						RMIT) 	
City of Portland, Maine 389 Congress Street, 04101	0	* *	011	rmit No: 01-0212	I u D		6 2091 ₇	A002001	
Location of Construction:	Owner Name:		Owner	r Address:			Phone:		
324 Riverside St	McAllister Far	ms LTD	Cont	act: Dave Wel	bster T	YOFF	े 781-9∶	38-0909	
Business Name: Contractor Name		:	Contra	actor Address:		per der pur coupir riper.	Phone	and the second second	
PPG Auto Glass, LTD	Tri-R-Erection	l	1850	2 Forest Elms	Drive S	Spring	28135	56137	
Lessee/Buyer's Name	Phone:		Permi	t Type:				Zone:	
One PPG Place			Alte	erations - Com	mercial			12-M	
		ass and Related FIRE DEPT: Approved I				9,000.00 od INSPEC	.00 NSPECTION: Use Group: S 2 Type: 2C		
Proposed Project Description: Install Racking to warehouse	auto glass (wiThin Th	shing Blodg	Signal			SOCH STATE	199/80	1997 M	
		0)	PEDE Action Signa		•	Approved w/O		Denied	
Permit Taken By: cih	Date Applied For: 03/20/2001		Zoning Approval						
This permit application of Applicant(s) from meeting Federal Rules.	-	Special Zone or Re	views	Zoning Uariance	g Appeal	1	./	Preservation istrict or Landmark	
2. Building permits do not septic or electrical work.		☐ Wetland		Miscellan	ieous		Does Not	t Require Review	
3. Building permits are voice within six (6) months of	d if work is not started	Flood Zone		☐ Condition	nal Use		Requires	Review	
	_	Subdivision		☐ Interpretation			Approved	8-0909 36137 Zone: Type: 2C 479 Denied Preservation strict or Landmark Require Review Review W/Conditions	
		Site Plan		Approved	i		Approved	d w/Conditions	
		01-1-E	3	Denied		Da	Denied	3	
		7,50,10	<u> </u>	1			PERMI	T ISSUED JUIREMENTS	
False information may invalidate a building permit and stop all work Site Plan Interpretation Approved									

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling, All Purpose Building Permit Application

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit. NOTE**If you or the property owner owes real estate or personal property taxes or user charges on any property within the

City, payment arrangements m	nust be made bef	ore permits of any	kind are acc	cepted.	
Location/Address of Construction: 2 Me A					ME 0410
Total Square Footage of Proposed Structure	Sc	uare Footage of Lo	ot		
Number	PARTU	TER FARMS ER SHIP DAVE WEBS		Telephone 781-9.	:#: 38-0409
Lessee Buyer's Name (If Applicable)	Owner's/Purcha	sepLessee Address PLACE 26H, PA 152	s: Co	ost Of ork: 39,500	Fee: \$ 258
Current use: 100 x 140' NEW BUT USE: WHOLF SALE DISTRIBUTE PROPULTS Project description: mst. TNSTALL RACKING TO	all in The	EXISTY I	sldg-		RELATED
Contractor's Name, Address & Telephone TRICK- ERECTING 18502 FOREST ELMS D. SPRING, TX 77388	Co.	NTACT: RUS 281-355-6	S BERGI		ec'd By:
A "minor/minor" site plan review is Site/Plot plan must be prepared and must be submitted: ** 4 copies of the site/plot plan I copy of the building/construction plan of 1 copy of the site plan/plot plan and construction	Sealed by a Realed	registered land	nd surve	yor. The	following
On all commercial permits the follow	wing must b	e submitted:			

- 1 copy of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site/plot and construction /building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

A PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- · Window and door schedules
- Foundation plans with required drainage and damp proofing Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicants Tell rich	Date:	3/1	3/8	0/

Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

BUILDING PERMIT REPORT
DATE: 2/MAYCh 266 ADDRESS: 324 RIVERSIDE STREET CBL: 317-A-662 REASON FOR PERMIT: To Install rack Storage For Buto 9/455
REASON FOR PERMIT: To Install rack Storage For Buto 9/455
BUILDING OWNER 2-McAllister Frams LTD
PERMIT APPLICANT: /CONTRACTOR // - R- Erec /10-7.
USE GROUP: SQ CONSTRUCTION TYPE: 2 C CONSTRUCTION COST: 439645.64 FERMIT FEES. 258.00
The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments) The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)
CONDITION(S) OF APPROVAL
This permit is being issued with the understanding that the following conditions shall be met: 421, 421, 428

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.

