

JACK SUPPCE 207-775-6572

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0212	Issue Date: MAR 26 2001	CBL: A002001
Owner Name: McAllister Farms LTD	Contractor Name: Tri-R-Erection	Phone: 781-958-0909
Contractor Address: 18502 Forest Elms Drive Spring	Phone: 2813556137	
Permit Type: Alterations - Commercial		Zone: F-M

Permit Fee: \$0.00	Cost of Work: \$39,000.00
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: SA Type: 2C

Signature: *Jimmy*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: <i>3/22/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

Permit Taken By: *cjh* Date Applied For: 03/20/2001

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling,
All Purpose Building Permit Application

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE**If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 2 McAllister Farm Road Portland, ME 04103

Total Square Footage of Proposed Structure	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Number	Owner:
Chart# <u>317</u> Block# <u>A</u> Lot# <u>009</u>	<u>McALLISTER FARMS LTD.</u>
Telephone#:	<u>781-938-0909</u>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:
<u>PPG AUTO GLASS, LLC</u>	<u>ONE PPG PLACE</u>
Cost Of Work:	Fee:
<u>\$39,500</u>	<u>\$ 258</u>
Current use: <u>100' x 140' NEW BUILDING. Proposed use: WHOLESALE DISTRIBUTION OF AUTOMOTIVE GLASS AND RELATED PRODUCTS.</u>	
Project description:	
<u>INSTALL RACKING TO WAREHOUSE AUTO GLASS.</u>	
Contractor's Name, Address & Telephone	Rec'd By:
<u>T.R. FORESTING 18502 FORESTING DRIVE SPRING, TX 77388</u>	<u>CONTACT: RUSS BERGERON 281-355-6137</u>

A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted: XX Mail

- 4 copies of the site/plot plan
- 2 X copy of the building/construction plan on 32" x 48", 35 Brevard Industries
- 1 copy of the site plan/plot plan and construction/building plan on paper no larger than 11" x 17", 5 Star was in York

On all commercial permits the following must be submitted:

- 1 copy of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site/plot and construction/building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

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A PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 3/13/01
--------------------------------------------------------------------------------------------------------------	---------------

Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

BUILDING PERMIT REPORT

DATE: 21 MARCH 2001 ADDRESS: 324 Riverside Street CBL: 317-A-002

REASON FOR PERMIT: To install rack storage for auto glass

BUILDING OWNER: J. McAllister Frans LTD

PERMIT APPLICANT: CONTRACTOR M-A-Frection

USE GROUP: S-2 CONSTRUCTION TYPE: 2C CONSTRUCTION COST: \$39,000.00 PERMIT FEES: 258.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: 1/ 421 424 428
*38 439

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6" O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assemblies which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms

21. In each story within a dwelling unit, including basements

22. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

23. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

24. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

25. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

26. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

27. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

28. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

29. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

30. All requirements must be met before a final Certificate of Occupancy is issued.

31. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

32. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

33. Please read and implement the attached Land Use Zoning report requirements.

34. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

35. Bridging shall comply with Section 2305.16.

36. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

37. All flashing shall comply with Section 1406.3.10.

38. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code. (The BOCA National Building Code/1999).

*38. Storage racks shall comply with Section 422.0 of the City's Building Code.

*39. BOSCH METAL BUILDING CODE 1999
Your plans submitted did not show nor bear the seal or signature of a professional engineer on the design of the racks and capable of the racks to carry the loads placed on them. Please submit this in format.

Send To: Sam Noffes Bldg Insp.
389 Congress St.
Portland, ME 04110

Marge Schumuckal, Building Inspector

CC: M. Atwood, PFD

Marge Schumuckal, Zoning Administrator

Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

**** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00



Frederick C. Rudolph
Manager of Facilities
PPG Auto Glass, LLC
One PPG Place
Pittsburgh, PA 15272
Telephone (412) 434-4041
Fax (412) 434-4000

February 23, 2001

Mr. Russ Bergeron
Tri-R- Erecting
18502 Forest Elms Drive
Spring, TX 77388
Telephone (281) 355-6137
Fax: (281) 353-7877

Re: Request for Racking Proposal
2 McAllister Farm Road, Portland, ME 04103

Dear Russ:

Enclosed are the Bill of Materials, Layout, and Rack Design for our new location in Portland, ME.

The racking will be from locations that have closed as a result of our recent merger. It will still be the typical Interlake that you installed in the past. Since the uprights are only 20-foot high we will purchase two-foot extensions for the 60" uprights in Row B, 36" wide uprights in Row D and the 60" wide uprights in Row E. Anchors, shims, column protectors, spacers, decking, and restraining devices will be supplied by PPG Auto Glass.

Please provide a quote for complete installation including labor, lumber, fasteners, conduit, and couplings.

The Building Inspector indicates that you will need to pull a permit. I spoke to a Mr. Sam Hoffstas at (207) 874-8704.

Installation should begin April 1, 2001.

We look forward to your response.

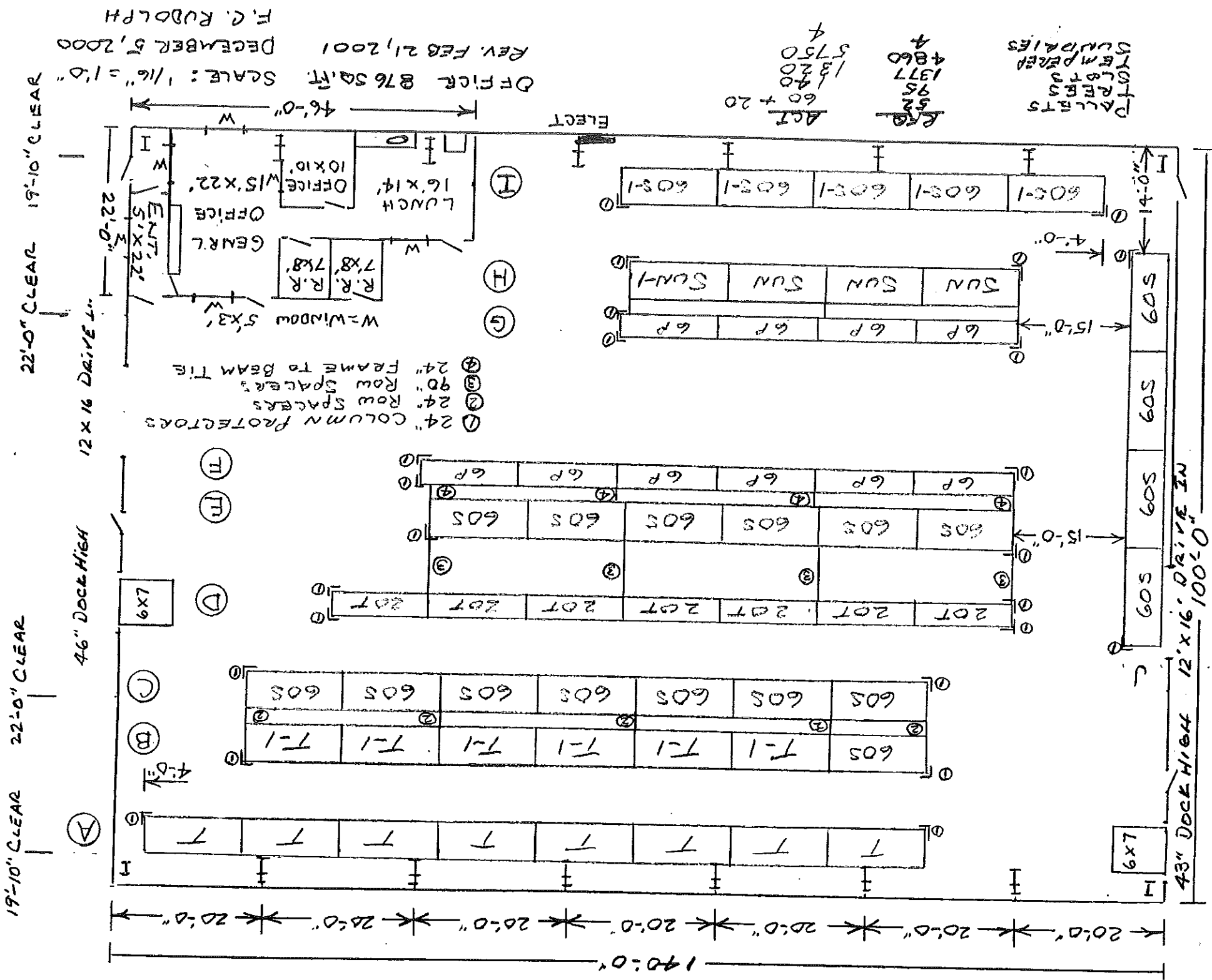
Sincerely,

A handwritten signature in cursive script, appearing to read "Fred Rudolph".

