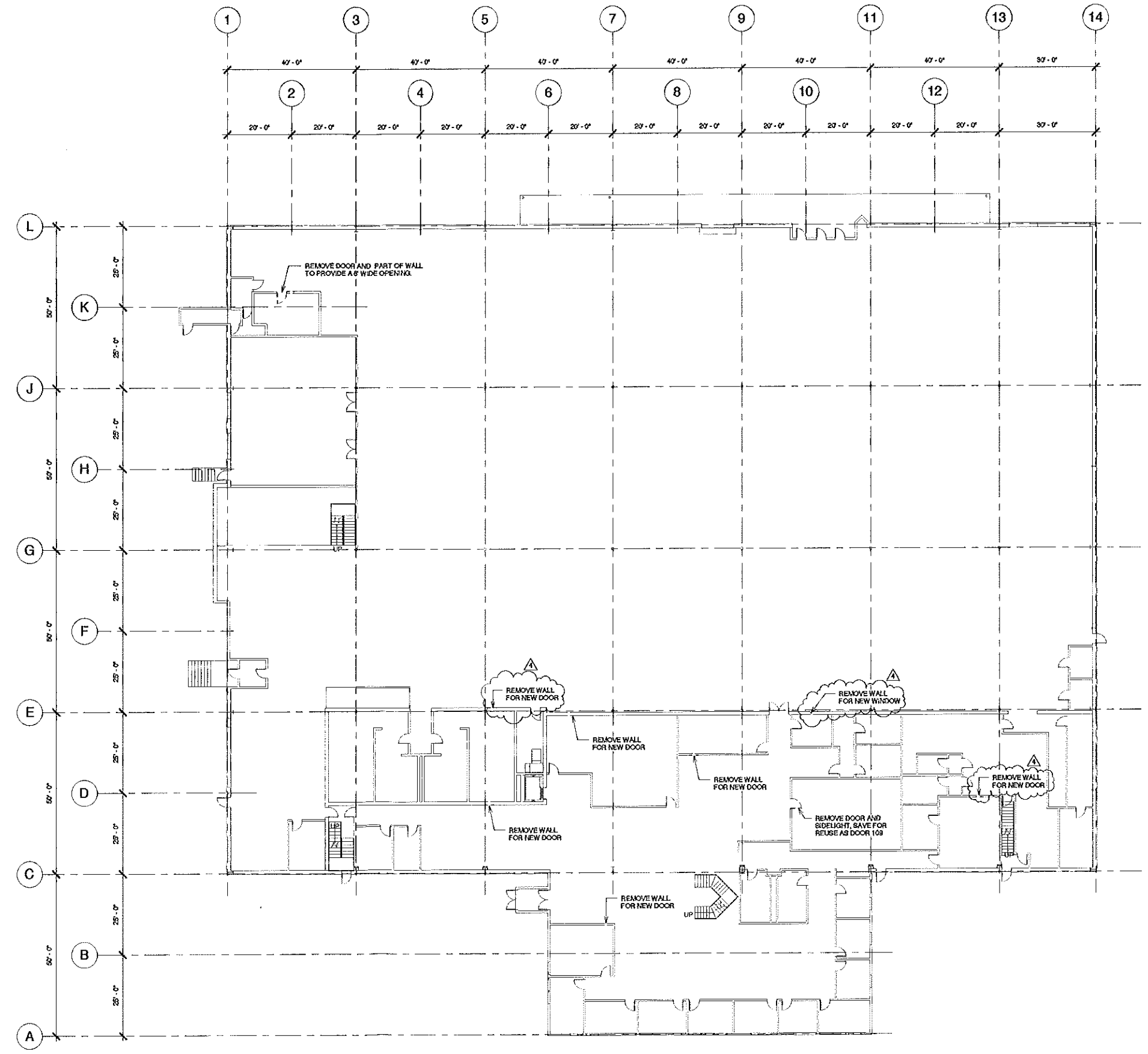
DT11
1-1/2" = 1'-0"
CYCLONE STEEL FRAME CONN DETAIL



DT9
TYPICAL WF BEAM TO HSS COLUMN CONNECTION



SDA
 SDIot Architect, LLO
 132 Union Avenue
 Old Orchard Beach, ME 04064
 (207) 487-6653
 Sdailey@SDIot.com



1 First Floor Demolition Plan
 1/16" = 1'-0"

No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/28/12
3	PERMIT-2	03/08/12
4	PERMIT-3	03/22/12

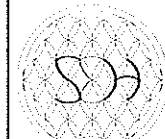
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DEMOLITION PLAN

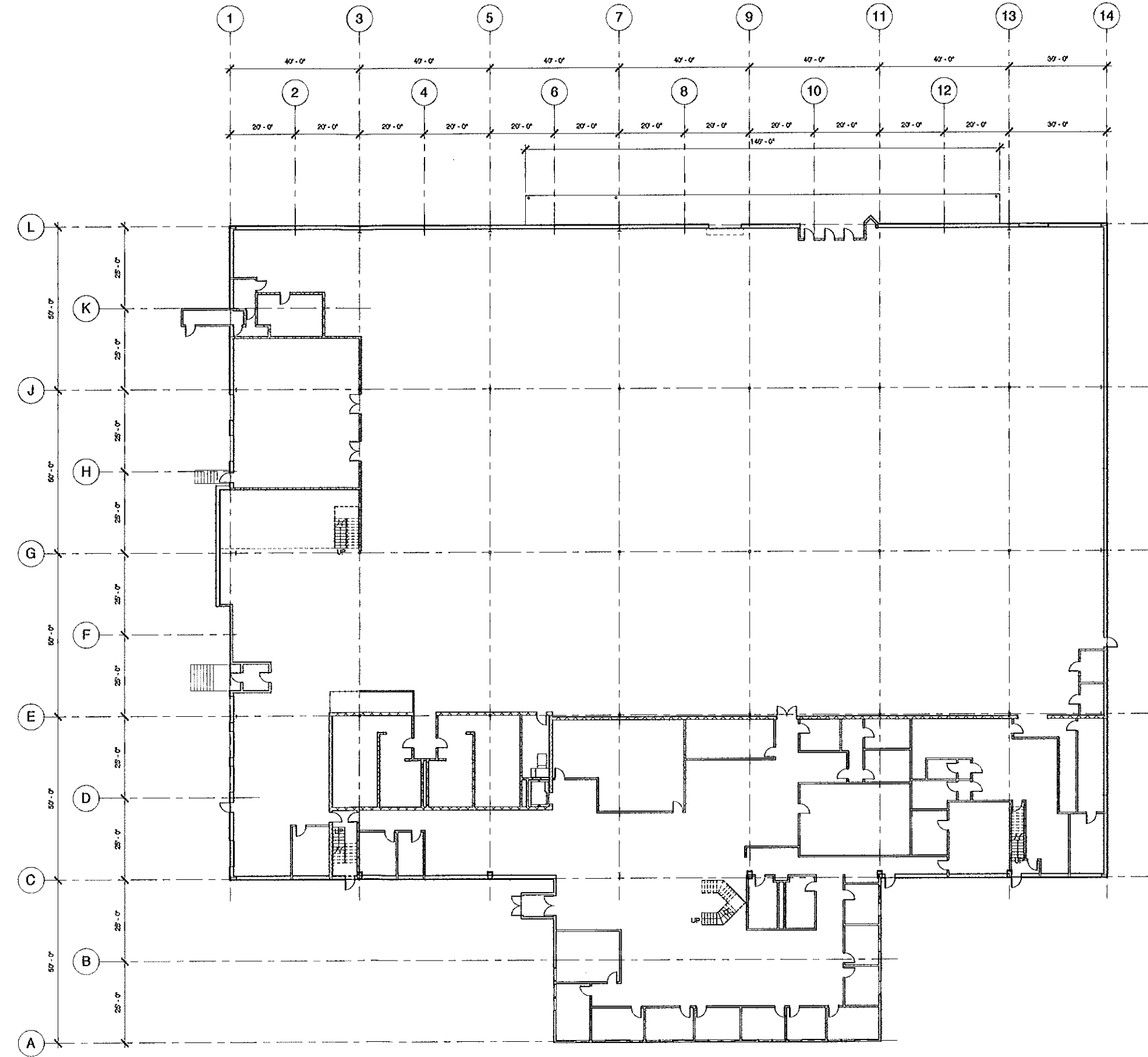
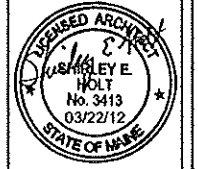
Project number 1201
 Date 02/22/12
 Drawn by SEH
 Checked by SEH

AD 101
 Scale 1/16" = 1'-0"

3/27/2012 10:15:00 AM



SEHolt Architects, LLC
 132 Union Avenue
 Old Orchard Beach, ME 04064
 (207) 487-5533
 shirley@SEHolt.com



① First Floor Plan - Existing
 1/16" = 1'-0"

No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/28/12
3	PERMIT-2	03/05/12
4	PERMIT-3	03/22/12

WISE BUSINESS FORMS

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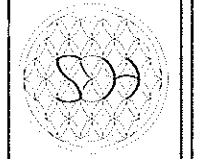
EXISTING FIRST FLOOR PLAN