2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."

- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of ½" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17

5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.

- 6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than I-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7 maximum rise. (Section 1014.0)

14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4

- 15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less then 36".
- 16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

- 20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms

In each story within a dwelling unit, including basements

- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
 - 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
 - 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
 - 25. Section 25 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
 - 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
 - 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces &
- × 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
 - 29. All requirements must be met before a final Certificate of Occupancy is issued.
 - 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
 - 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
 - 32. Please read and implement the attached Land Use Zoning report requirements.
 - 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
 - 34. Bridging shall comply with Section 2305.16.
 - 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
 - 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/ 5h 4/1 Con Section 422.0 of The Cit BOCA NOTUNIA (Builded <u> 70</u> 740 Ff5 ES facs, Building Inspector

. McDougall, PFD

Marge Schmuckal, Zoning Administrator Michael Nugent, Inspection Service Manager cim ecto-

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

MAR 05 '01 03:43PM PPG REG PURCH HARMER

FROM : TRI-R-ERECTING

FAX NO. : 2813537877

P.2/2 Mar. **05 2001 03:38PM** P2

TRI-R-ERECTING

18502 FOREST ELMS DR. **SPRING, TX 77388**

Quotation

 Vale	Estimate #
3/2/2001	118

Name / Address	
PPG INDUSTRIES, INC.	
PITTSBURGH, PA. 15272	
FAX: 412-826-2500	
PH: 412-43 4-404 1 FAX: 412-826-2500	

			Project	
Description	Qty	Reds	Total	
RE: PORTLAND, ME				
INSTALLATION WITH LUMBER, FASTENERS, CONDUIT AND COUPLINGS.		39,500.00	39,500.00	
NCLUDES FORKLIFT				
		·		
		Subtotal	\$39,500.00	
		Seles Tax	\$0.00	
		Totai	\$39,500.00	



Frederick C. Rudolph Manager of Facilities PPG Auto Glass, LLC One PPG Place Pittsburgh, PA 15272 Telephone (412) 434-4041 Fax (412) 434-4000

February 23, 2001

Mr. Russ Bergeron Tri-R- Erecting 18502 Forest Elms Drive Spring, TX 77388 Telephone (281) 355-6137

Fax: (281) 353-7877

Re: Request for Racking Proposal
2 McAllister Farm Road, Portland, ME 04103

Dear Russ:

Enclosed are the Bill of Materials, Layout, and Rack Design for our new location in Portland, ME.

The racking will be from locations that have closed as a result of our recent merger. It will still be the typical Interlake that you installed in the past. Since the uprights are only 20-foot high we will purchase two-foot extensions for the 60" uprights in Row B, 36" wide uprights in Row D and the 60" wide uprights in Row E. Anchors, shims, column protectors, spacers, decking, and restraining devices will be supplied by PPG Auto Glass.

Please provide a quote for complete installation including labor, lumber, fasteners, conduit, and couplings.

The Building Inspector indicates that you will need to pull a permit. I spoke to a Mr. Sam Hoffstas at (207) 874-8704.

