

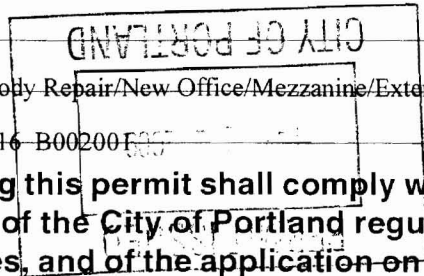
# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BU **PERMIT** ICTION

Permit Number: 090399

Please Read Application And Notes, If Any, Attached

This is to certify that SEGAL ASSOCIATES OF NEW JERSEY Constructi  
has permission to Change of use from warehouse - Lockards Collision Center - A Body Repair/New Office/Mezzanine/Exterior  
AT 238 RIVERSIDE ST CB 316 B00200



provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is done-in. 24 HOURS NOTICE IS REQUIRED.

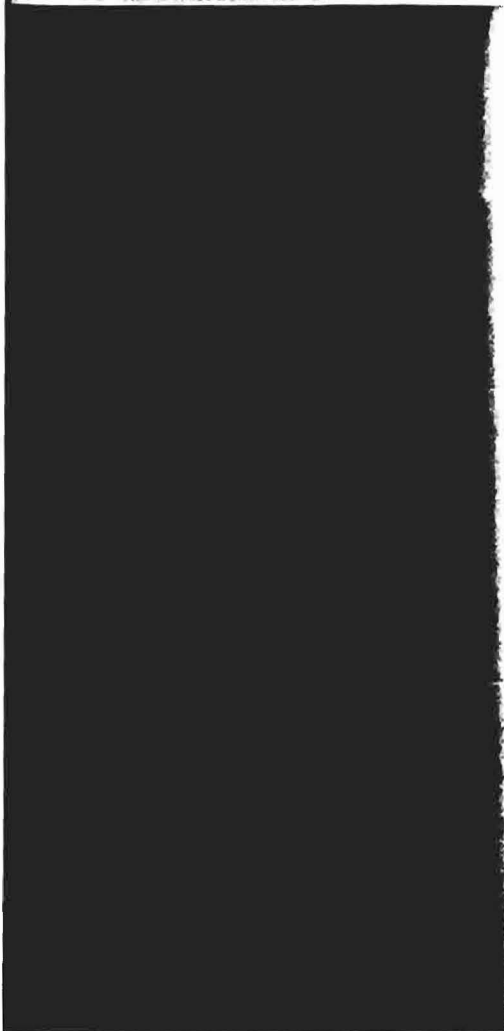
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. OKT [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature] 5/22/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0399	Issue Date: 5/22/09	CBL: 316 B002001
-----------------------	------------------------	---------------------

Location of Construction: 238 RIVERSIDE ST	Owner Name: SEGAL ASSOCIATES OF NEW JE	Owner Address: 13 PRODUCTION WAY	Phone: 207-797-7171
Business Name:	Contractor Name: P.M. Construction	Contractor Address: 19 Industrial Park Road Saco	Phone: 2072827697
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-4

Past Use: Commercial/warehouse (Wickes Lumber)	Proposed Use: Commercial/ Lockards Collision Center - Auto Body Repair/New Office/Mezzanine/Exterior Entry Canopy/Misc Cosmetic Improvements	Permit Fee: \$2,595.00	Cost of Work: \$250,000.00	CEO District: 5
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: 5-1/B Type: IIB IBC-2003	

**Proposed Project Description:**  
Change of use from warehouse to Lockards Collision Center - Auto Body Repair/New Office/Mezzanine/Exterior Entry Canopy/Misc Cosmetic Improvements

Signature: KG

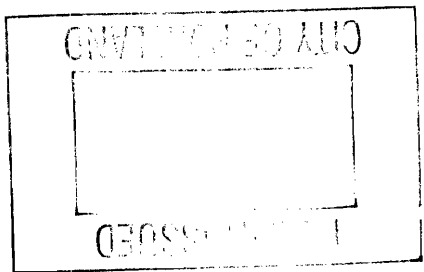
**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: lmd	Date Applied For: 04/29/2009	<b>Zoning Approval</b>
-------------------------	---------------------------------	------------------------

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan Exemption 2009-0025</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>OK w/ conditions Date: 5/12/09</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>ABM</p> <p>Date: _____</p>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0399	<b>Date Applied For:</b> 04/29/2009	<b>CBL:</b> 316 B002001
------------------------------	----------------------------------------	----------------------------