Project number 1201
 Date 02/22/12
 Drawn by SEH
 Checked by SEH

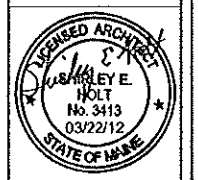
A 101

Scale 1/16" = 1'-0"

3/27/2012 10:18:03 AM

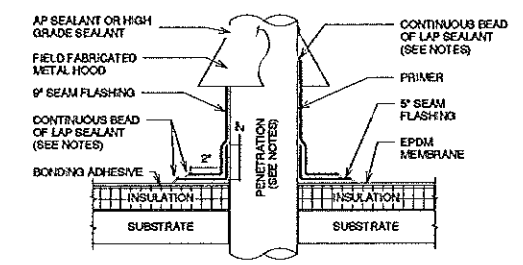


SEHolt Architects, L.L.C.
 132 Union Avenue
 Old Orchard Beach, ME 04064
 (207) 457-5683
 shiley@SEHolt.com



NOTES:

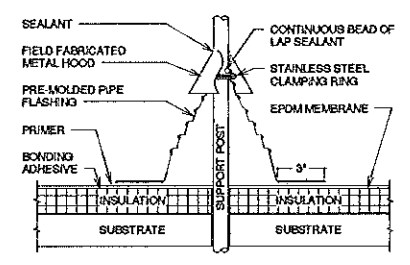
1. REMOVE ALL EXISTING FLASHINGS, LEAD, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, INSULATION, ETC.
2. PIPE MUST BE ANCHORED TO ENSURE STABILITY.
3. CLAMPING RING AROUND TOP OF FORM FLASH NOT ACCEPTABLE
4. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF FLASHING.



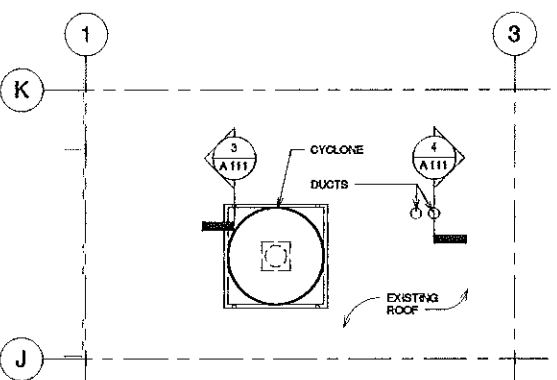
④ DUCT PENETRATION DETAIL
 3\"/>

NOTES:

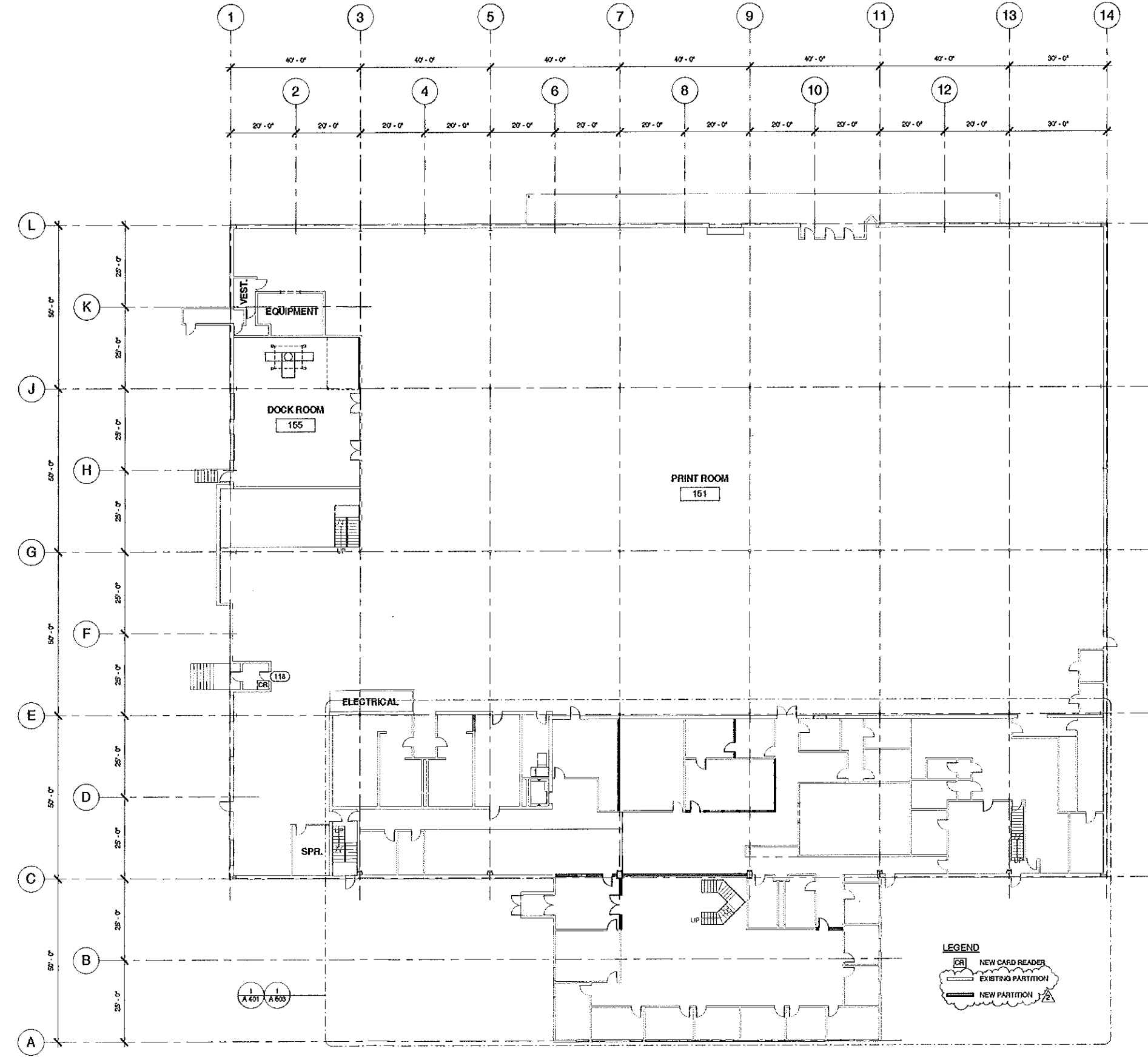
1. REMOVE ALL EXISTING FLASHINGS, LEADS, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, INSULATION, ETC.
2. PIPE MUST BE ANCHORED TO ENSURE STABILITY.
3. PRE-MOLDED PIPE FLASHING MAY BE CUT TO HEIGHT.
4. APPLY LAP SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING.



③ PIPE PENETRATION DETAIL
 3\"/>



② PARTIAL ROOF PLAN
 1/8\"/>



① First Floor Plan - Proposed
 1/16\"/>

No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/28/12
3	PERMIT-2	03/05/12
4	PERMIT-3	03/22/12

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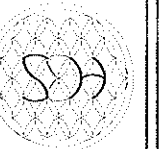
WISE BUSINESS FORMS FIT UP

PROPOSED FIRST FLOOR PLAN
 ROOF PLAN AND
 ROOF DETAILS

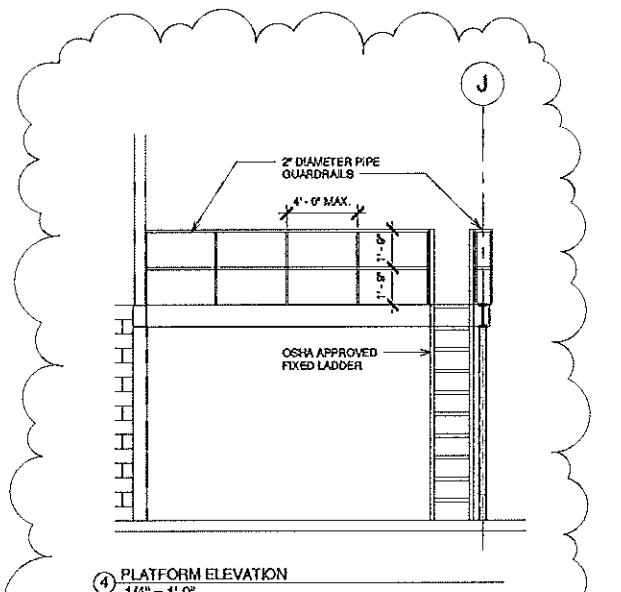
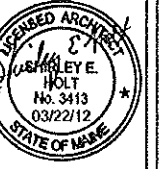
Proj# number 1201
 Date 02/22/12
 Drawn by SEH
 Checked by SEH