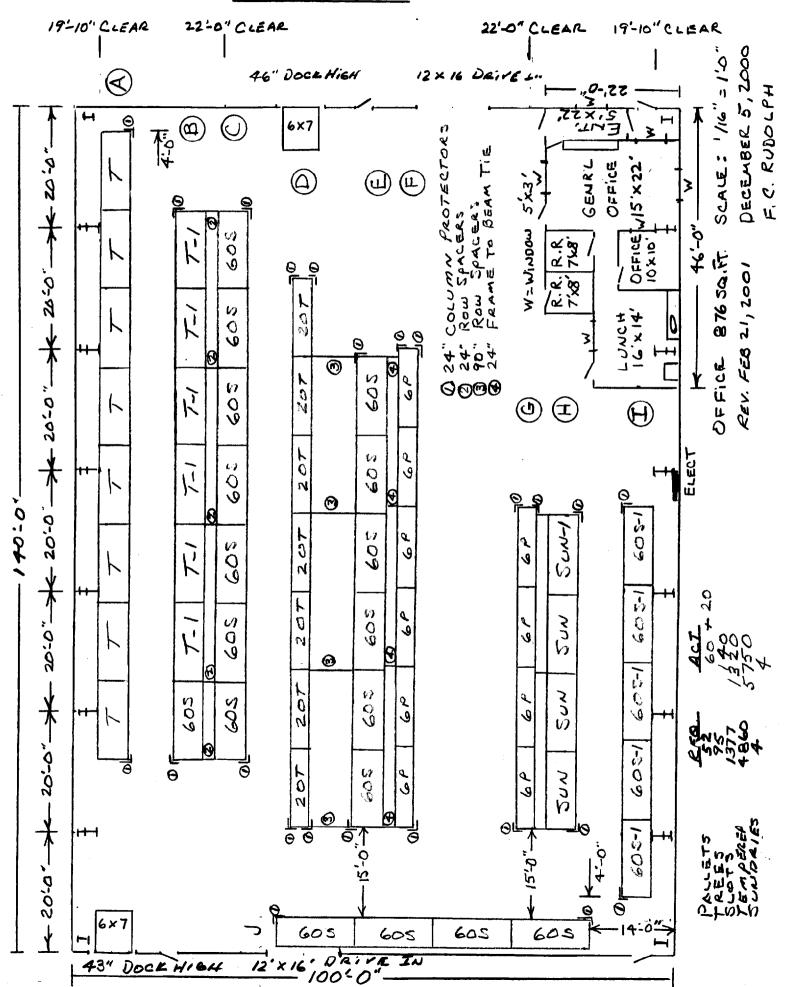
Installation should begin April 1, 2001.

We look forward to your response.