<b>Location of Construction:</b> 238 RIVERSIDE ST	<b>Owner Name:</b> SEGAL ASSOCIATES OF NEW JE	<b>Owner Address:</b> 13 PRODUCTION WAY	<b>Phone:</b> 207-797-7171
<b>Business Name:</b>	<b>Contractor Name:</b> P.M. Construction	<b>Contractor Address:</b> 19 Industrial Park Road Saco	<b>Phone:</b> (207) 282-7697
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

<b>Proposed Use:</b> Commercial/ Lockards Collision Center - Auto Body Repair/New Office/Mezzanine/Exterior Entry Canopy/Misc Cosmetic Improvements	<b>Proposed Project Description:</b> Change of use from warehouse to Lockards Collision Center - Auto Body Repair/New Office/Mezzanine/Exterior Entry Canopy/Misc Cosmetic Improvements
--------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 05/12/2009

**Note:** Total parking spaces needed is 27. Office area is 2574.5 sf (6 spaces) & rest of first floor is 21265 sf (21 spaces). 30 spaces shown on revised siteplan received 5/11/09.      **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 05/20/2009

**Note:**      **Ok to Issue:**

- 1) All special inspection reports must be submitted to this office for review within 48 hours of the inspection. A final special inspection report must be submitted prior to issuance of a certificate of occupancy. This report must demonstrate any deficiencies and corrective measures that were taken.
- 2) Fire Alarm systems shall be installed per Sec. 907 of the IBC 2003
- 3) Equipment must be installed in compliance per the manufacturer's specifications
- 4) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Separate Permits shall be required for any new signage.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 05/14/2009

**Note:**      **Ok to Issue:**

- 1) Fire Alarm system shall be maintained.  
If system is to be off line over 4 hours a fire watch shall be in place.  
Dispatch notification required 874-8576.
- 2) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 3) The sprinkler system shall be installed in accordance with NFPA 13.
- 4) All construction shall comply with NFPA 101
- 5) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 6) The fire alarm system shall comply with NFPA 72.  
Compliance letter is required.
- 7) Any cutting or welding operations require a separate permit from the Fire dept.
- 8) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.  
Compliance letters are required.

<b>Location of Construction:</b> 238 RIVERSIDE ST	<b>Owner Name:</b> SEGAL ASSOCIATES OF NEW JE	<b>Owner Address:</b> 13 PRODUCTION WAY	<b>Phone:</b> 207-797-7171
<b>Business Name:</b>	<b>Contractor Name:</b> P.M. Construction	<b>Contractor Address:</b> 19 Industrial Park Road Saco	<b>Phone</b> (207) 282-7697
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

- 9) Emergency lights and exit signs are required
- 10 Fire extinguishers required. Installation per NFPA 10
- 11 All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP and keyed alike, labeled "FIRE ALARM RECORDS".
- 12 Sprinkler protection shall be maintained.  
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 13 A separate Fire Alarm System Permit is required per the Fire Department.
- 14 A separate Sprinkler System Permit is required per the Fire Department.
- 15 Emergency lights are required to be tested at the electrical panel.

**Comments:**

5/4/2009-lmd: Received application on 4/29/2009, received payment on 5/01/2009.

5/7/2009-amachado: Needed siteplan & right, title & interest.

5/8/2009-amachado: Received additional information for siteplan exemption application. This included right title & interest and a siteplan. Left voicemail for Grant Austin at Sebago Technics. Need 27 parking spaces, only 16 are shown. With the right, title & interest is Davison Realty, LLC Jim Davidson?

5/11/2009-amachado: Received revised siteplan from Sebago Technics that shows 30 parking spaces.

5/20/2009-csh: Permit is in Ann M's office until Site Plan Exemption is signed.-----

5/21/2009-amachado: Received sign off from planning stating that the conditions for the partial siteplan exemption have been met. Gave permit to Chris Hanson to issue.