A 111
 Scale As Indicated

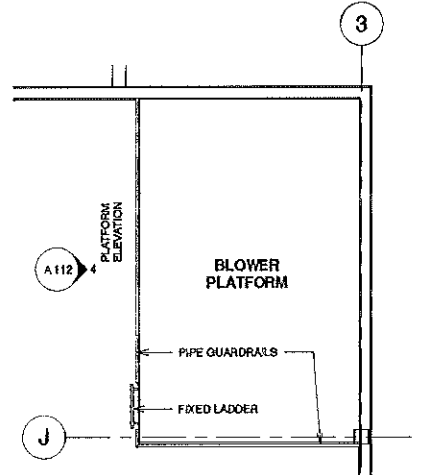
3/27/2012 2:10:22 PM



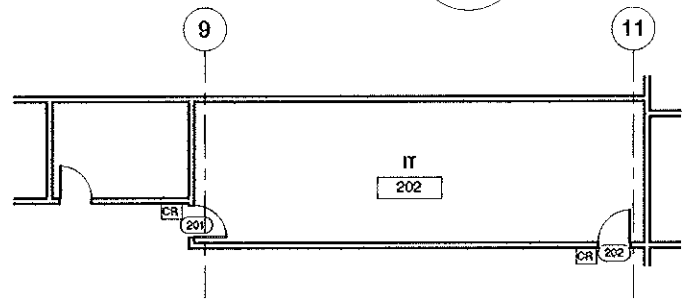
S&S Architects, LLC
 132 Union Avenue
 Old Orchard Beach, ME 04064
 (207) 487-5933
 shiley@sandsh.com



4 PLATFORM ELEVATION
 1/4" = 1'-0"

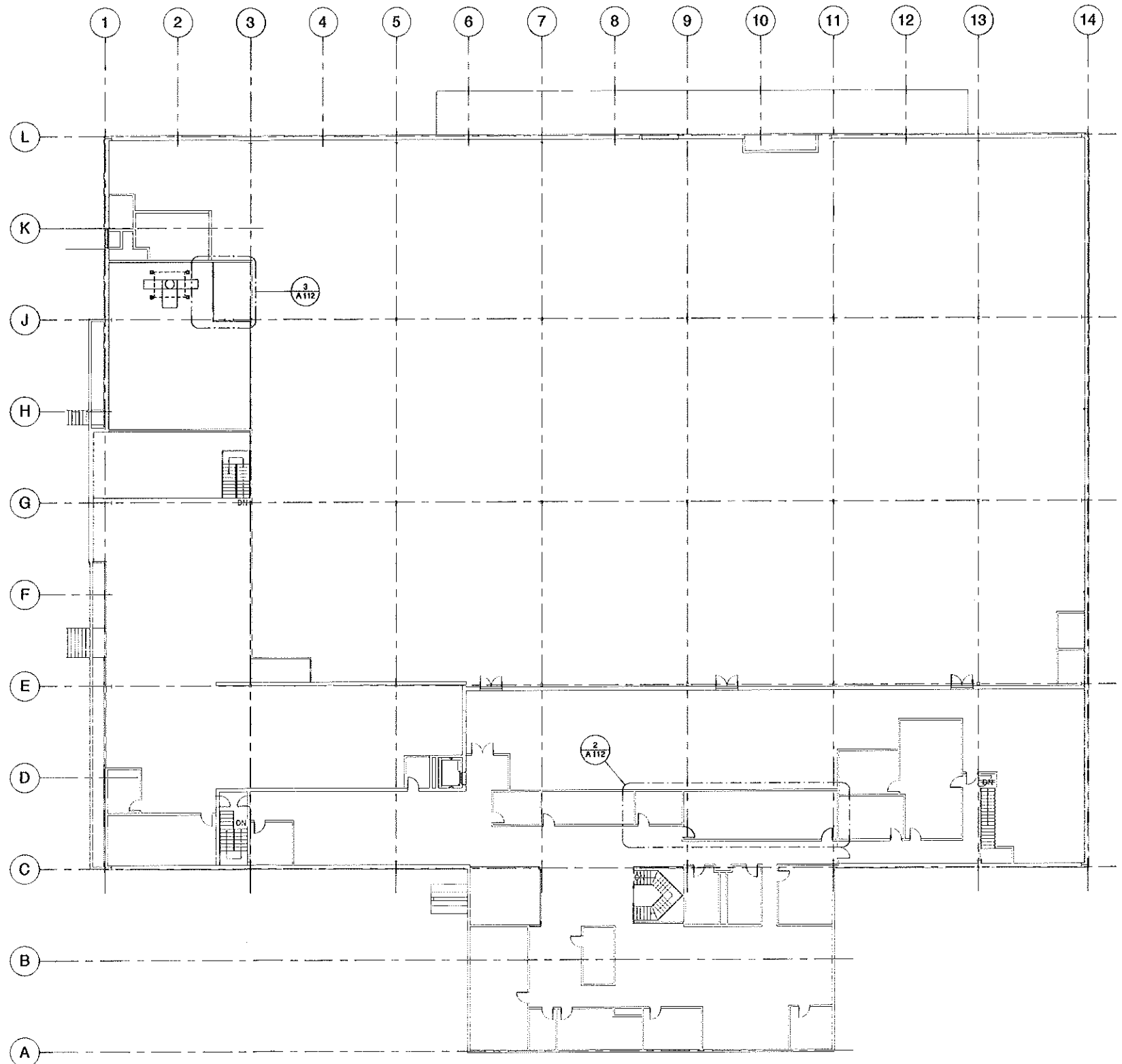


3 BLOWER PLATFORM PLAN
 1/4" = 1'-0"



2 IT ROOM
 1/8" = 1'-0"

LEGEND
 CR NEW CARD READER



1 SECOND FLOOR PLAN
 1/16" = 1'-0"

No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/28/12
3	PERMIT-2	03/05/12
4	PERMIT-3	03/22/12

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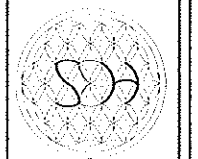
SECOND FLOOR PLANS AND ELEVATIONS

Project number: 1201
 Date: 02/22/12
 Drawn by: SEH
 Checked by: SEH

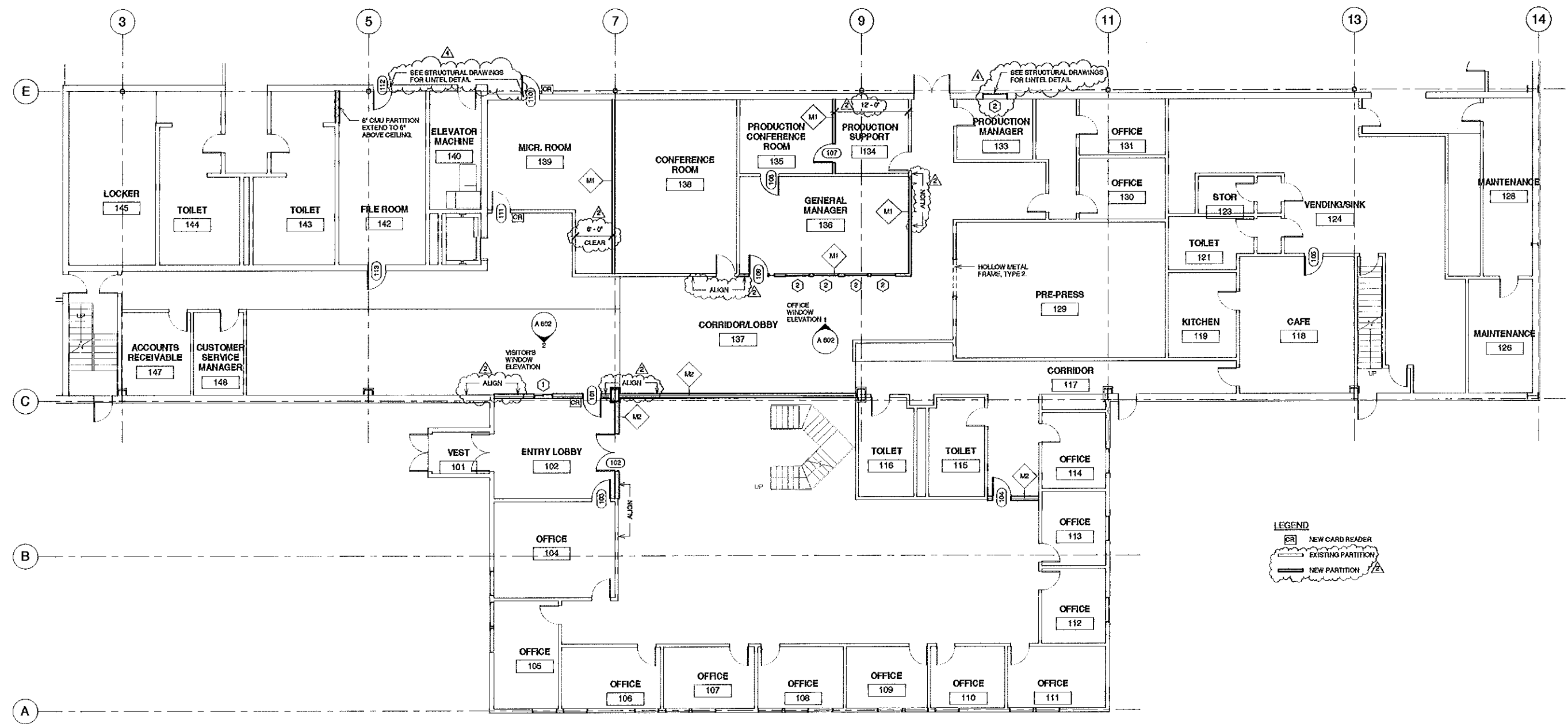
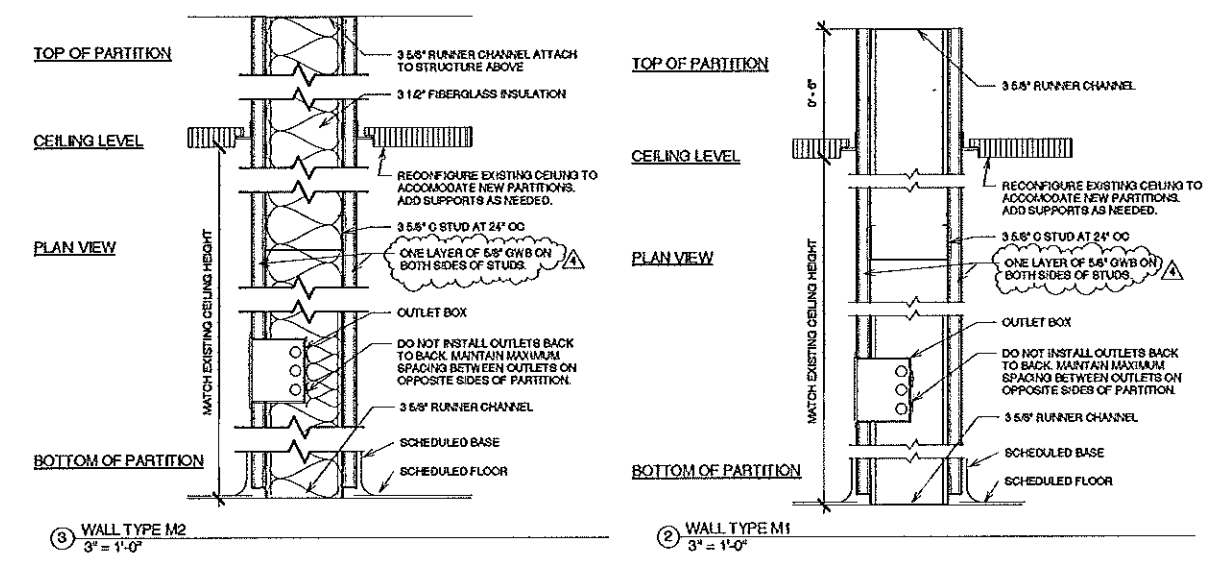
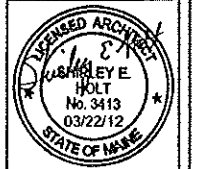
A 112