Sipoerely,
Fred Rudolph

Cc: Brian Connolly (603) 647-4714 Arne Arnesen (413) 556-3283

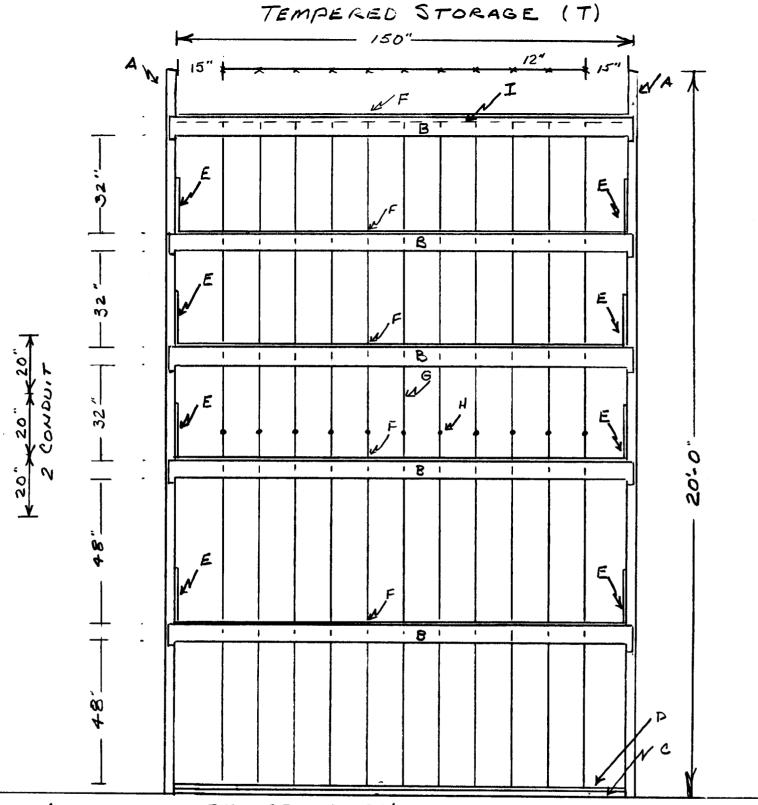
PORTLAND, ME



							OF MATER					
					P			SUPPLIE	2			
	Description	Row A	Row B	Row C	Row D	Row E	Row F	Row G	Row H	Row I	Row J	<u>Total</u>
_	Upright	-			8							8
	Upright						7	5				12
	Upright		8	,,		7						15
	Upright	9		8					5	6	5	33
	Beam		1				72	48				120
_	Beam	80	82	70	84	60			62	50	40	528
_	Decking						72	48				120
	Decking	120	108						93			321
	Anchors	18	16	16	16	14	14	10	10	12	10	136
_	Col. Prot.	2	2	2	4	2	3	3	2	2	2	24
-	Spacers		10			i						10
	Spacers											0
	Spacers				4							4
	Wall Fix							0	0	0	0	4
ie						8		6				14
	Restrain				56		36	24				116
-	Devices				112		36	24				172

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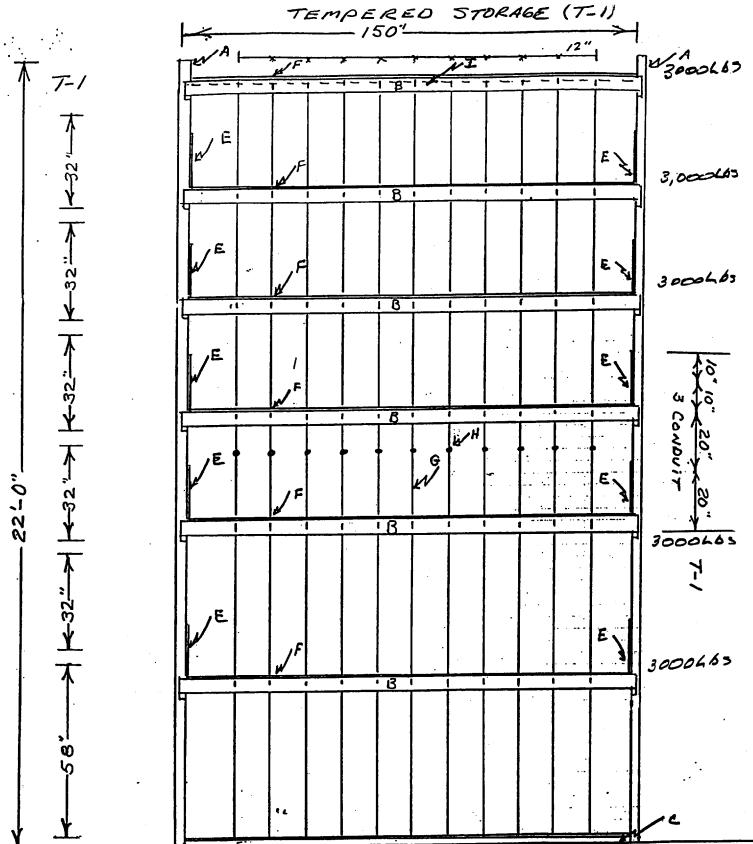


A. UPRIGHT - IF 75 B 60" x 20'

B. BEAMS - IH B72B-150"
C. LUMBER - ZX4 FRAME WITH 150" SUPPORT IN MIDDULE
D. PARTICLE BOARD - 3/8 X 60" x 150"
F. WIRE MESH DECKING 60" x 49" 3/LEVEL
G. 1"EMT CONDUIT
H. COUPLING
H. COUPLING
LUMBER 2×2 CLAMPED TO CONDUITEND
F. R. RUDOLPH
AND TO WIRE MESH DECKING.

NOTES: 1. SECURE PARTICLE BOARD TO 2 X4'S ON FLOOR, DRILL HOLES IN PARTICLE BOARD, & INSERT CONDUIT.