**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

- X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- X   **Re-Bar Schedule Inspection: Prior to pouring concrete**
- X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- X   **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**  
**NOTE: There is a \$75.00 fee per inspection at this point.**
- X   **The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy**
- X   **Underground electrical or plumbing inspection prior to pouring concrete**
- X   **Final inspection of barriers or alarm systems**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>238 RIVERSIDE STREET - PORTLAND</u>		
Total Square Footage of Proposed Structure <u>38,800 SF (2410 SF NEW)</u>		Square Footage of Lot <u>5.95 ACRES</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>316-B-2</u>	Owner: <u>JAMES DAUKON</u>	Telephone: <u>797-7171</u>
Lessee/Buyer's Name (If Applicable) <u>SAME</u> APR 29 2009	Applicant name, address & telephone: <u>LOWMAN'S COLLISION CENTER 390 ALLEN AVENUE PORTLAND, MAINE 04103</u>	Cost Of Work: \$ <u>250,000.-</u> Fee: \$ <u>75.-</u> C of O Fee: \$ _____
Current Specific use: <u>STORAGE</u>	Proposed Specific use: <u>AUTO BODY COLLISION REPAIR SHOP</u>	
Project description: <u>UTILIZE MAJORITY OF EXISTING WAREHOUSE FOR AUTOBODY REPAIR. BUILD NEW OFFICE &amp; MECHANICAL INTENTION. BUILD NEW EXTERIOR ENTRY CANOPY &amp; FACADE COSMETIC IMPROVEMENTS.</u>		
Contractor's name, address & telephone: <u>P.M. CONSTRUCTION INC.</u>		
Who should we contact when the permit is ready: <u>PHIL MORIN</u>		
Mailing address: <u>P.O. BOX 726 SALCO, ME 04072</u>		Phone: <u>282-2697</u>

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michael F. Hays, Architect</u>	Date: <u>29 APRIL 2009</u>
-----------------------------------------------------------	----------------------------

This is not a permit; you may not commence ANY work until the permit is issued.



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: GRANT HAYS ASSOCIATES - ARCHITECTS

RE: Certificate of Design

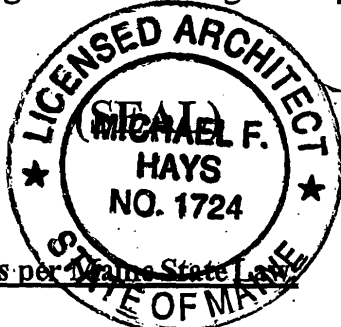
DATE: 4/29/09

These plans and / or specifications covering construction work on:

WOODHAMS COMMUNITY CENTER

238 MURKIN STREET - PORTLAND

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Signature: Michael F. Hays

Title: ARCHITECT

Firm: GRANT HAYS ASSOCIATES

Address: P.O. BOX 6179  
FALMOUTH, ME 04105

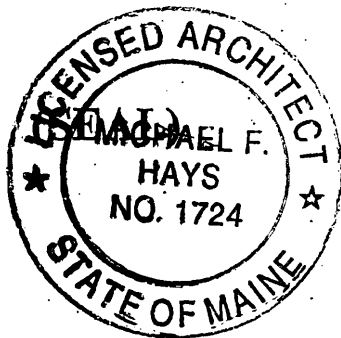


CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: GRANT HAYS ASSOCIATES  
Address of Project: 238 PLENSING STREET  
Nature of Project: LOCKMAN'S COLLISION CENTER  
CONVERSION OF EXISTING  
WAREHOUSE TO AUTOMOBILE SHOP

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: Michael F. Hays  
Title: ARCHITECT  
Firm: GRANT HAYS ASSOCIATES  
Address: P.O. BOX 6729  
FARMINGTON ME 04105  
Phone: 207-871-5900

**NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.**

FROM DESIGNER: GRANT HAYS ASSOCIATES / SPIO ENGINEERING

DATE: APRIL 29, 2009

Job Name: LOCKMAN'S COMMISSION CENTER

Address of Construction: 238 MULLENBERRY STREET - PORTLAND, ME

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

MHA  
4/29/09

Building Code and Year 2003 IBC Use Group Classification(s) S  
Type of Construction II B  
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC YES  
Is the Structure mixed use? NO if yes, separated or non separated (see Section 302.3) NA  
Supervisory alarm system? YES Geotechnical/Soils report required? (See Section 1802.2) NO

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members (106.1, 106.1.1)

Live load reduction (1603.1.1, 1607.8, 1607.10)

Roof live loads (1603.1.2, 1607.11)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Roof snow loads (7603.7.3, 1608)

Uniformly distributed floor live loads (7603.11, 1607)

Ground snow load,  $P_g$  (1608.2)

If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1608.3)

If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1608.3.1)

If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1604.5)

Roof thermal factor,  $C_t$  (Table 1608.3.2)

Sloped roof snowload,  $P_s$  (1608.4)