Fred Rudolph

Cc: Brian Connolly (603) 647-4714
Arne Arnesen (413) 556-3283

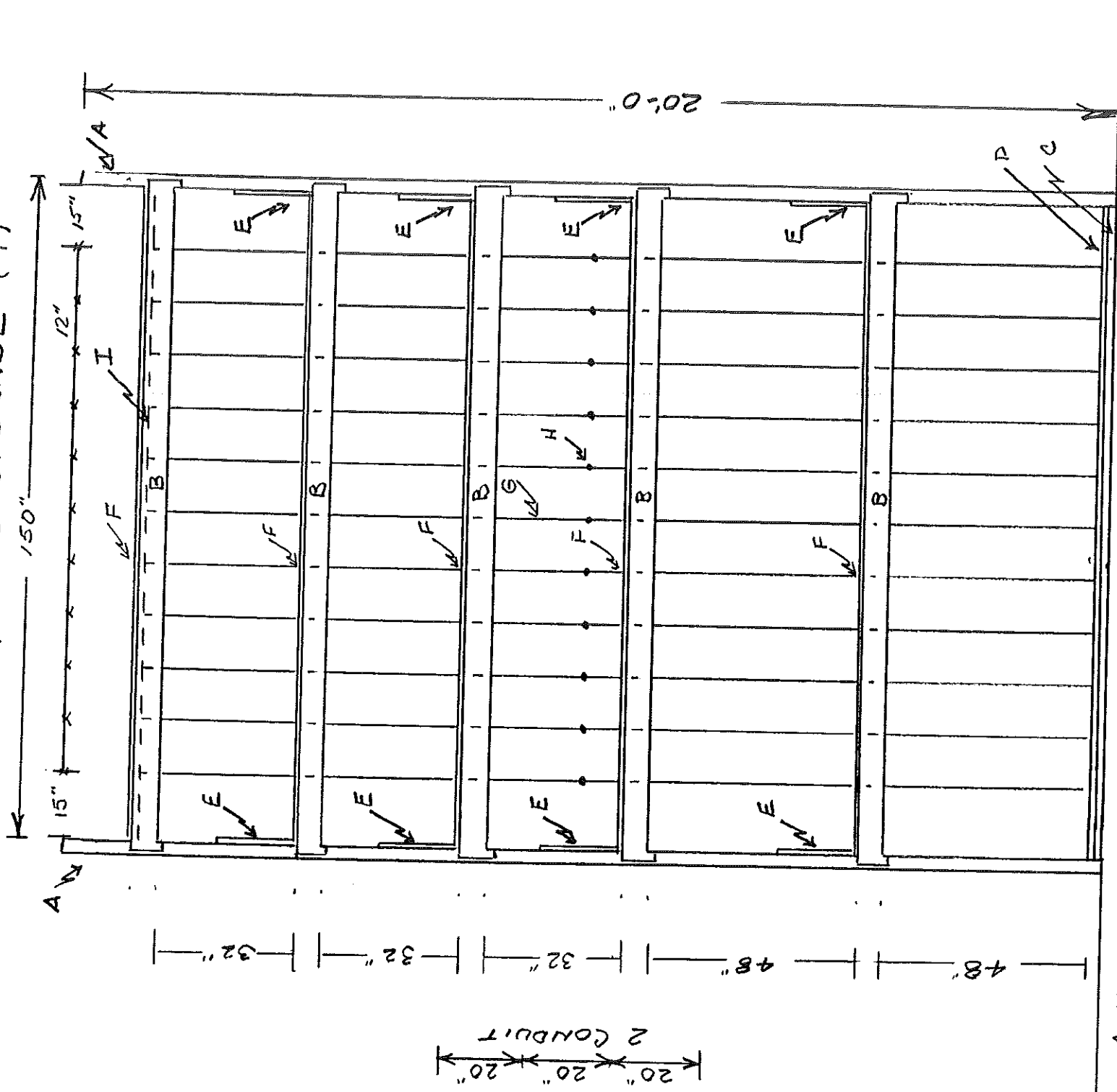
PORTLAND, ME



OFFICR 876 SQ.FT. SCALE: 1/16" = 1'-0"
 REV. FEB 21, 2001
 F. G. RUDOLPH

DALLISTS
 TAPERS
 TSCRETS
 TEMP PAPER
 SUNSHADES
 52
 95
 1377
 4860
 4
 ERO
 ACI
 60 + 20
 140
 1320
 5750
 4

TEMPERED STORAGE (T)

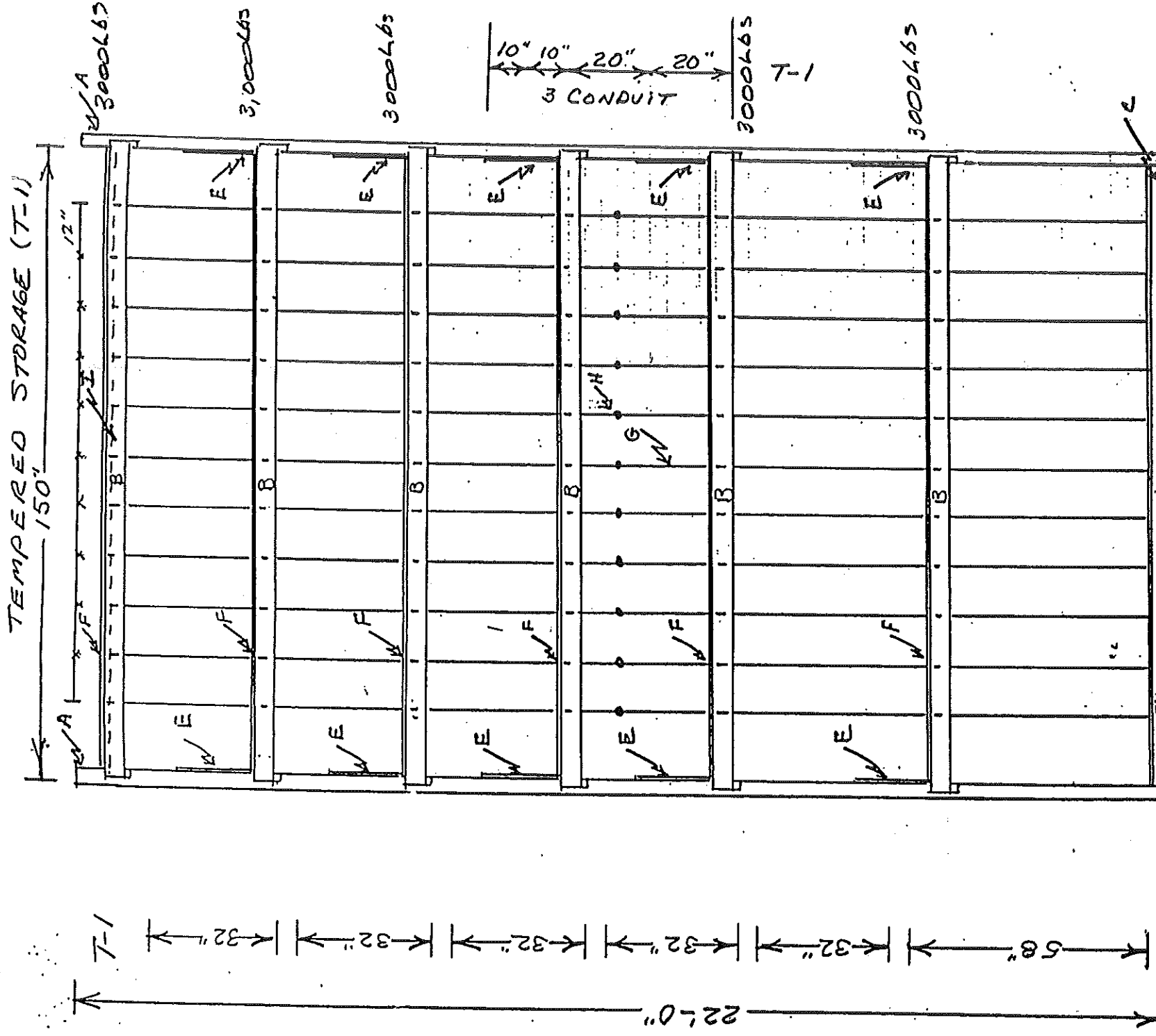


- A. UPRIGHT - IF 75 B 60" X 20'
- B. BEAMS - IF 272 B - 150"
- C. LUMBER - 2 X 4 FRAME WITH 150" SUPPORT IN MIDDLE
- D. PARTICLE BOARD - 3/8 X 60" X 150"
- E. WIRE MESH DECKING - 3/8 X 60" X 18"
- F. 1" WIRE MESH DECKING 60" X 49" 3 / LEVEL
- G. COUPLING CONDUIT
- H. LUMBER 2 X 2 CLAMPED TO CONDUIT END
- I. ANCHOR TO WIRE MESH DECKING

SCALE 3/8" = 1'-0"
 FEB 21, 2001
 F. G. RUDOLPH

NOTES: 1. SECURE PARTICLE BOARD TO 2 X 4'S ON FLOOR
 DAIL HOLES IN PARTICLE BOARD, & INSERT CONDUIT.
 2. ANCHOR, 1/2" X 3 3/4" TWO UPRIGHT

TEMPERED STORAGE (T-1)



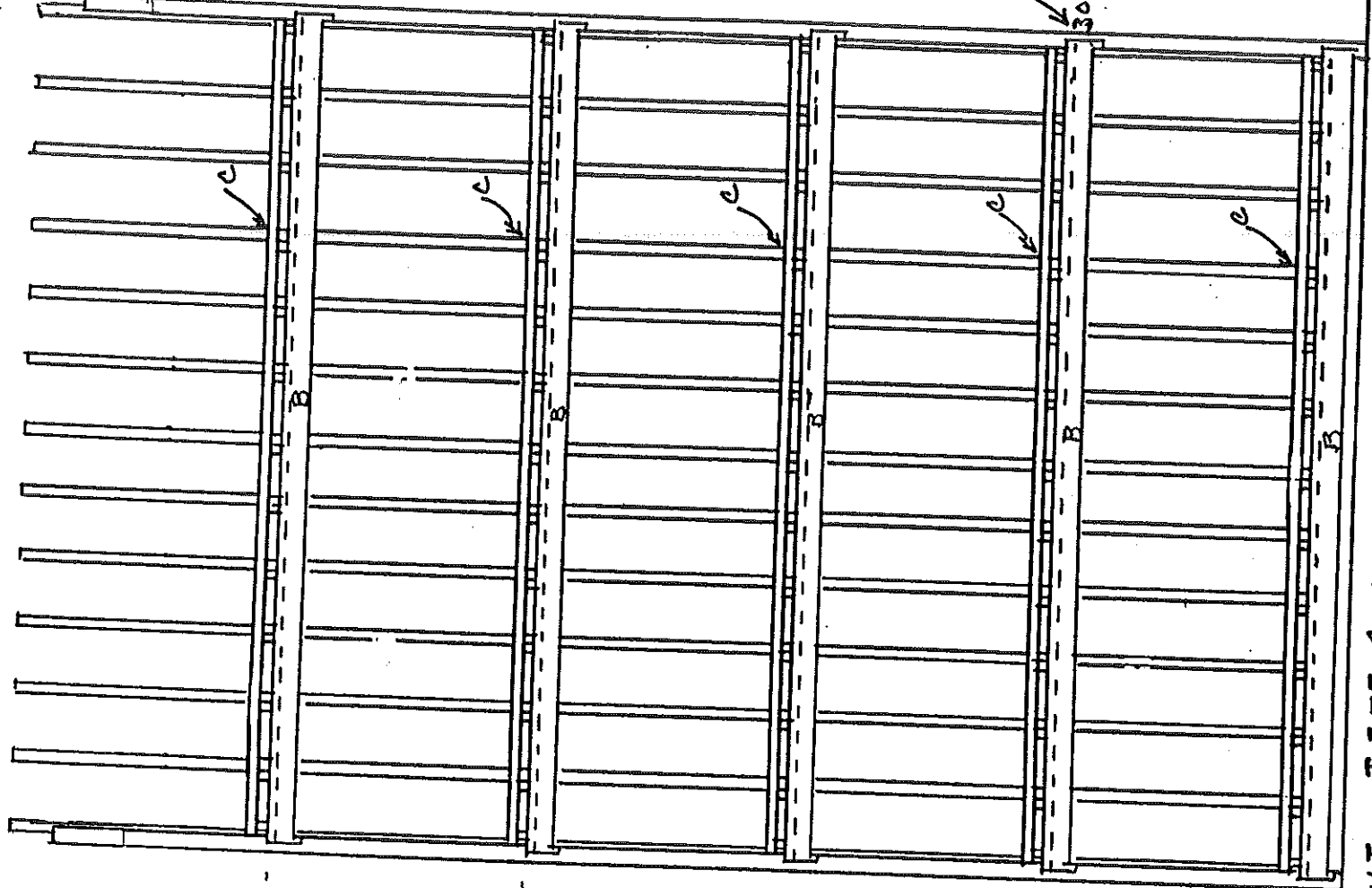
A. UPRIGHT - IF 75R 60" X 22'
 B. BEAMS - 2x4 F&A 4x4 WITH 150" SUPPORT INTERVALS
 C. LUMBER - 2x4 F&A 4x4 WITH 150" SUPPORT INTERVALS
 D. PARTICLE BOARD - 3/8" X 60" X 150"
 E. WIRE MESH DECKING - 3/8" X 60" X 18"
 F. 1" EMT CONDUIT
 G. 60" X 49" X 3/4" LEVEL
 H. 2x2 CLAMPED TO CONDUIT ENDS AND TO WIRE MESH DECKING.