2. ANCHOR, 1/2" X 33/4" TWO / UPRIGHT



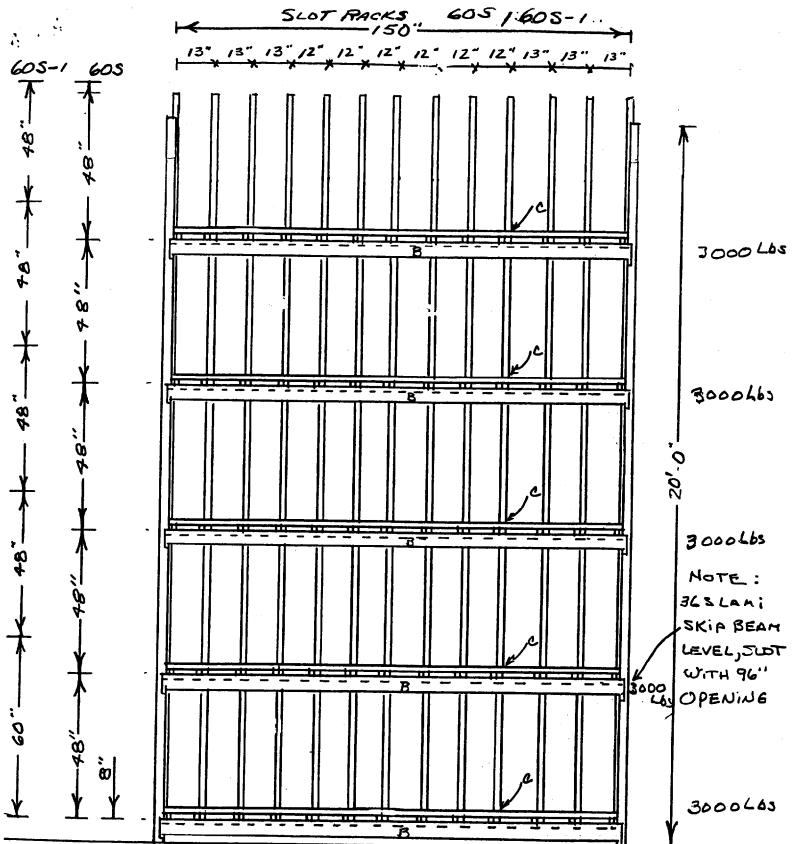
A. UPRIGHT - IF 75860 * X22'

B. BEAMS - IH 8728 - 150"
C. LUMBER - 2 X 4 FRAME WITH 150" SUPPORTIONIADLE MAY 10, 1995
D. PARTICLE BOARD - 3/8" X 60" X 150"
F. WIRE MESH DECKING 60" X 49" 3/LEVEL
G-1" EMT CONDUIT

H- COUPLING
T- LUMBER 2XZ CLAMPED TO CONDUIT ENDS
AND TO WIRE MESH PECKING.

NOTES: I. SECURE PARTICLE BOARD TO ZX4'S ON FLOOR, DRILL HOLES IN PARTICLE BOARD, & INSERT CONDUIT

2. ANCHOR, 1/2" X 3 3/4" TWO/UPRIGHT



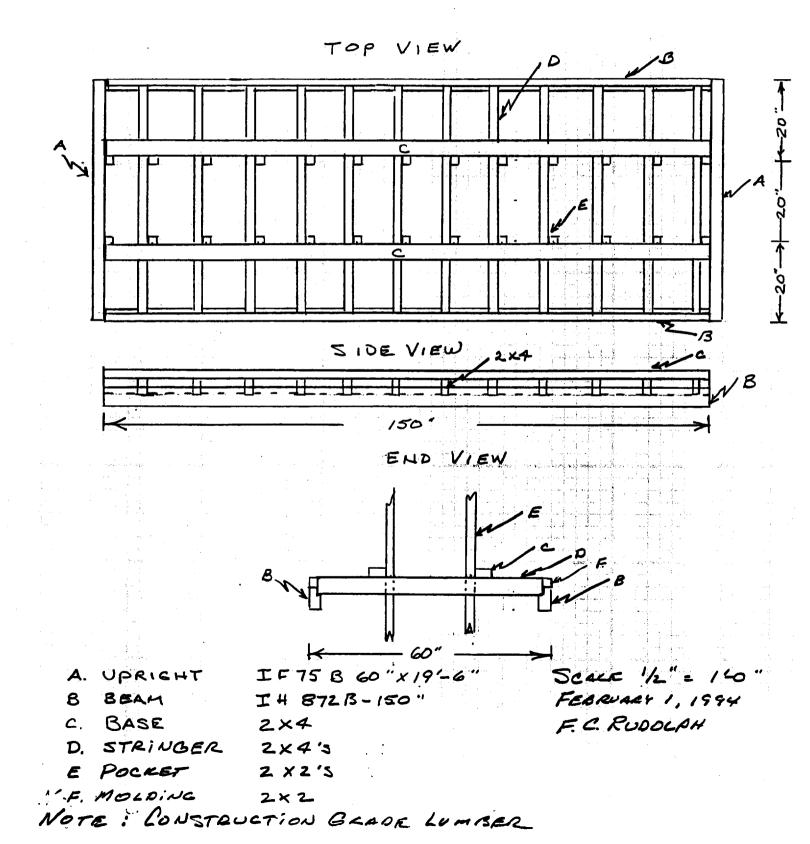
A. UPRIGHT IF75 & 60' X 2 '-0"