Scale: As indicated

3/27/2012 10:11:00 AM



SEHolt Architects, LLC
 132 Union Avenue
 Old Orchard Beach, ME 04064
 (207) 497-5583
 sholey@SEHolt.com



No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/23/12
3	PERMIT-2	03/03/12
4	PERMIT-3	03/22/12

WISE BUSINESS FORMS
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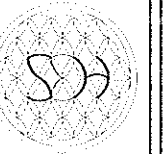
ENLARGED PLANS

Project number 1201
 Date 02/22/12
 Drawn by SEH
 Checked by SEH

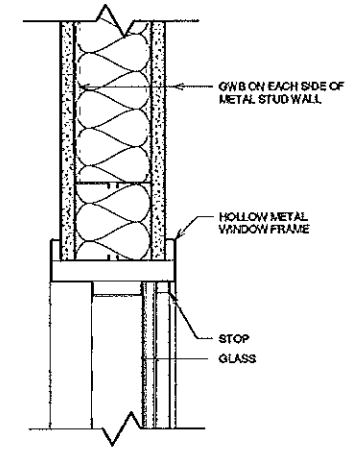
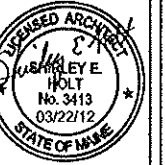
A 401
 Scale As indicated

1 First Floor Office Plan
 1/8" = 1'-0"

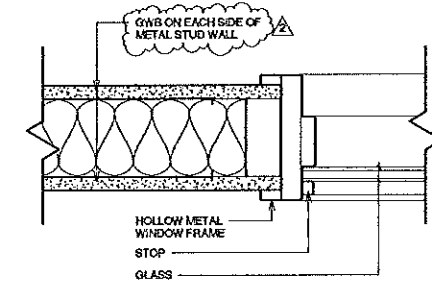
02/22/12 10:15:05 AM



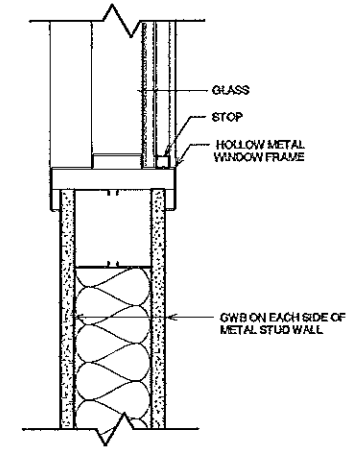
SEHolt, LLC
 132 Union Avenue
 Old Orchard Beach, ME 04064
 (207) 427-5553
 Shirley@SEHolt.com



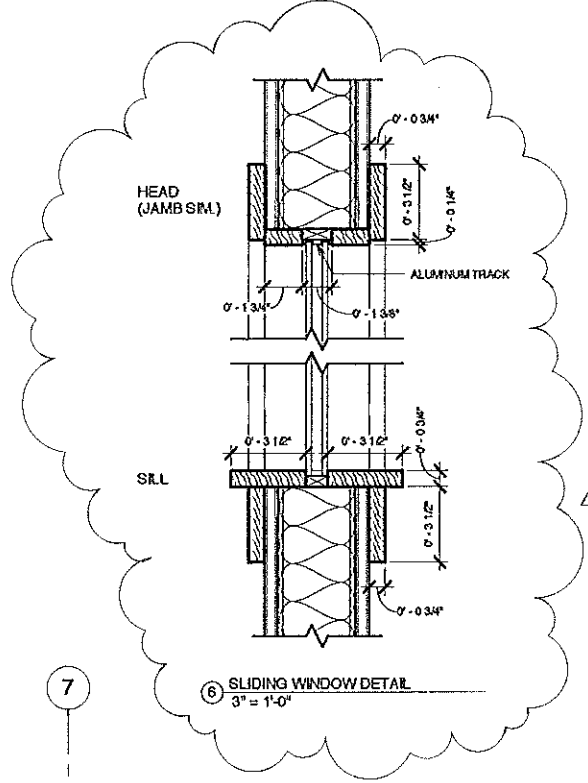
5 HM WINDOW HEAD DETAIL
 3" = 1'-0"



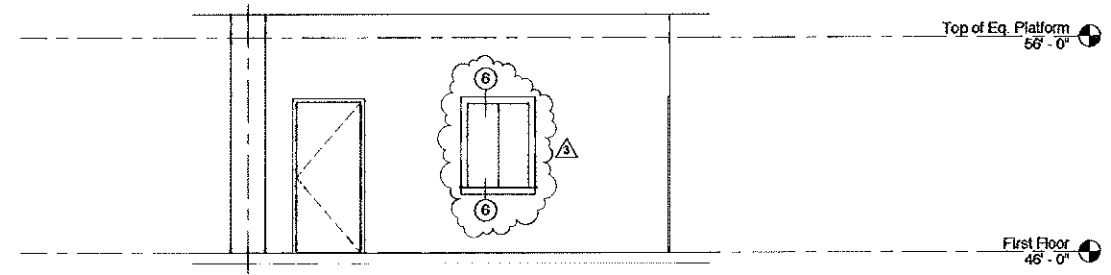
4 HM WINDOW JAMB DETAIL
 3" = 1'-0"



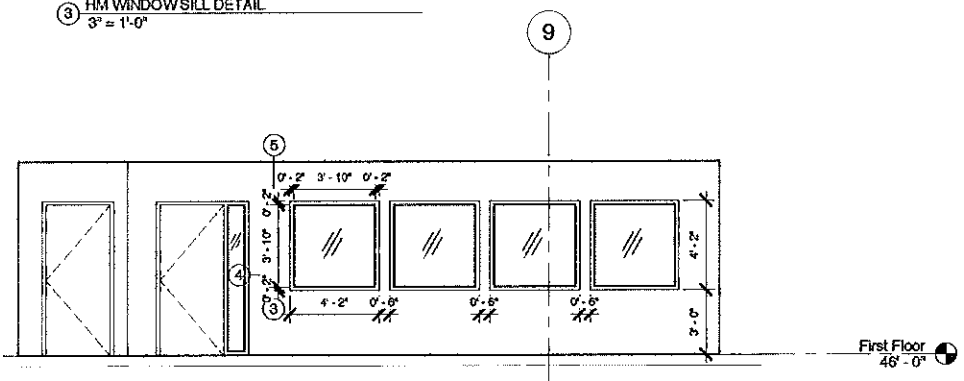
3 HM WINDOW SILL DETAIL
 3" = 1'-0"