NOTES: 1. SECURE PARTICLE BOARD TO 2x4'S ON FLOOR DRAIN HOLES IN PARTICLE BOARD, & INSERT CONDUIT ANCHOR, 1/2" X 3 3/4" TWO UPRIGHT

SCALE 3/8" = 1'-0"
 MAY 10, 1995
 F. C. RUDOLPH

SLOT RACKS 60S 160S-1
 150"
 13" 13" 12" 12" 12" 12" 12" 12" 12" 13" 13" 13"

60S-1 60S



3000 Lbs

3000 Lbs

3000 Lbs

NOTE:
 3/8" SLAM!
 SKIP BEAM
 LEVEL, SLOT
 WITH 96"
 OPENING

3000 Lbs

20'-0"

A. UPRIGHT IF 75 B 60" X 2' 0"

B. BEAM IH 872 B-150'

C. WOOD CONSTRUCTION - SEE SKETCH
 VERTICULES 20" CENTERED

SCALE 3/8" = 1'-0"

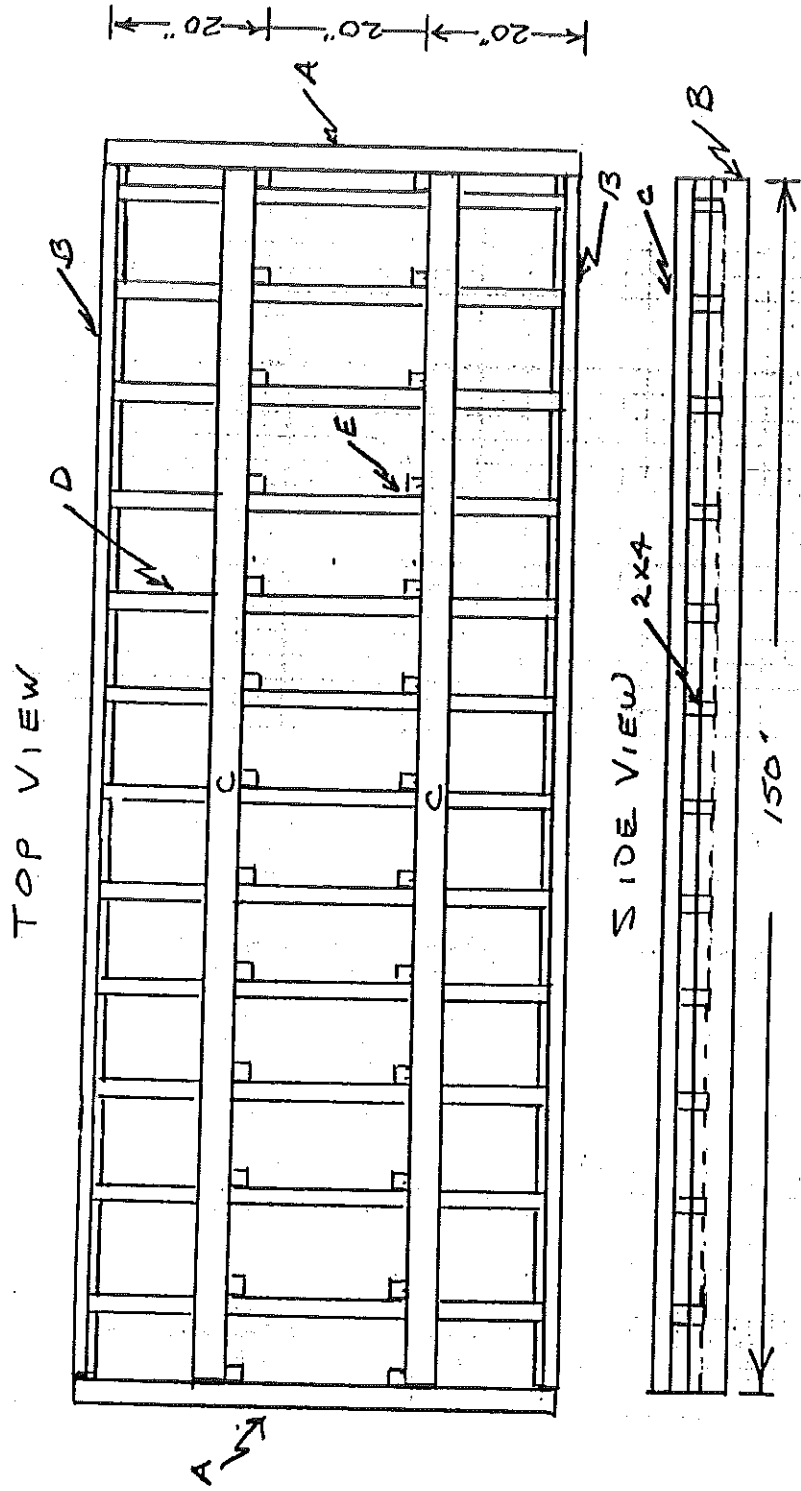
FEBRUARY 21, 2001

F. C. RUDOLPH

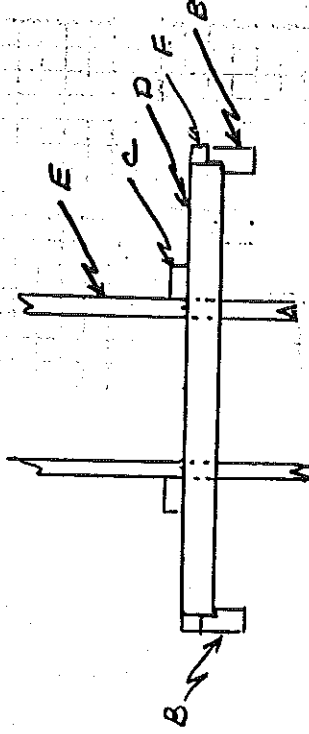
NOTES

1. ANCHORS 1/2" x 3 3/4" TWO/UPRIGHT

SLOT RACKS 60S
60S-1



END VIEW



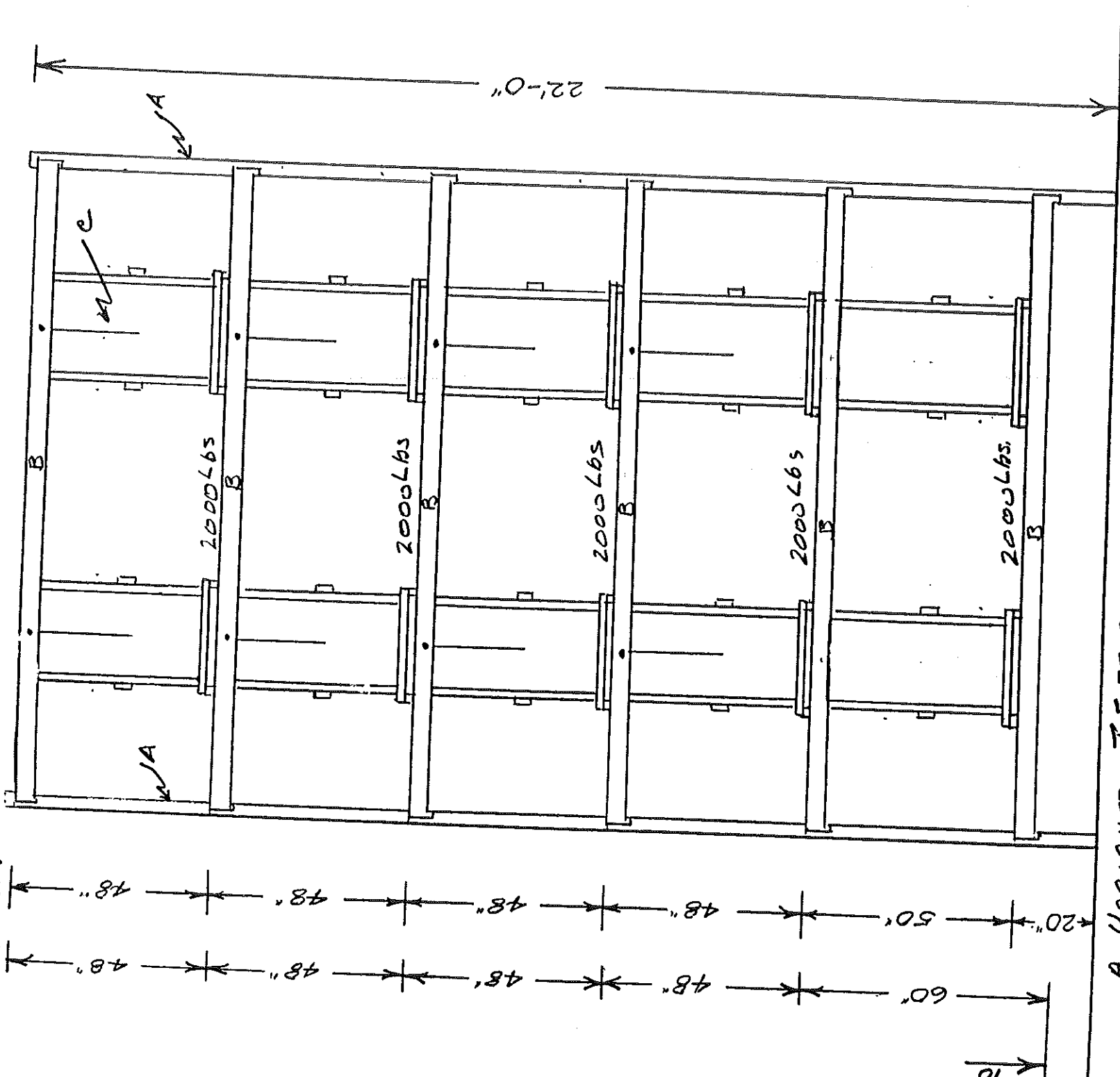
60" 150"