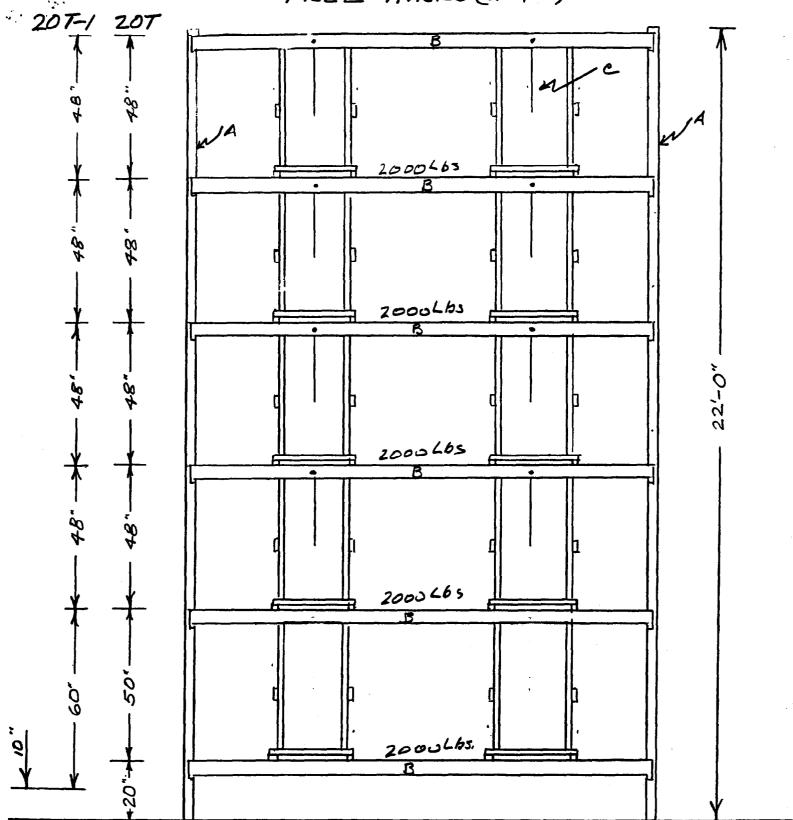
B. BEAM IH 872 B-150'

C. WOOD CONSTRUCTION - SER SKETCH VERTICLES ZO" CENTERED SCALE 3/8" - 1'0" FEBRUARY 21, 2001 F. C. RUDOLPH

NOTES

1. ANCHORS 1/2" × 3 3/4" TWO/UPRIGHT





A. UPRIGHTS IF 75 B 36"x 22'-0"

- B. BEAMS IH 872 B 150"
- C. RESTRAINING DEVICES-PAG SUPPLIED DRILL 8/8" HOLE & INSTALL
- D. WOOD INSERT SEE SKETCH

SCALE 3/8"=1-0" APRIL Z, 1996 F. C. RUDOLPH

NOTES:

1. ANCHORS 1/2" × 33/4" TWO/UPRIGHT

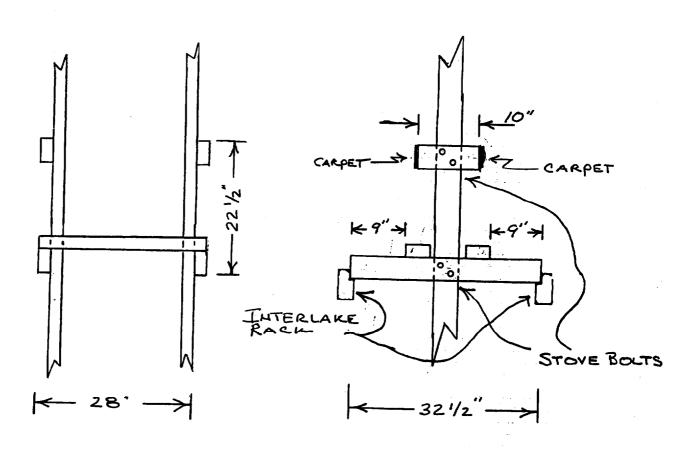
TREE RACKS (20T)

WOOD INSERT

TREE RACKS
INSIDE
THERLAKE
RACK

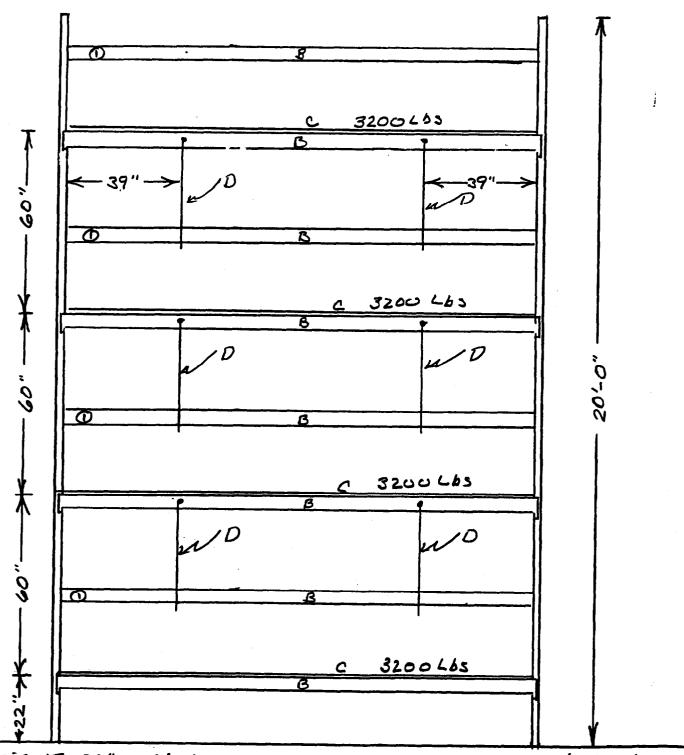
MATERIALS:

2 X4 LUMBER STOVE BOLTS NAILS CARPET



SCALE 1/16" = /"
OCT. 8, 1991
F.C. RUDOLPH

36"



A. UDRIGHT 36" X 20-0"

B. BEAM 156"
C. WIRE MESH DECKING 36" X51"

D. RESTRAINING DEVICES-PPG SUPPLIED

DRILL 318" HOLE 1 INSTALL

ONLY, REAR BEAM 15 TOWARDS WALL.

NOTES:
1. ANCHORS 1/2 X 33/4" TWO 11.00

SCALE; 3/8":/-0"
FEBRUARY 21, 2001
F. C. RUDOUPH

NOTES:
1. ANCHORS 1/2 × 3 3/4" TWO / UPRIGHT
2. INSTAUL REAR ISEAM (WALL SIDE) ONE NOTCH
LOWER TO PROVIDE SLOPE TO DECK.

SUNDRY STORAGE (2UN-1) SUN 150" 24 BOXRS 2000465 24 BOXES 2000663 24 BOXES 2000665 13 24 BOXES 2000 Lhs 24 BOXES 2000665 $\overline{\mathcal{B}}$ 2000 Lb3 300 TUBES 2000663 SCALR 3/821-0"

A. Upricht 60" x 2 '-0"
B. BEAMS MESH BECKING 60" x 49"
NOTES:

1. ANCHORS 1/2" X 33/4" TWO JUPRICAT
2. PPG WILL INSTALL BOXES & TUBES

FEBRUARY 21, 2001