6 SLIDING WINDOW DETAIL
 3" = 1'-0"



2 VISITORS WINDOW ELEVATION
 1/4" = 1'-0"



1 OFFICE WINDOW ELEVATION
 1/4" = 1'-0"

No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/23/12
3	PERMIT-2	03/05/12
4	PERMIT-3	03/22/12

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WINDOW DETAILS

Project number	1201
Date	02/22/12
Drawn by	SEH
Checked by	SEH

A 602

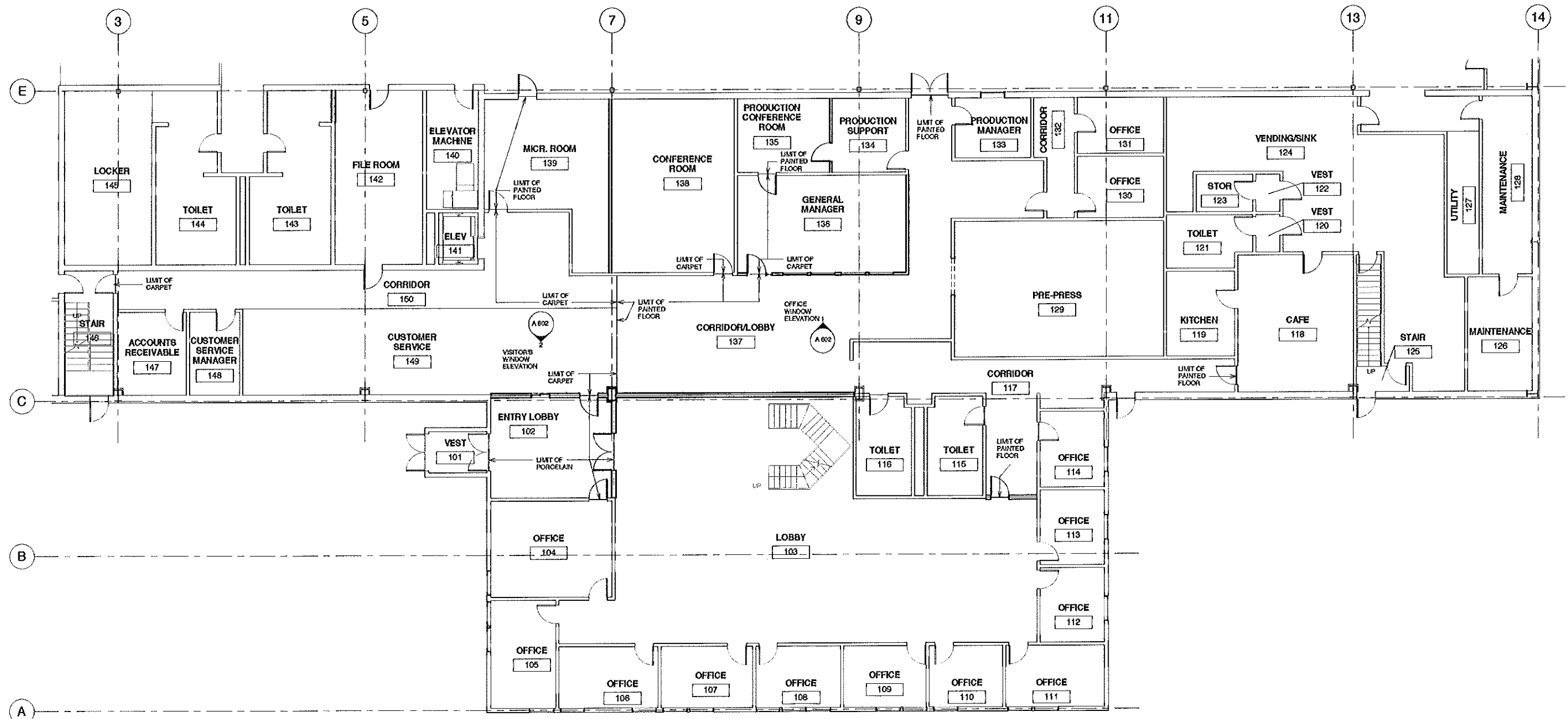
Scale As Indicated

3/27/2012 10:46:07 AM

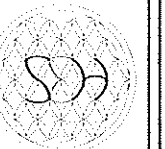
Room Schedule					
Number	Name	Floor Finish	Ceiling Finish	Wall Finish	Base Finish
101	VEST	EXISTING	EXISTING	EXISTING	EXISTING
102	ENTRY LOBBY	PORCELAIN	EXISTING	EXISTING	RUBBER
103	LOBBY	EXISTING	EXISTING	PAINT	RUBBER
104	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
105	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
106	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
107	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
108	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
109	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
110	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
111	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
112	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
113	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
114	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING
115	TOILET	EXISTING	EXISTING	EXISTING	EXISTING
116	TOILET	EXISTING	EXISTING	EXISTING	EXISTING
117	CORRIDOR	EXISTING	EXISTING	EXISTING	EXISTING
118	CAFE	EXISTING	EXISTING	EXISTING	EXISTING
119	KITCHEN	EXISTING	EXISTING	EXISTING	EXISTING
120	VEST	EXISTING	EXISTING	EXISTING	EXISTING

Room Schedule					
Number	Name	Floor Finish	Ceiling Finish	Wall Finish	Base Finish
121	TOILET	EXISTING	EXISTING	EXISTING	EXISTING
122	VEST	EXISTING	EXISTING	EXISTING	EXISTING
123	STOR	EXISTING	EXISTING	EXISTING	EXISTING
124	VENDING/SINK	EXISTING	EXISTING	EXISTING	EXISTING
125	STAIR	EXISTING	EXISTING	EXISTING	EXISTING
126	MAINTENANCE	EXISTING	EXISTING	EXISTING	EXISTING
127	UTILITY	EXISTING	EXISTING	EXISTING	EXISTING
128	MAINTENANCE	EXISTING	EXISTING	EXISTING	EXISTING
129	PRE-PRESS	PAINT	EXISTING	EXISTING	EXISTING
130	OFFICE	PAINT	EXISTING	EXISTING	EXISTING
131	OFFICE	PAINT	EXISTING	EXISTING	EXISTING
132	CORRIDOR	PAINT	EXISTING	EXISTING	EXISTING
133	PRODUCTION MANAGER	PAINT	EXISTING	EXISTING	EXISTING
134	PRODUCTION SUPPORT	PAINT	EXISTING	PAINT	RUBBER
135	PRODUCTION CONFERENCE ROOM	PAINT	EXISTING	PAINT	RUBBER
136	GENERAL MANAGER	CARPET	EXISTING	PAINT	RUBBER
137	CORRIDOR/LOBBY	PAINT	EXISTING	PAINT	RUBBER
138	CONFERENCE ROOM	CARPET	EXISTING	PAINT	RUBBER
139	MICR. ROOM	PAINT	EXISTING	PAINT	RUBBER
140	ELEVATOR MACHINE	EXISTING	EXISTING	EXISTING	EXISTING

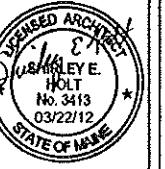
Room Schedule					
Number	Name	Floor Finish	Ceiling Finish	Wall Finish	Base Finish
141	ELEV	EXISTING	EXISTING	EXISTING	EXISTING
142	FILE ROOM	EXISTING	EXISTING	PAINT	RUBBER
143	TOILET	EXISTING	EXISTING	EXISTING	EXISTING
144	TOILET	EXISTING	EXISTING	EXISTING	EXISTING
145	LOCKER	EXISTING	EXISTING	EXISTING	EXISTING
146	STAIR	EXISTING	EXISTING	EXISTING	EXISTING
147	ACCOUNTS RECEIVABLE	CARPET	EXISTING	EXISTING	RUBBER
148	CUSTOMER SERVICE MANAGER	CARPET	EXISTING	EXISTING	RUBBER
149	CUSTOMER SERVICE	CARPET	EXISTING	PAINT	RUBBER
150	CORRIDOR	CARPET	EXISTING	PAINT	RUBBER
151	PRINT ROOM	EXISTING	EXISTING	EXISTING	EXISTING
153	VEST	EXISTING	EXISTING	EXISTING	EXISTING
154	EQUIPMENT	EXISTING	EXISTING	EXISTING	EXISTING
155	DOCK ROOM	EXISTING	EXISTING	EXISTING	EXISTING
202	IT	EXISTING	EXISTING	EXISTING	EXISTING
203	ELECTRICAL	EXISTING	EXISTING	EXISTING	EXISTING
204	SFR	EXISTING	EXISTING	EXISTING	EXISTING
205	BLOWER PLATFORM	PLYWOOD	EXISTING	EXISTING	NONE



1 Room Finish Plan
1/8" = 1'-0"



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No.	Description	Date
1	PRICING	02/22/12
2	PERMIT	02/23/12
3	PERMIT-2	03/08/12
4	PERMIT-3	03/22/12