- A. UPRIGHT I F 75 B 60" X 19'-6"
- B. BEAM I 4 872 B - 150"
- C. BASE 2 X 4
- D. STRINGER 2 X 4'S
- E. POCKET 2 X 2'S
- F. MOLDING 2 X 2

NOTE: CONSTRUCTION GRADE LUMBER

SCALE 1/2" = 1'-0"
FEBRUARY 1, 1994
F. C. RUDOLPH

SEE MARKS (201-1)



A. UPRIGHTS IF 75 B 36" X 22'-0"

B. BEAMS IH 87Z B - 150"

C. RESTRAINING DEVICES - PRG SUPPLIED
DRILL 8/8" HOLE & INSTALL

D. WOOD INSERT - SEE SKETCH

NOTES:

1. ANCHORS 1/2" X 3 3/4" TWO/UPRIGHT

SCALE 3/8" = 1'-0"

APRIL 2, 1996

F. C. RUDOLPH

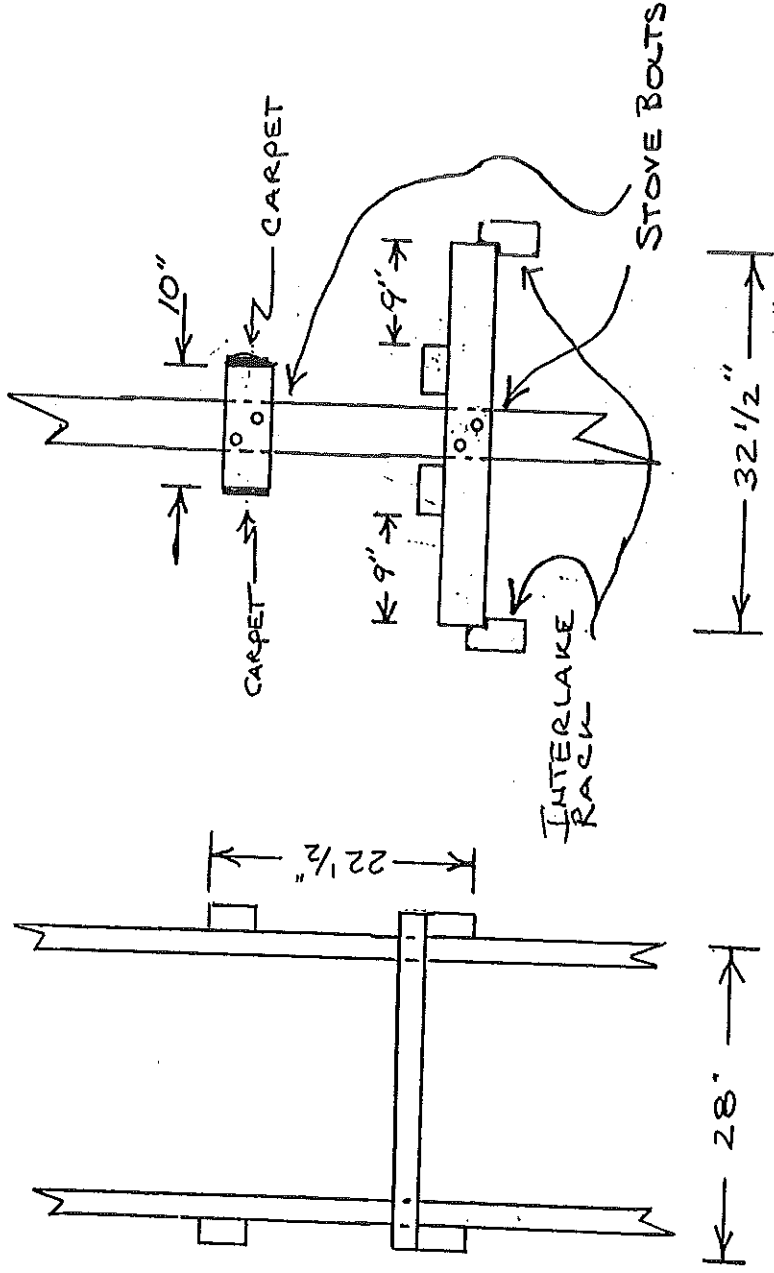
TREE RACKS (207)

WOOD INSERT

TREE RACKS
INSIDE
INTERLAKE
RACK

MATERIALS:

- 2 X 4 LUMBER
- STOVE BOLTS
- NAILS
- CARPET



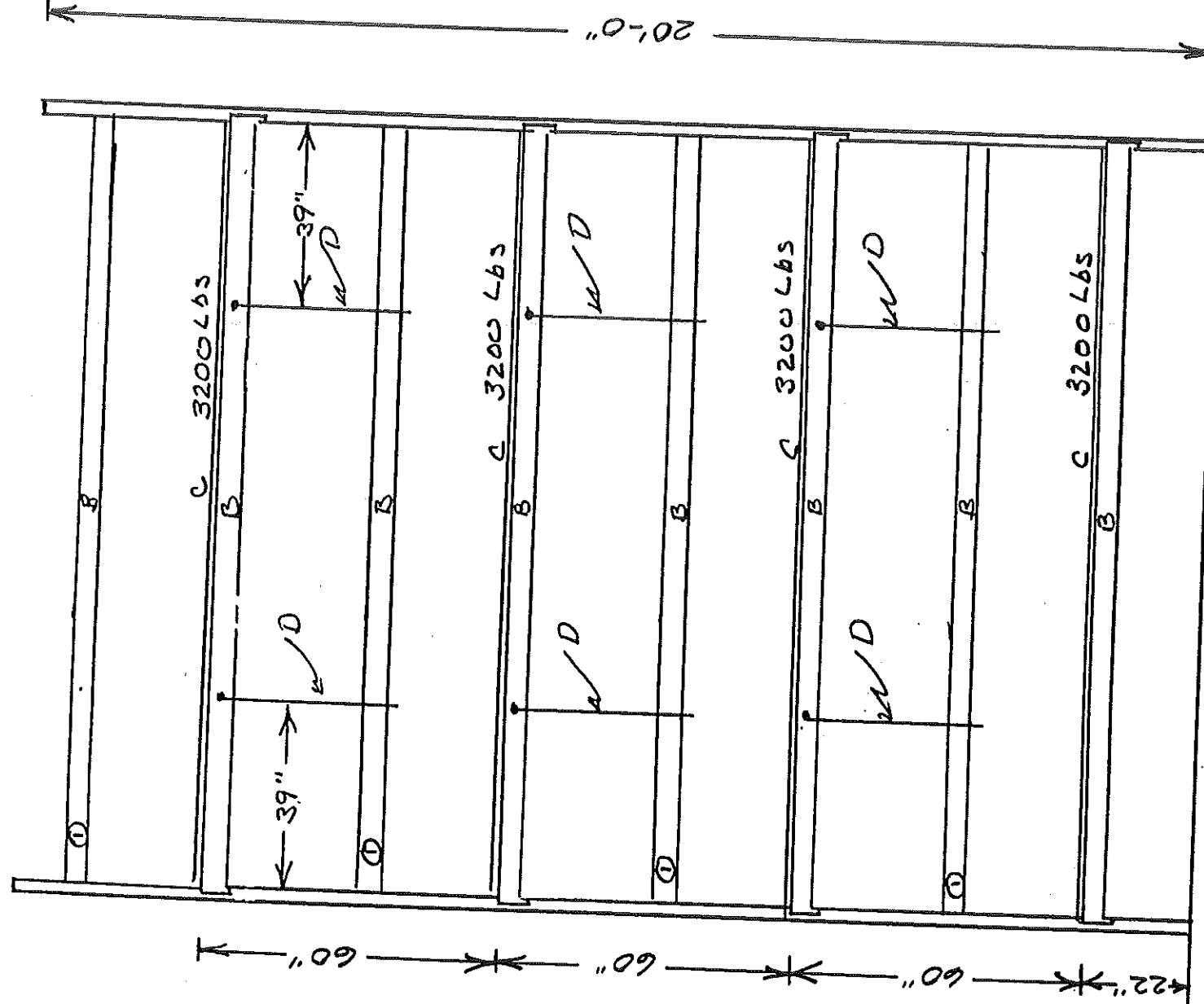
SCALE 1/16" = 1"

OCT. 8, 1991

F.C. RUDOLPH

PALLET STORAGE 6P

156"



A: UPRIGHT 36" X 20'-0"

B: BEAM 156"

C: WIRE MESH DECKING 36" X 51"

D: RESTRAINING DEVICES - PPS SUPPLIED

① DRILL 3/8" HOLE & INSTALL

INSTALL BEAM 24" ABOVE REAR BEAM

NOTES: ONLY, REAR BEAM IS TOWARDS WALL.

1. ANCHORS 1/2 X 3/4" TWO UPRIGHT

2. INSTALL REAR BEAM (WALL SIDE) ONE NOTCH

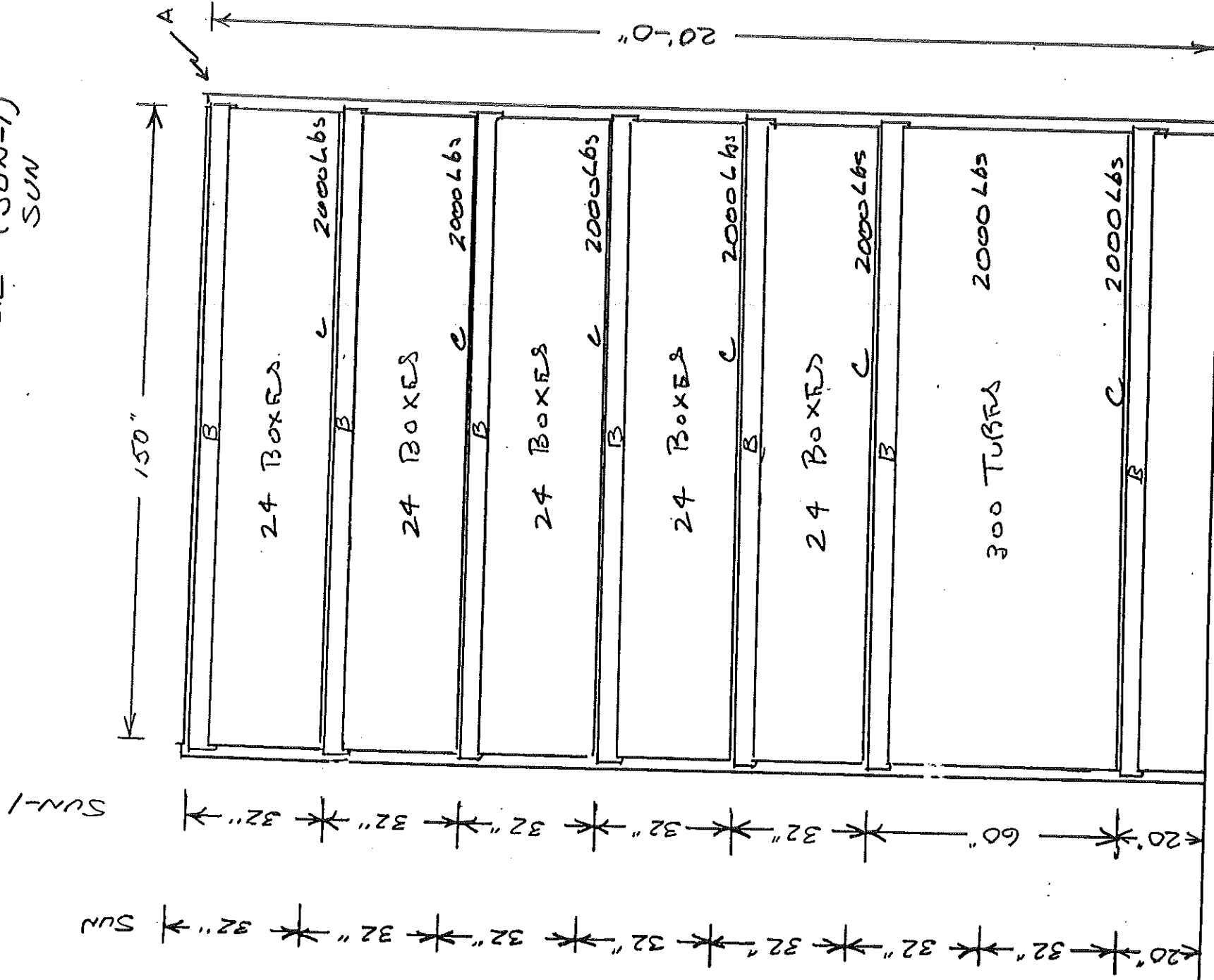
LOWER TO PROVIDE SLOPE TO DECK.

SCALE: 3/8" = 1'-0"

FEBRUARY 21, 2001

F. C. RUDOLPH

SUNDRY STORAGE (SUN-1)
SUN



A. UPRIGHT 60" X 2' 10"
 B. 3 FRAME MESH 1/2" X 3/4" DECKING 60" X 49"
 C. WIRE MESH 1/2" X 3/4" DECKING 60" X 49"
 NOTES:
 1. ANCHORS 1/2" X 3/4" TWO/UPRIGHT
 2. PPG WILL INSTALL BOXES & TUBS

SCALE 3/8" = 1'-0"
 FEBRUARY 21, 2001
 F. C. RUDOLPH

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

324 Riverside St.
**Minor/Minor Site Review for New Detached Single Family Dwelling,
 All Purpose Building Permit Application**

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Location/Address of Construction: 2 McAllister Farm Road Portland, ME 04103	
Total Square Footage of Proposed Structure	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Number	Owner: McALLISTER FARMS LTD.
Chart#	Block#
Lot#	Telephone#: 781-938-0909
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:
PPG AUTO GLASS, LLC	ONE PPG PLACE
	PITTSBURGH, PA 15272
Current use: 100' x 140' NEW BUILDING. Proposed use: WHOLESALE DISTRIBUTION OF AUTOMOTIVE GLASS AND RELATED PRODUCTS.	Cost of Work: \$39,500
	Fee: \$258
Project description: INSTALL RACKING TO WAREHOUSE AUTO GLASS,	
Contractor's Name, Address & Telephone TR-R- FORESTING 18502 FOREST ELM DRIVE SPRING, TX 77388	
Contact: ROSS BERGERON 281-955-6137	
Rec'd By: 3/16	

A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted:

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- 1 copy of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site/plot and construction /building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

A PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 3/13/01
--------------------------------------------------------------------------------------------------------------	---------------

Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

TRI-R- ERECTING

**18502 FOREST ELMS DR.
SPRING, TX 77388**

Quotation

Date	Estimate #
3/2/2001	118

Name / Address
PPG INDUSTRIES, INC.
ONE PPG PLACE
PITTSBURGH, PA 15272
TEL: 412-434-4041
FAX: 412-826-2500

Description	Qty	Rate	Total	Project
RE-PORTLAND, ME INSTALLATION WITH LUMBER FASTENERS, CONDUIT AND COUPLINGS. INCLUDES FORKLIFT		39,500.00	39,500.00	
Subtotal			\$39,500.00	
Sales Tax			50.00	
Total			\$39,500.00	



Frederick C. Rudolph
Manager of Facilities
PPG Auto Glass, LLC
One PPG Place
Pittsburgh, PA 15272
Telephone (412) 434-4041
Fax (412) 434-4000

February 23, 2001

Mr. Russ Bergeron
Tri-R- Erecting
18502 Forest Elms Drive
Spring, TX 77388
Telephone (281) 355-6137
Fax: (281) 353-7877

Re: Request for Racking Proposal
2 McAllister Farm Road, Portland, ME 04103

Dear Russ:

Enclosed are the Bill of Materials, Layout, and Rack Design for our new location in Portland, ME.

The racking will be from locations that have closed as a result of our recent merger. It will still be the typical Interlake that you installed in the past. Since the uprights are only 20-foot high we will purchase two-foot extensions for the 60" uprights in Row B, 36" wide uprights in Row D and the 60" wide uprights in Row E. Anchors, shims, column protectors, spacers, decking, and restraining devices will be supplied by PPG Auto Glass.

Please provide a quote for complete installation including labor, lumber, fasteners, conduit, and couplings.

The Building Inspector indicates that you will need to pull a permit. I spoke to a Mr. Sam Hoffstas at (207) 874-8704.

Installation should begin April 1, 2001.

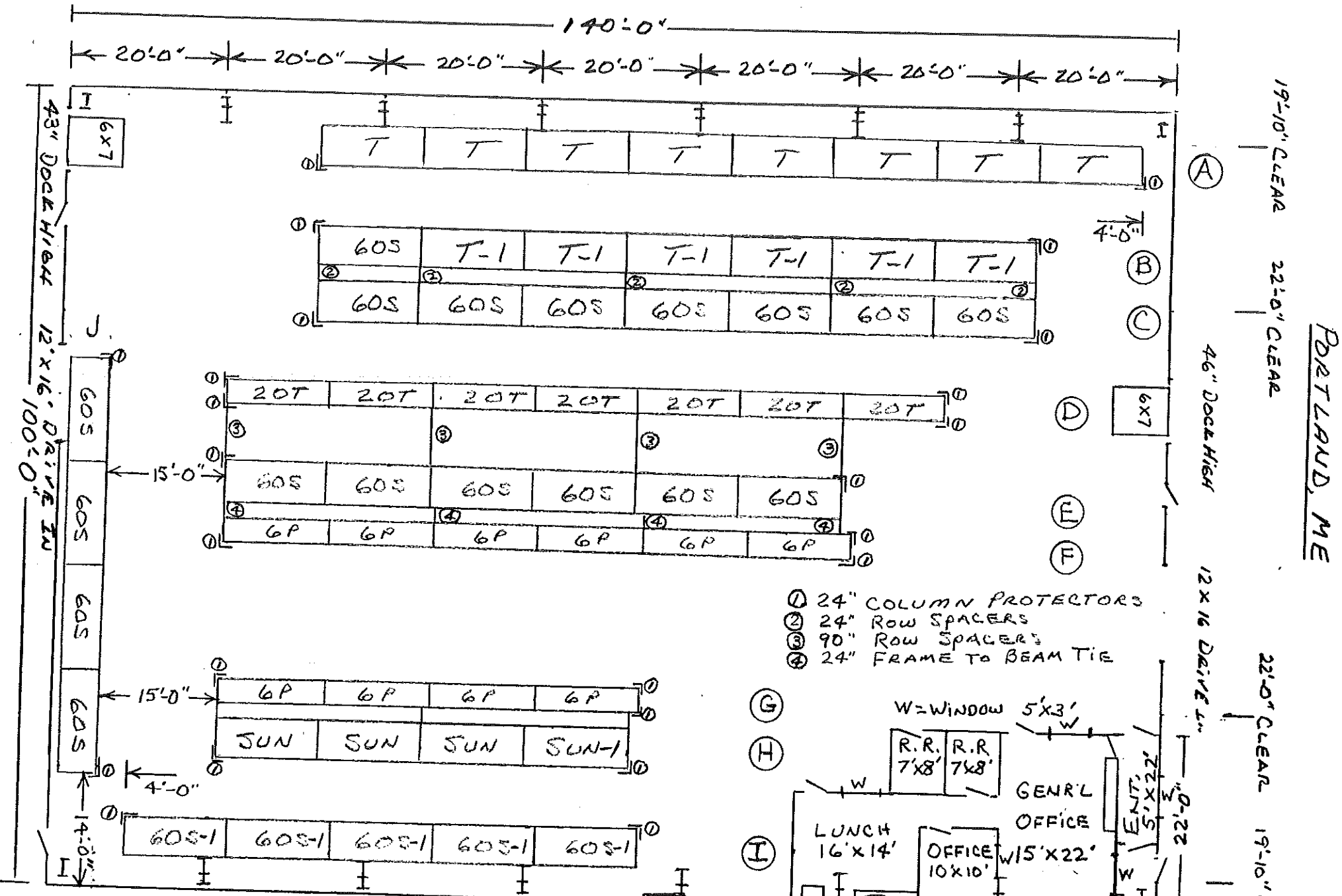
We look forward to your response.

Sincerely,

A handwritten signature in cursive script, appearing to read "Fred Rudolph".