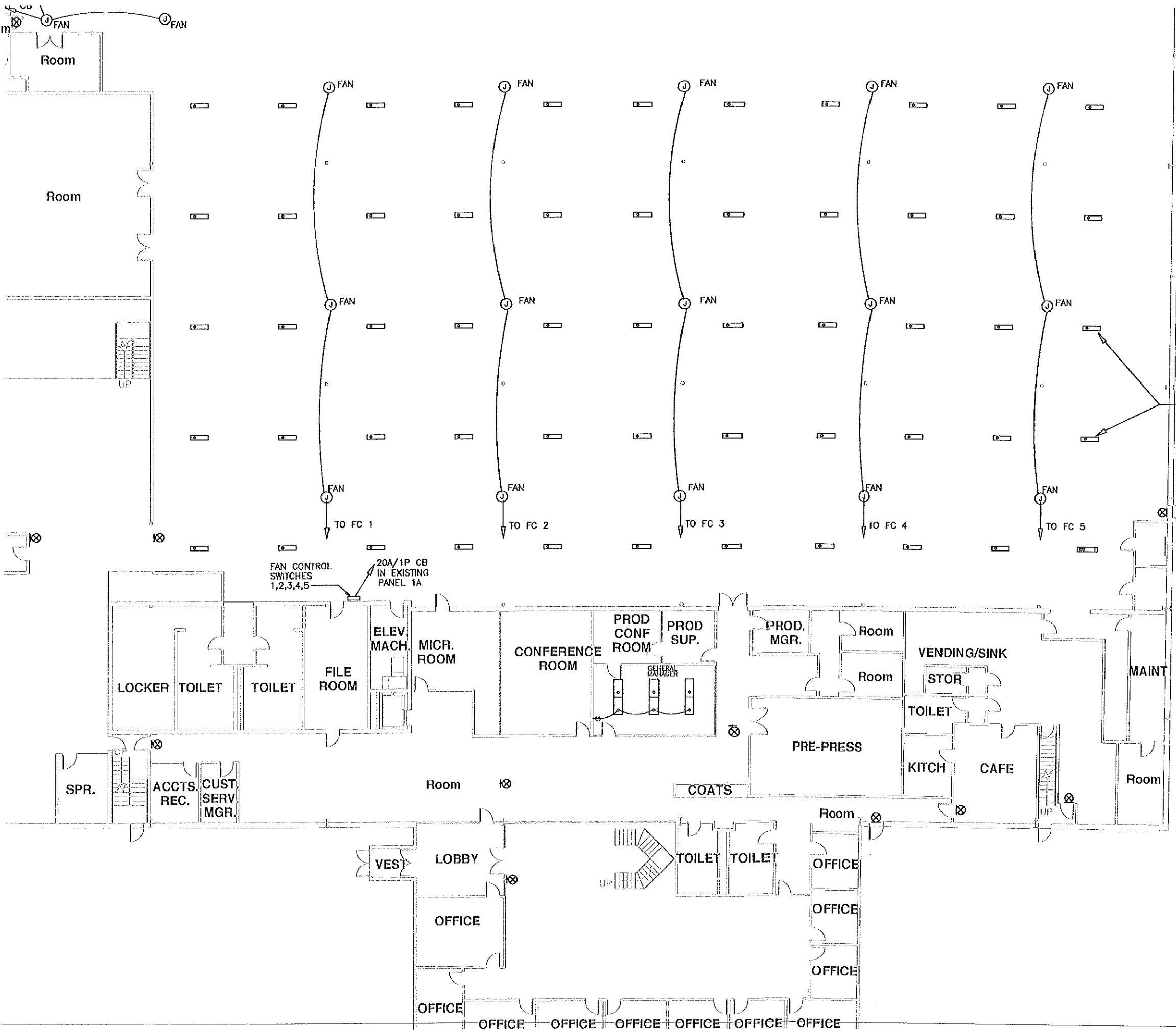
WISE BUSINESS FORMS
WISE BUSINESS FORMS FIT UP

FINISH PLAN AND SCHEDULE

Project number 1201
Date 02/22/12
Drawn by SEH
Checked by SEH

A 603
Scale 1/8" = 1'-0"

3/27/2012 10:18:03 AM

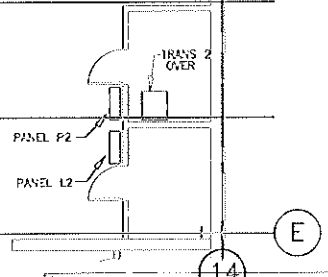
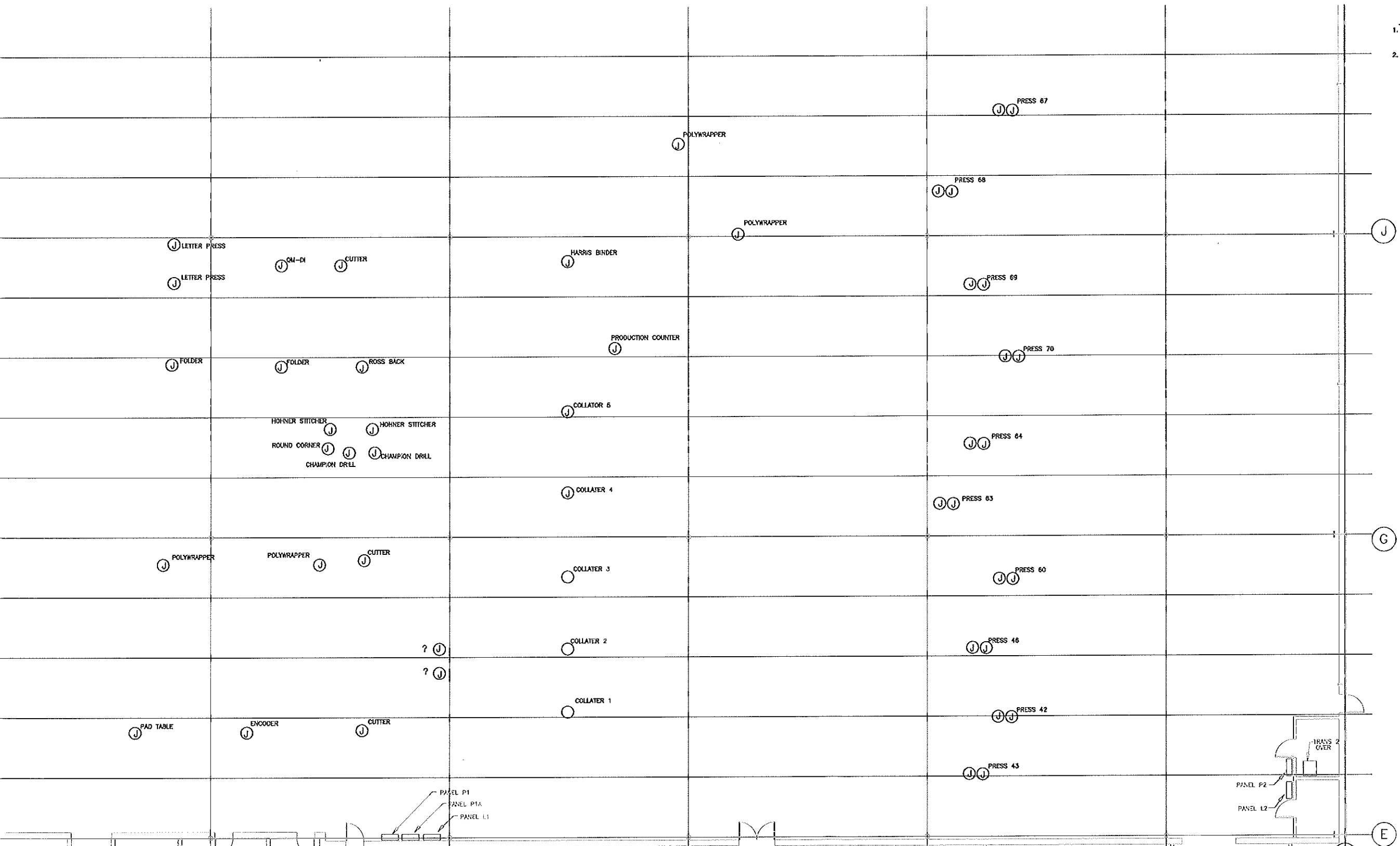


NOTE:
CHANGE EXISTING MH FIXTURES TO
4 LAMP, 4 FT, T5HO FIXTURES - 1 FOR 1.

NOTE:
EXIT LTS SHALL BE LED TYPE WITH INTERNAL NICAD BATTERY,
ARROWS AS INDICATED OR REQUIRED.
CKT SAME TO 20A/1P CKT BKR IN NEAREST PANEL.

Title: ELECTRICAL PLAN - LIGHTING		Scale:
Project: PROPOSED BUILDING RENOVATIONS WISE BUSINESS FORMS 380 RIVERSIDE STREET PORTLAND, MAINE		3/32"=1'-0"
	HAROLD W. THOMAS, P.E. CONSULTING ENGINEERS	Date: 3/25/12
	175 CARLSON STREET WESTBROOK, MAINE	Drawn: E1

NOTES:
 1. EXACT LOCATION OF VARIOUS PIECES OF MACHINERY ARE APPROXIMATE ON THIS PLAN. REFER TO LATEST WISE FLOOR PLAN FOR EXACT LOCATIONS.
 2. REFER TO PANEL SCHEDULES, DWG E3, FOR CIRCUITING FOR EACH PIECE OF MACHINERY.