Fred Rudolph

Cc: Brian Connolly (603) 647-4714
Arne Arnesen (413) 556-3283



PORTLAND, ME

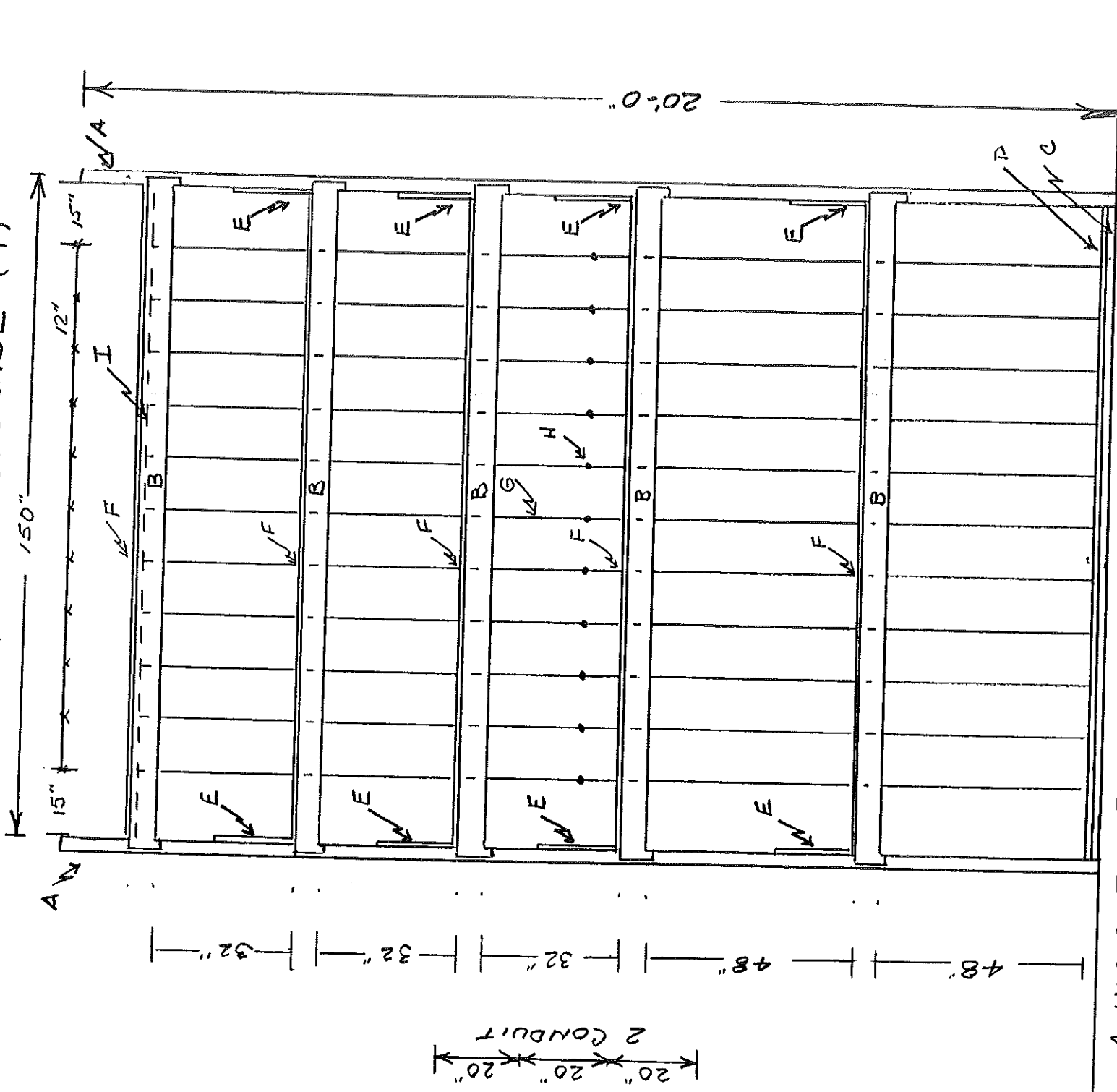
- ① 24" COLUMN PROTECTORS
- ② 24" ROW SPACERS
- ③ 90" ROW SPACERS
- ④ 24" FRAME TO BEAM TIE

	REQ	ACT
PALLETS	52	60 + 20
TREES	95	
SLOTS	1377	140
TEMPERED	4860	1320
SUNDRIES	4	5750
		4

OFFICE 876 SQ. FT. SCALE: 1/16" = 1'-0"
 REV. FEB 21, 2001 DECEMBER 5, 2000
 F. C. RUDOLPH

BILL OF MATERIAL												
PORTLAND, ME - PPG SUPPLIED												
Part Number	Description	Row A	Row B	Row C	Row D	Row E	Row F	Row G	Row H	Row I	Row J	Total
IF 75 B 36"x 22'-0"	Upright				8							8
IF 75 B 36"x 20'-0"	Upright						7	5				12
IF 75 B 60"x 22'-0"	Upright		8			7						15
IF 75 B 60"x 20'-0"	Upright	9		8					5	6	5	33
IH 872 B-156"	Beam						72	48				120
IH 872 B-150"	Beam	80	82	70	84	60			62	50	40	528
36"x51" W.M.	Decking						72	48				120
60"x49" W.M.	Decking	120	108						93			321
IAncors 10094	Anchors	18	16	16	16	14	14	10	10	12	10	136
SA-0824AP	Col. Prot.	2	2	2	4	2	3	3	2	2	2	24
IA-0524-R3	Spacers		10									10
IA-0536-R3	Spacers											0
IA-0590-R3	Spacers				4							4
SA-0612	Wall Fix							0	0	0	0	4
24" Frame to Beam Tie						8		6				14
ROD-38	Restrain				56		36	24				116
PENDANT-36	Devices				112		36	24				172

TEMPERED STORAGE (T)

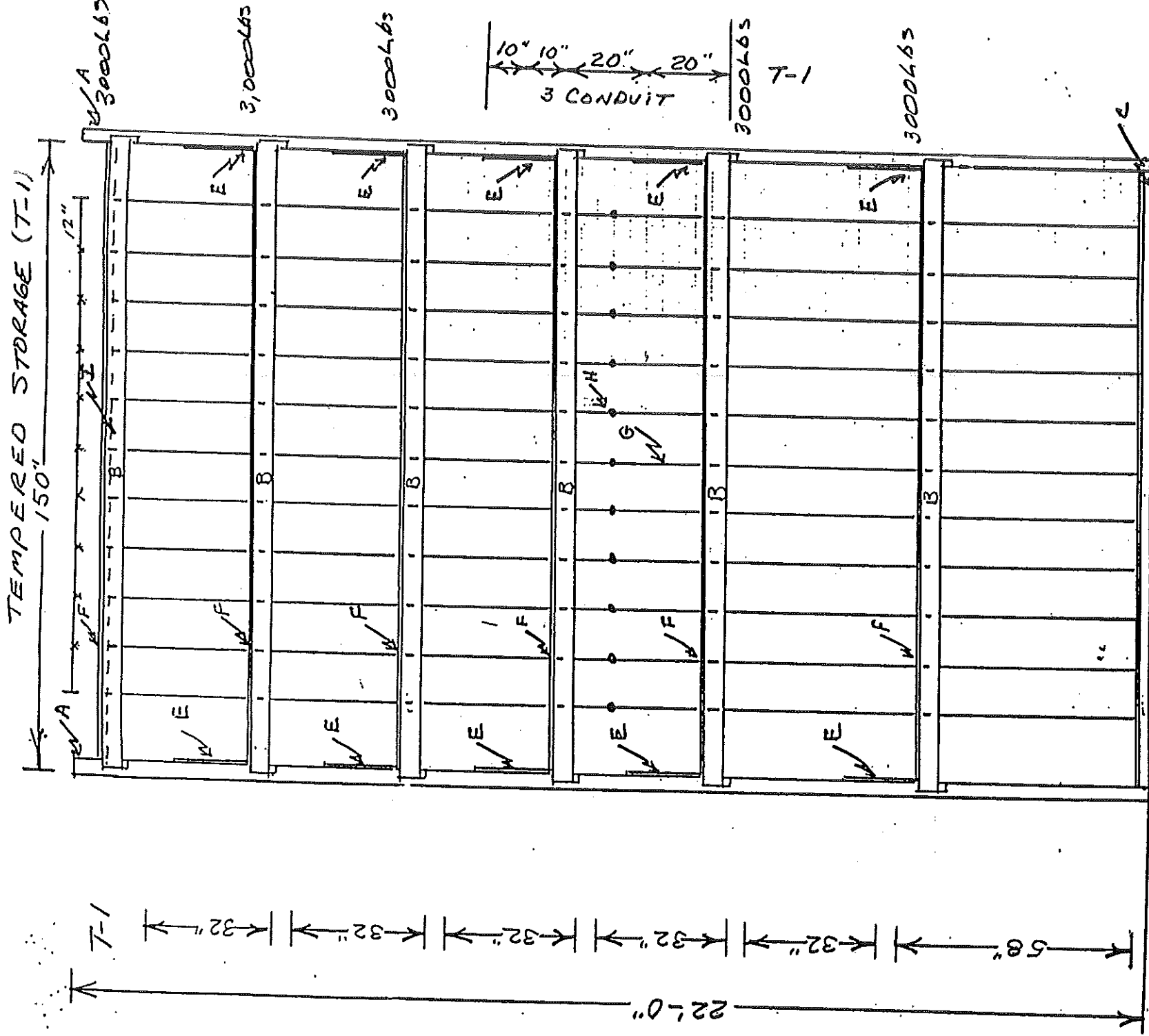


- A: UPRIGHT - IF 75 B 60" X 20'
- B: BEAMS - IF 272 B - 150"
- C: LUMBER - 2 X 4 FRAME WITH 150" SUPPORT IN MIDDLE
- D: PARTICLE BOARD - 3/8 X 60" X 150"
- E: WIRE MESH DECKING - 3/8 X 60" X 18"
- F: 1" EMPTY CONDUIT
- G: COUPLING
- H: LUMBER, 2 X 2 CLAMPED TO CONDUIT END AND TO WIRE MESH DECKING.

SCALE 3/8" = 1'-0"
 FEB 21, 2001
 F. R. RUDOLPH

- NOTES:
1. SECURE PARTICLE BOARD TO 2 X 4'S ON FLOOR. DRAILL HOLES IN PARTICLE BOARD, & INSERT CONDUIT.
 2. ANCHOR, 1/2" X 3 3/4" TWO UPRIGHT

TEMPERED STORAGE (T-1)



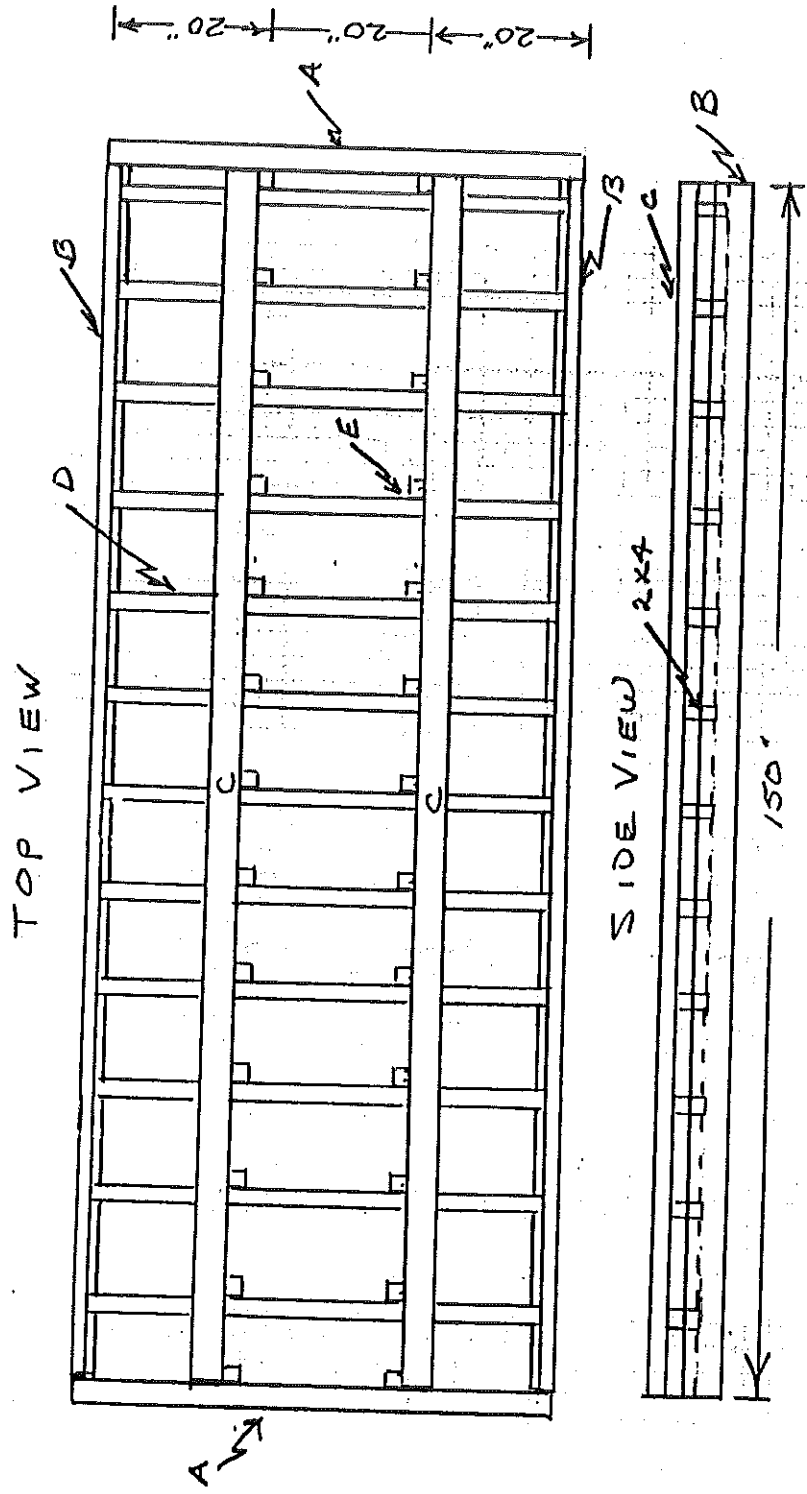
A. UPRIGHT - IF 75R 60" X 22"
 B. BEAMS - 1H 87Z B - 150"
 C. LUMBER - 2 X 4 F 3/8" X 60" X 150"
 D. PARTICLE BOARD - 3/8" X 60" X 150"
 E. WIRE MESH DECKING - 3/8" X 60" X 150"
 F. WIRE MESH DECKING - 3/8" X 60" X 150"
 G. 1" EMPTY CONDUIT
 H. COUPLING
 I. LUMBER 2X2 CLAMPED TO CONDUIT ENDS AND TO WIRE MESH DECKING.

NOTES: 1. SECURE PARTICLE BOARD TO 2X4'S ON FLOOR, DRILL HOLES IN PARTICLE BOARD, & INSERT CONDUIT

2. ANCHOR, 1/2" X 3 3/4" TWO UPRIGHT

SCALE 3/8" = 1'-0"
 MAY 10, 1995
 F. C. RUDOLPH

SLOT RACKS 60S
60S-1



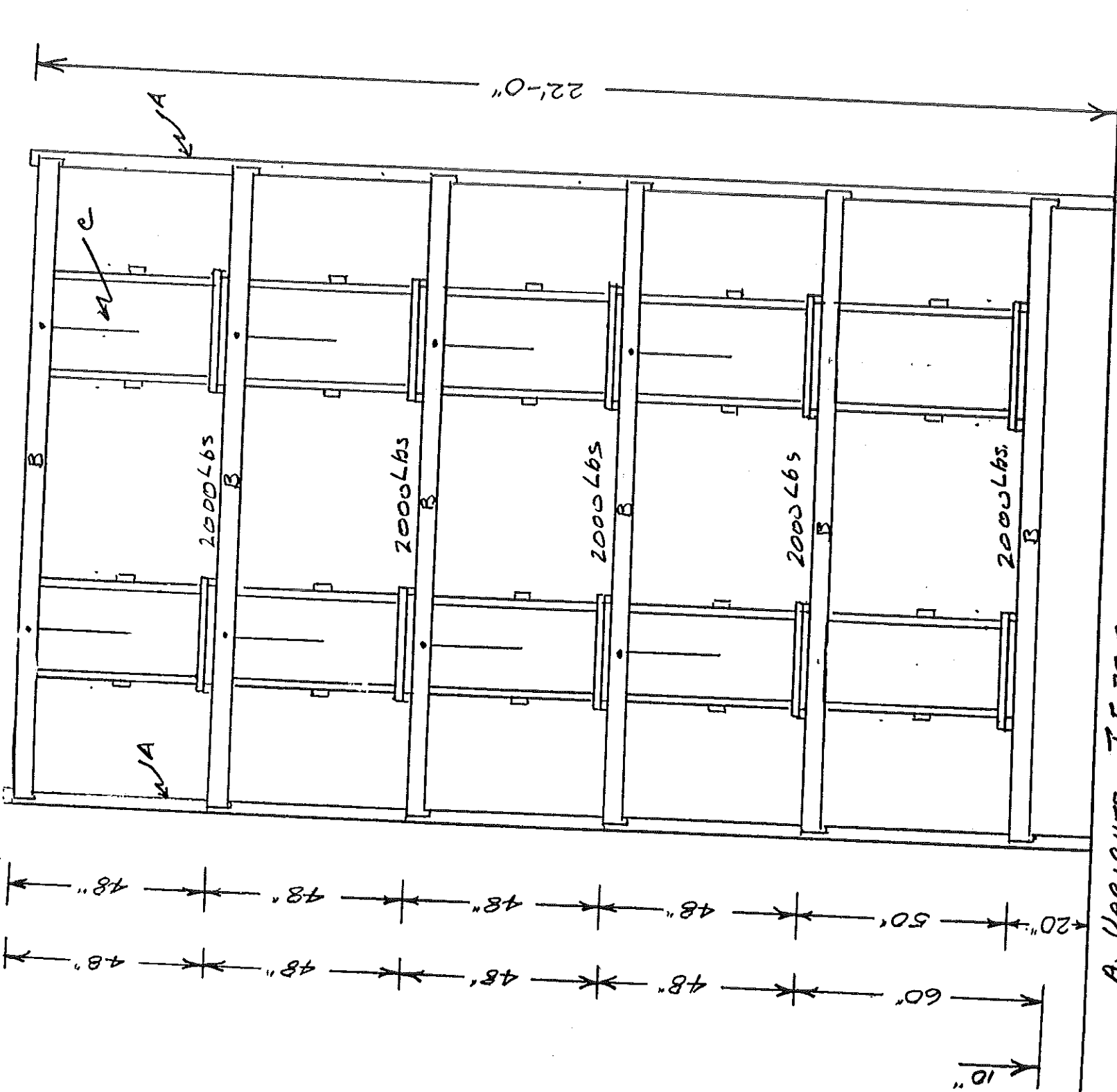
- A. UPRIGHT IF 75 B 60" X 19'-6"
- B. BEAM I 4 872 B-150"
- C. BASE 2 X 4
- D. STRINGER 2 X 4'S
- E. POCKET 2 X 2'S
- F. MOLDING 2 X 2

NOTE: CONSTRUCTION GRADE LUMBER

SCALE 1/2" = 1'-0"
FEBRUARY 1, 1994
F. C. RUDDOLPH

1 KECK MARKS (201-1)

207-1 207



- A. UPRIGHTS IF 75 B 36" X 22'-0"
- B. BEAMS IH 87Z B - 150"
- C. RESTRAINING DEVICES - PPG SUPPLIED
DRILL 3/8" HOLES & INSTALL
- D. WOOD INSERT - SEE SKETCH

SCALE 3/8" = 1'-0"
 APRIL 2, 1996
 F. C. RUDDOLPH

NOTES:

- 1. ANCHORS 1/2" X 3 3/4" TWO/UPRIGHT

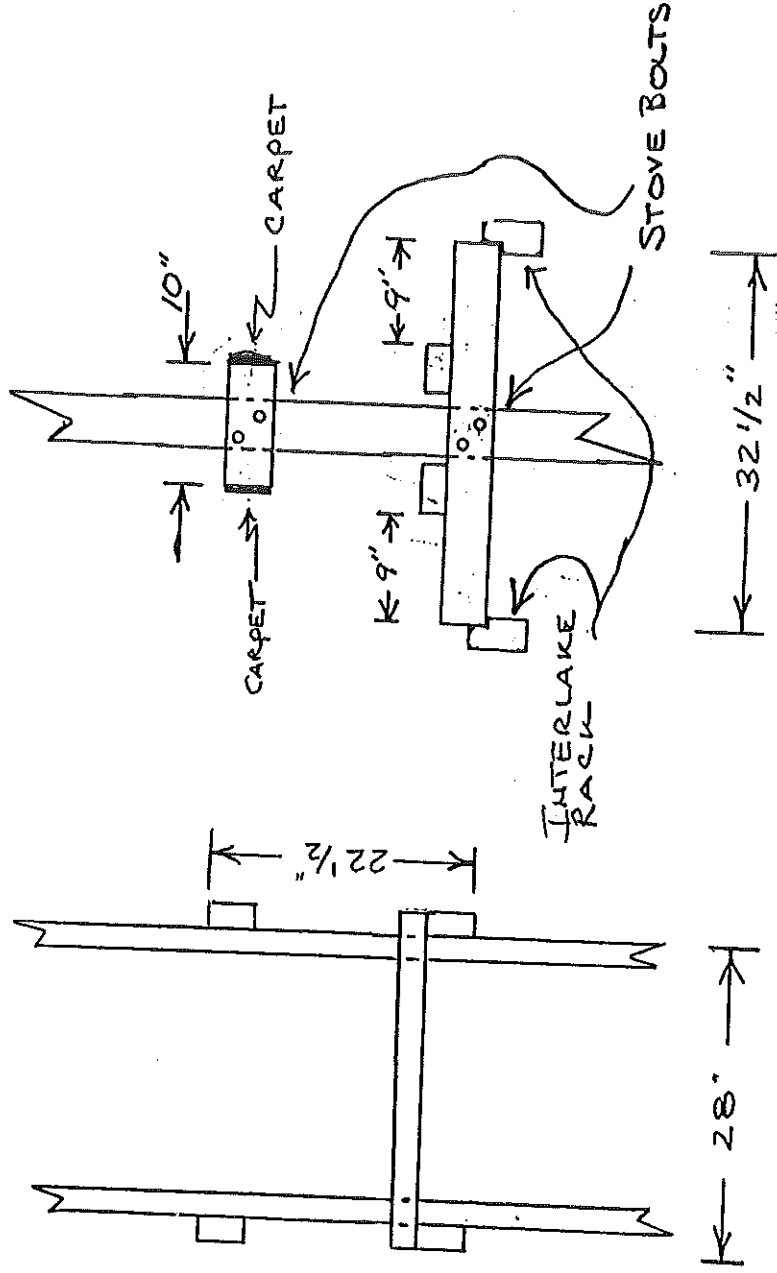
TREE RACKS (207)