Title: ELECTRICAL PLAN — POWER	
Project: PROPOSED BUILDING RENOVATIONS WISE BUSINESS FORMS 380 RIVERSIDE STREET PORTLAND, MAINE	
	Scale: 1/16"=1'-0"
	Date: 3/25/12
HAROLD W. THOMAS, P.E. CONSULTING ENGINEERS 175 CARLSON STREET WESTBROOK, MAINE	
Drawing: E2	

PANEL NAME		PANEL L1			
MAIN		200A/3 C.B.			
FEEDER		4/3/0 CU, 11000 THW			
VOLTAGE/PHASE		277/480V, 3 PHASE			
C.B. RATING		10,000A			
SUBFEED LUGS		NO			
FED FROM		MP1			
MOUNTING		SURFACE			
NO.	DESCRIPTION	C.B.	NO.	DESCRIPTION	C.B.
1	FRESS E8	100A/3	2	FRESS E9	100A/3
3			4		
5			6		
7			8		
9			10		
11			12		
13			14		
15			16		
17			18		
19			20		
21			22		
23			24		
25			26		
27			28		
29			30		
31			32		
33			34		
35			36		
37			38		
39			40		
41			42		

PANEL NAME		PANEL L2			
MAIN/LUGS		200A/3 C.B.			
FEEDER		EXISTING			
VOLTAGE/PHASE		277/480V, 3 PHASE			
C.B. RATING		10,000A			
SUBFEED LUGS		NO			
FED FROM		MP1			
MOUNTING		SURFACE			
NO.	DESCRIPTION	C.B.	NO.	DESCRIPTION	C.B.
1	FRESS 43	50A/3	2	FRESS 42	50A/3
3			4		
5			6		
7	FRESS 46	50A/3	8	FRESS E0	50A/3
9			10		
11			12		
13	FRESS 63	50A/3	14	FRESS 64	50A/3
15			16		
17			18		
19	FRESS 70	50A/3	20	FRESS 67	50A/3
21			22		
23			24		
25			26		
27			28		
29			30		
31			32		
33			34		
35			36		
37			38		
39			40		
41			42		

PANEL NAME		PANEL P1			
MAIN		400A/3P C.B.			
FEEDER		4/3/0 CU, 11000 THW			
VOLTAGE/PHASE		120/208V, 3 PHASE			
C.B. RATING		10,000A			
SUBFEED LUGS		NO			
FED FROM		TRANS T1 - FED FROM MD1			
MOUNTING		SURFACE			
NO.	DESCRIPTION	C.B.	NO.	DESCRIPTION	C.B.
1	COLLATER 1	40A/3	2	COLLATER 2	40A/3
3			4		
5			6		
7	COLLATER 3	40A/3	8	COLLATER 4	40A/3
9			10		
11			12		
13	COLLATER 5	40A/3	14	HOLDERS BULK	20A/3
15			16		
17			18		
19	ENCLOSURE BLK	40A/3	20	ENCODER	30A/2
21			22		
23			24	CP-0746	40A/3
25	OV-D146	40A/3	26		
27			28		
29			30	HOLDERS BULK	30A/3
31	WIRE WITH TRK	30A/3	32		
33			34		
35			36	ROUND CORNER	20A/1
37	HOLDER BULK	20A/1	38	HOLDER BULK	20A/1
39	CHANGING DRILL	20A/1	40	CHANGING DRILL	30A/2
41	PADLOCK	30A/1	42		
43	POLYMER COIL	40A/2	44	POLYMER HEAT SH	40A/2
45			46		
47	BALFOUR GREEN	20A/3	48	FOUR OUTLET	40A/3
49			50		
51			52		
53	HOLDERS BULK	20A/3	54	OUTLET	30A/3
55			56		
57			58		
61					
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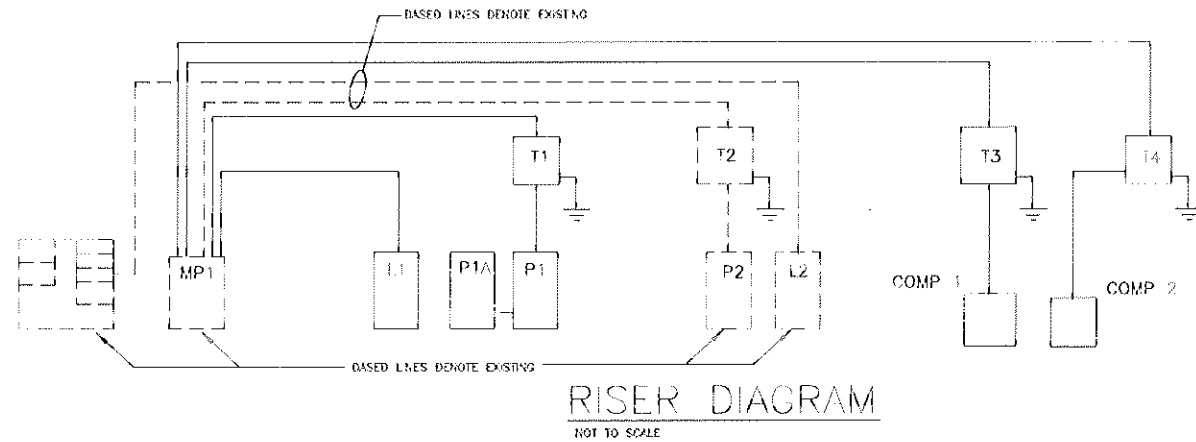
PANEL NAME		PANEL P2			
MAIN		225A C.B.			
FEEDER		EXISTING			
VOLTAGE/PHASE		120/208V, 3 PHASE			
C.B. RATING		10,000A			
SUBFEED LUGS		NO			
FED FROM		TRANS T2 - EXISTING - FED FROM MD1			
MOUNTING		SURFACE			
NO.	DESCRIPTION	C.B.	NO.	DESCRIPTION	C.B.
1	FRESS 43	20A/3	2	FRESS 42	20A/3
3			4		
5			6		
7	FRESS E0	20A/3	8	FRESS 67	20A/3
9			10		
11			12		
13	FRESS 70	20A/3	14	FRESS 46	20A/3
15			16		
17			18		
19	FRESS 64	20A/3	20	FRESS 63	20A/3
21			22		
23			24		
25	FRESS 69	30A/3	26	FRESS 68	50A/3
27			28		
29			30		
31			32		
33			34		
35			36		
37			38		
39			40		
41			42		

NOTE:
ALUMINUM MAY BE SUBSTITUTED FOR COPPER.
ADJUST WIRE SIZE FOR EQUAL CAPACITY.

- ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES AND THE N.E.C.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR BALANCING THE LOAD ON THE PANELS.
- SWITCHES SHALL BE MOUNTED 4'-0" TO TOP OF PLANE. SWITCHES SHOWN IN SAME AREA SHALL BE CANGED UNDER A COMMON PLATE. LOCATE SWITCHES AS CLOSE AS POSSIBLE TO EDGE OF DOOR FRAME OR LOCKSIDE.
- MINIMUM WIRE SIZE SHALL BE #12AWG COPPER. ALL REFERENCE TO WIRE SIZE IS INTENDED AS COPPER. CIRCUIT BREAKER SIZE (AS PER PANEL SCHEDULE) SHALL INDICATE WIRE SIZE OF ALL CONDUCTORS.
- THE ENTIRE ELECTRICAL SYSTEM SHALL BE GROUNDED BY MEANS OF A SEPARATE GROUND CONDUCTOR. CONDUIT SHALL NOT BE CONSIDERED A GROUND CONDUCTOR, BUT SHALL BE GROUNDED. (USE TABLE 250-95 N.E.C.)
- THIS CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WHERE EQUIPMENT AND/OR DEVICES ARE FURNISHED BY OTHER TRADES AND WIRED WHOLLY OR IN PART BY THIS CONTRACTOR SO AS TO ACHIEVE A COMPLETE AND OPERATING SYSTEM.
- ALL HOVERUNS TO PANEL IN EXCESS OF 100 FEET SHALL BE AT LEAST #10AWG COPPER.
- OUTLETS OR JUNCTION BOXES MOUNTED BACK TO BACK SHALL BE PROHIBITED.
- OUTLETS BACK TO BACK WITH IN 24 INCHES OF EACH OTHER IN FIRE RATED WALLS, SHALL BE ENCASED WITH FIRE RATED BACKER.
- THIS CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF FIRE RATED WALLS BY SEALING ALL WIRING, CONDUIT, ETC., WHICH PASSES THROUGH SUCH WALLS WITH AN APPROVED FIRE RATED SEALANT.
- ALUMINUM CABLES SHALL BE THREADED WITH COMPRESSION FITTINGS; USE ANTI-OXIDE PASTE.
- DIAGRAMS DO NOT NECESSARILY SHOW ALL ITEMS INCLUDED IN THE SYSTEM. REFER TO FLOOR PLANS, ETC., FOR COMPLETE SYSTEM.
- DISCONNECT, REMOVE AND/OR RELOCATE ALL EXISTING ELECTRICAL EQUIPMENT, FEEDERS, AND BRANCH CIRCUITS WHICH AFFECT OR ARE AFFECTED BY THE NEW CONSTRUCTION.
- THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL CHARACTERISTICS OF THE EXISTING OUTLETS AND WIRING. I.E. EXACT LOCATIONS ARE NOT NECESSARILY AS SHOWN ON THE DRAWINGS. THIS CONTRACTOR SHALL ADJUST HIS WORK AS REQUIRED FOR ACTUAL EXISTING FIELD CONDITIONS.
- ALL ELECTRICAL EQUIPMENT THAT IS NOT TO BE REUSED WITH THE NEW CONSTRUCTION IN AREAS THAT ARE BEING RENOVATED, SHALL BE REMOVED. THIS INCLUDES ALL EXISTING LIGHTING FIXTURES, DEVICES, WIRING, EXPOSED CONDUIT, ETC.
- MODIFY ALL PANEL DIRECTORIES TO DESIGNATE ALL NEW OR RELOCATED LOADS AND SPARE CIRCUIT BREAKERS.