WOOD INSERT

TREE RACKS
INSIDE
INTERLAKE
RACK

MATERIALS:

- 2 X 4 LUMBER
- STOVE BOLTS
- NAILS
- CARPET



SCALE 1/16" = 1"

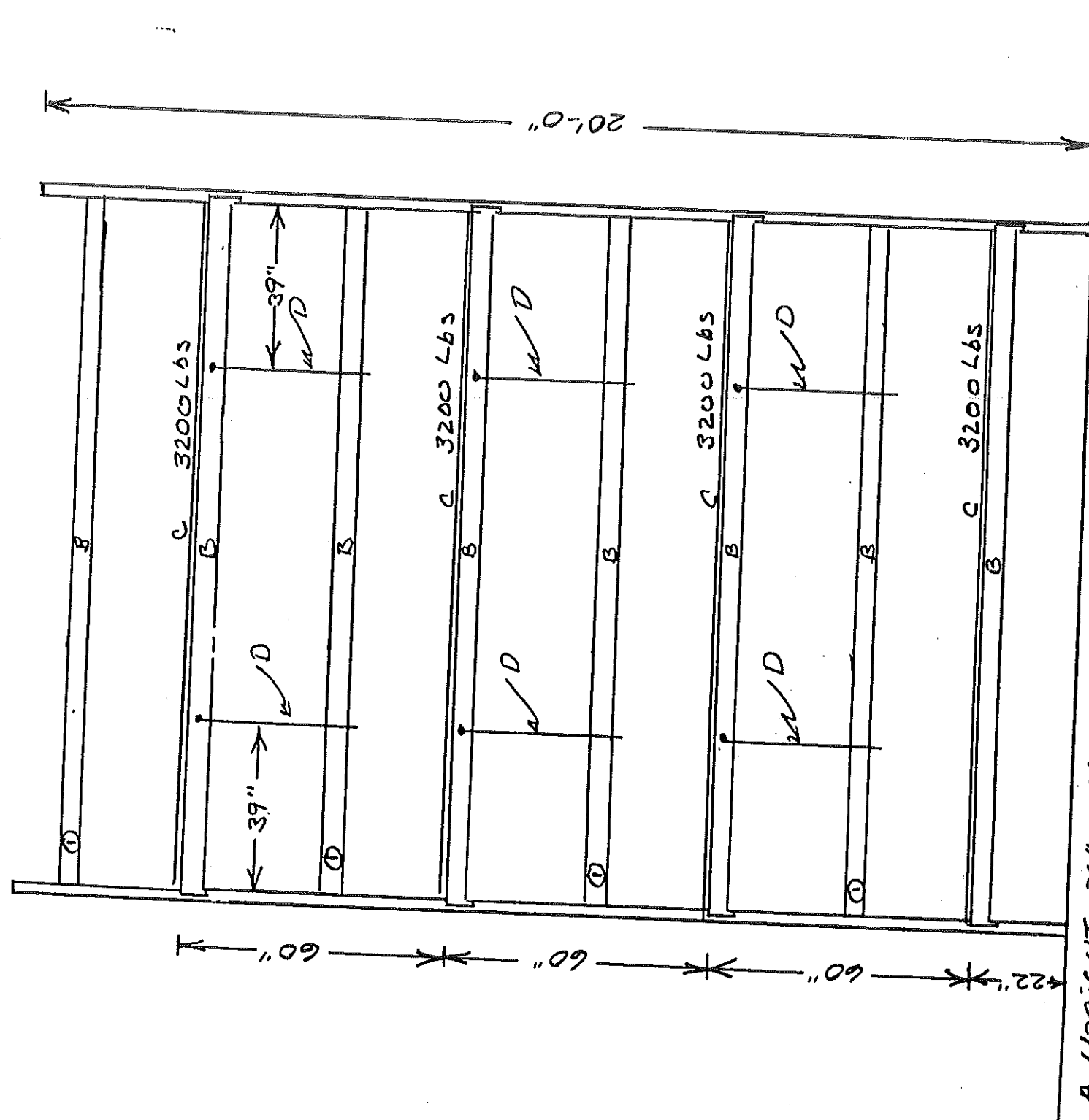
OCT. 8, 1991

F.C. RJOOLPA

36" →

PALLET STORAGE GP

156"



20'-0"

A. UPRIGHT 36" X 20'-0"

B. BEAM 156"

C. WIRE MESH DECKING 36" X 51"

D. RESTRAINING DEVICES - PPG SUPPLIED

① DRILL 3/8" HOLE & INSTALL

INSTALL BEAM 24" ABOVE REAR BEAM

ONLY. REAR BEAM IS TOWARDS WALL.

NOTES:

1. ANCHORS 1/2 X 3 3/4" TWO UPRIGHT

2. INSTALL REAR BEAM (WALL SIDE) ONE NOTCH

LOWER TO PROVIDE SLOPE TO DECK.

SCALE: 3/8" = 1'-0"

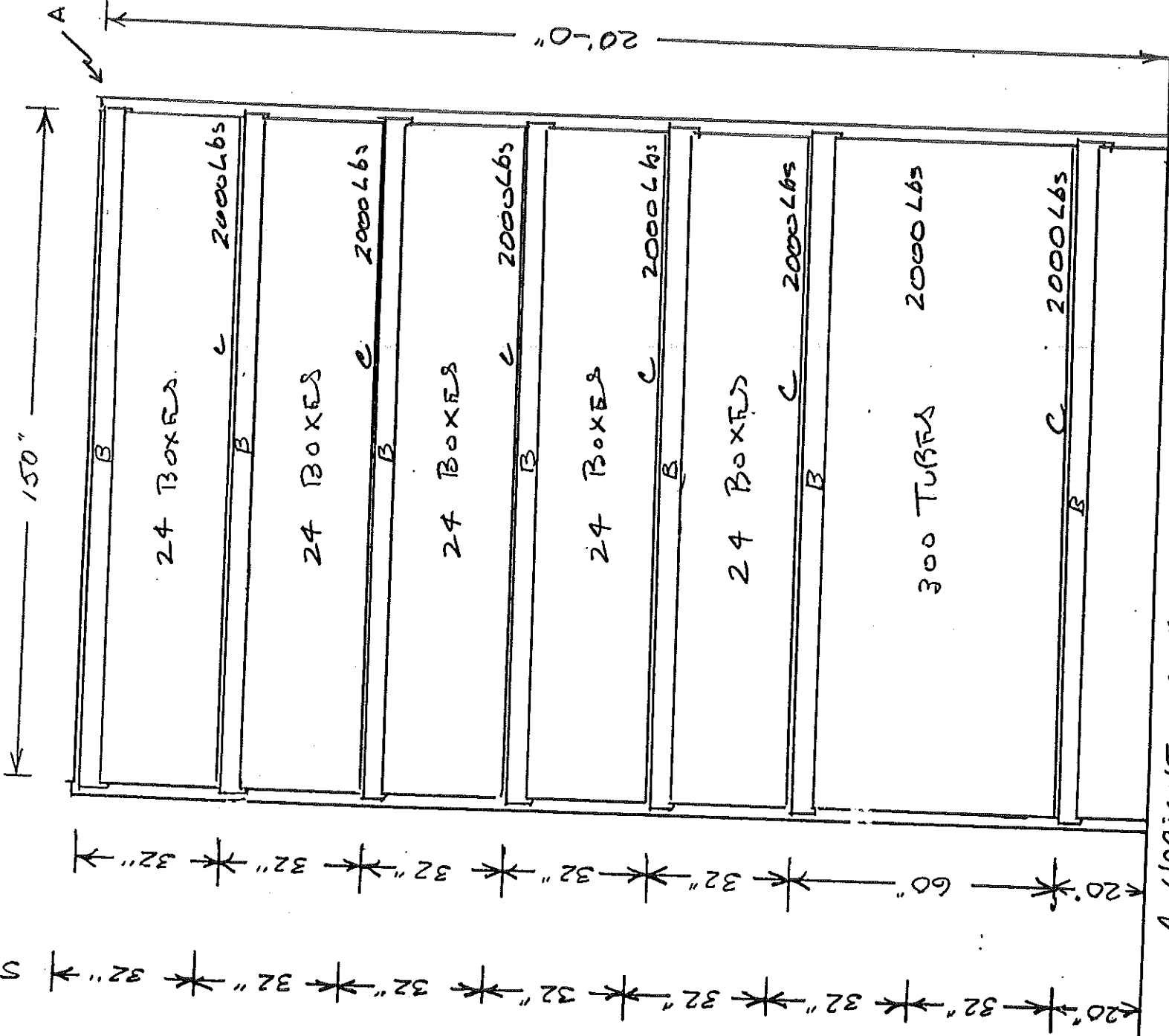
FEBRUARY 21, 2001

F. C. RUDOLPH

SUNDRY STORAGE (SUN-1)
SUN

SUN-1

SUN



- A. UPRIGHT 60" X 2' 0"
- B. 13 FAMS
- C. WIRE MESH 1/2" x 3/4" BECKING 60" X 49"

NOTES:

1. ANCHORS 1/2" X 3/4" TWO / UPRIGHT
2. PPG WILL INSTALL BOXES & TUBS

SCALE 3/8" = 1' 0"
FEBRUARY 21, 2001

F. C. RUDOLPH

TRI-R-ERECTING

18502 FOREST ELMS DR.
 SPRING, TX 77388

Quotation

Date	Estimate #
3/2/2001	118

Name / Address
PPG INDUSTRIES, INC. ONE PPG PLACE PITTSBURGH, PA. 15272 PHE 412-434-4041 FAX: 412-826-2500

Description	City	Rate	Total	Project
RE: PORTLAND, ME INSTALLATION WITH LUMBER, FASTENERS, CONDUIT AND COUPLINGS. INCLUDES FORKLIFT		39,500.00	39,500.00	
Subtotal			\$39,500.00	
Sales Tax			50.00	
Total			\$39,500.00	