LEGEND

- CONDUIT AND/OR WIRING RUN CONCEALED - ARROW DENOTES HOVERUN TO PANEL - HASHMARKS DENOTE NUMBER OF WIRES OTHER THAN TWO
 - DO WIRING FOR EMERGENCY LIGHTING - SIZED AS REQ'D
 - LIGHTING AND POWER PANEL
 - FLUORESCENT FIXTURE
 - LIGHTING FIXTURE - WALL OUTLET
 - LIGHTING FIXTURE - CEILING OUTLET
 - SINGLE POLE SWITCH
 - TWO POLE SWITCH
 - THREE WAY SWITCH
 - FOUR WAY SWITCH
 - THERMAL OVERLOAD SWITCH
 - DUPLEX CONVENIENCE OUTLET 18" AFF EXCEPT AS NOTED
 - DUPLEX CONVENIENCE OUTLET 44" AFF
 - VOICE/DATA OUTLET - WALL TYPE MOUNTED 18" AFF EXCEPT AS NOTED -
 - JUNCTION BOX - SIZED AS REQUIRED
 - ELECTRIC MOTOR - NUMBER INDICATED H.P.
 - DISCONNECT SWITCH - FUSED AS REQUIRED
 - ELECTRIC MOTOR CONTROLLER
 - EMERGENCY LIGHTING UNIT W/REMOTE HEADS AS SHOWN
 - EMERGENCY LIGHTING BATTERY UNIT
 - EXIT LIGHTING UNIT - CEILING OUTLET
 - EXIT LIGHTING UNIT - WALL OUTLET
 - FIRE ALARM MANUAL STATION
 - FIRE ALARM HORN AND LIGHT UNIT - MOUNT 80" AFF EXCEPT NO CLOSER THAN 6" TO CEILING
 - FIRE ALARM VISUAL UNIT
 - AFF ABOVE FINISH FLOOR
 - AFG ABOVE FINISH GRADE
 - DD DOUBLE DUPLEX
 - GFI GROUND FAULT INTERRUPTER
 - EF EXHAUST FAN
 - WP WEATHERPROOF
 - PC PARTIAL CIRCUIT
 - SPECIAL PURPOSE OUTLET - SIZED AS REQUIRED
- UPPER CASE LETTER DENOTES FEATURE TYPE, LOWER CASE LETTER DENOTES SWITCH CONTROL
- ARROWS AS SHOWN



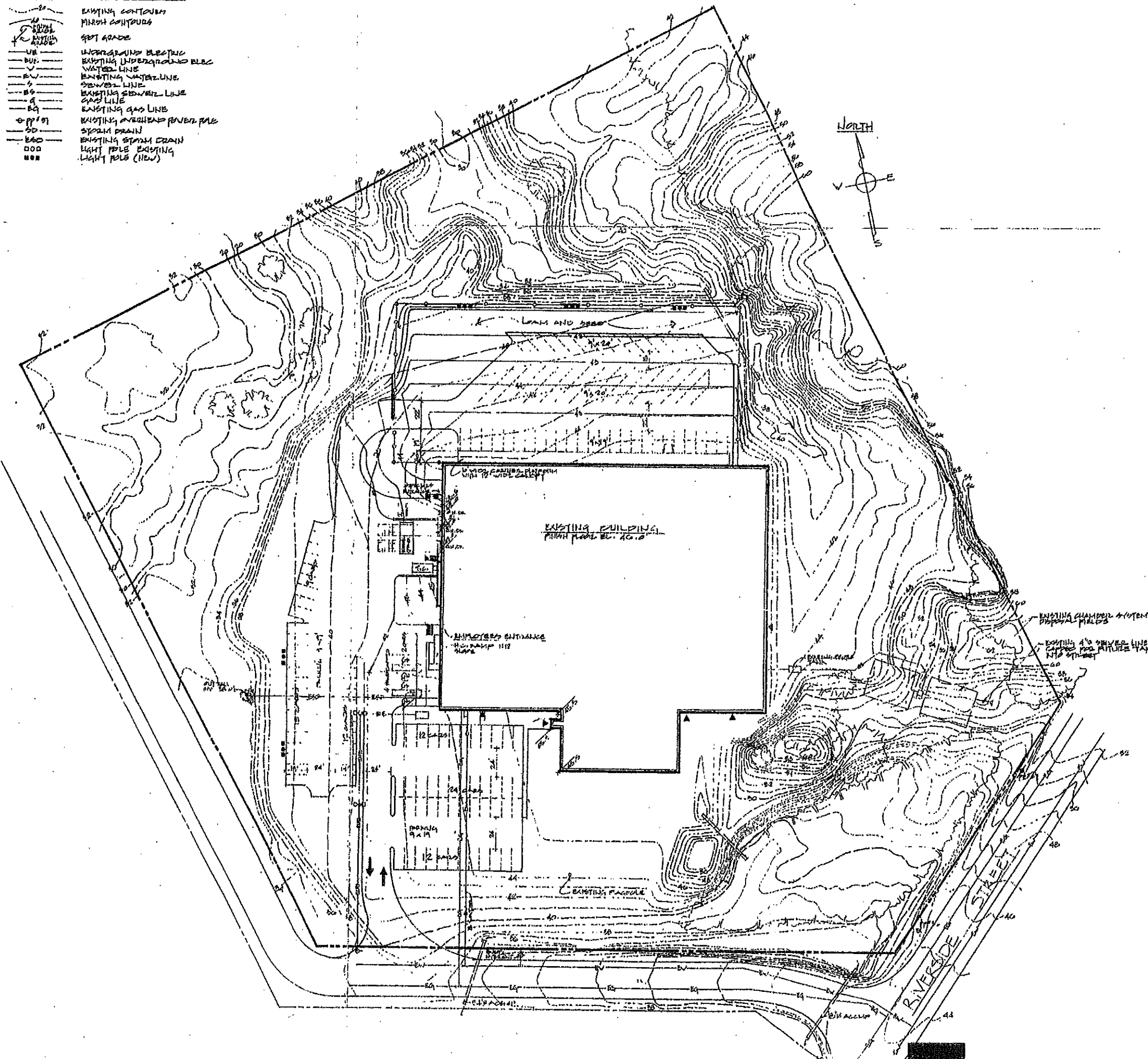
Title: ELECTRICAL PLAN - MISC.	
Project: PROPOSED BUILDING RENOVATIONS WISE BUSINESS FORMS 380 RIVERSIDE STREET PORTLAND, MAINE	
	Scale: NO SCALE
	Date: 3/25/12
HAROLD W. THOMAS, P.E. CONSULTING ENGINEERS 175 CARLSON STREET WESTBROOK, MAINE	
Drawn:	

LEGEND OF SYMBOLS

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT GRADE
- UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND ELEC
- WATER LINE
- EXISTING WATER LINE
- SEWER LINE
- EXISTING SEWER LINE
- GAS LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD POWER PLE
- STORM DRAIN
- EXISTING STORM DRAIN
- LIGHT POLE EXISTING
- LIGHT POLE (NEW)

LOT AND BUILDING DATA

ITEM	EXISTING	PROPOSED
LOT SIZE	10.00 ACRES	10.00 ACRES
BUILDING FOOTPRINT	59,144 SF	59,144 SF
WAREHOUSE	15,614 SF	4,100 SF
OFFICE (RENTAL)	43,530 SF	41,294 SF (USFO)
TOTAL (M+W+O)	22,078 SF	20,514 SF
PARKING		
CARS (INCLUDING V.O.)	110	90
SEMI TRUCKS	7	8
TRUCKS	0	0
TOTAL PARKING	117	157
IMPERVIOUS AREAS		
BUILDING	59,144 SF	
PAVING	69,033 SF	
TOTAL	128,177 SF	2.94 ACRES



PROPOSED NORTHWEST CARRIER STATION
380 RIVERSIDE STREET
PORTLAND, MAINE

DATE 2/21/92

SCALE 1" = 40'

BY HES III

REVISIONS

SITE PLAN AND LEGENDS

SP.1

SBM ASSOCIATES ARCHITECT/ENGINEER
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