Floor Area Use	Loads Shown

Seismic design category (1616.3)

Basic seismic-force-resisting system (Table 1617.8.2)

Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1617.8.2)

Analysis procedure (1616.6, 1617.5)

Design base shear (1617.4, 1617.5.1)

Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1609.3)

Building category and wind importance factor,  $I_w$  (Table 1604.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2.2)

Main force wind pressures (7603.1.1, 1609.6.2.1)

Flood loads (1603.1.8, 1612)

Flood hazard area (1612.3)

Elevation of structure

Other loads

Earthquake design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)

Seismic use group ("Category") (Table 1604.5, 1616.2)

Spectral response coefficients,  $S_{DS}$  &  $S_{D1}$  (1615.1)

Site class (1615.1.5)

Concentrated loads (1607.4)

Partition loads (1607.5)

Impact loads (1607.8)

Misc. loads (Table 1607.8, 1607.8.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

## 2006 INTERNATIONAL BUILDING CODE

“(x)” denotes if building is fully sprinkled

Use Group Classification: Storage (S-1) ✓  
Construction: Type IIB – Non-Combustible, Unprotected ✓  
Occupant Loads: S-1 @ 500 sf/occ = 68 occupants  
B @ 100 sf/occupant = 50 occupants  
Area Use Separation Ratings: 2 hour (NA)  
Janitor, Mech & Storage Rooms: 1 hour

### Building Limitations

Construction Type: HB Unprotected; Sprinkled ✓  
Maximum Height: 3 Story (+ 1 story/20')  
Maximum Area / Floor: 17,500 sf (Unlimited) ✓

### Fire Resistance Ratings

Load Bearing Exterior Walls: None  
Fire Separation Exits (Stairs): 2 hours / 1 hour  
Fire Separation of Uses: 2 Hours (1 Hour @ ancillary Uses)  
Shafts & Elevator Hoistways: 2 hours (NA)  
Other Assemblies: 1 hour  
Exit Corridors: 1 hour (none)  
Minimum Number of Exits: 2  
Minimum Separation of Exits: 148' (74')  
Maximum Dead End Corridor Length: 20'  
Maximum Common Travel Path: 75'  
Maximum Travel Distance: 200' (250')  
Minimum Corridor Width: 44"  
Minimum Stair Width: 44"  
Maximum Riser Height: 7"  
Minimum Tread Depth: 11"  
Minimum Ramp Width: 44"  
Maximum Ramp Pitch: 1:12  
Handrails: Same as NFPA 101  
Minimum Ceiling Height: 7'-6"

Fire Alarm System: Required  
Fire Sprinkler System: Required  
Portable Fire Extinguishers: Required  
Exit Lighting: Required  
Emergency Lighting: Required

### Building Live Load:

Offices: 50 psf  
Storage: 125 psf @ light

**End of Analysis**

## CODE ANALYSIS

### LOCKARD'S COLLISION CENTER 235 RIVERSIDE STREET PORTLAND, MAINE

#### NFPA 101 Life Safety Code - 2006 Edition

Building Classification:	Storage -36,340 SF Existing + 2,470 SF New
Hazard Classification:	Ordinary Hazard
Construction Type:	Type II (000)
Occupant Loads:	Storage @ 500 sf/occupant = 68 occupants Acillary Offices @ 100 sf/occupant = 50 occupants
Separation of Use Rating:	2 hour (NA)
Janitor, Mech, Stor Rating:	1 hour (NA)
Stair Rating:	1 hour
Elevator Shafts:	2 hours (NA)
Area of Refuge:	1 hour (NA)
Minimum Stair width:	44" clear
Maximum Riser height:	7"
Minimum Tread width:	11"
Minimum Headroom:	6'-8" at stairs; 7'-6" at occupied areas
Maximum ht between landings:	12'-0"
Handrail height:	34"-38" @ 42" guardrail
Handrail top extension:	12" horz.
Handrail bottom extension:	11" angled + 12" horz.
Handrail diameter:	1-1/4" O.D.
Maximum balluster open space:	less than 4"

#### Building Uses

#### Storage

“(x)” denotes if building is fully sprinkled

Max. Allowable Travel Distance:	200' (400')
Max. Allowable Common Path:	50' (100')
Max. Dead End Corridor Length:	50' (100')
Minimum Egress Corridor Width:	44"
Minimum Number of Required Exits	2
Minimum Horz Egress Enclosure rating:	1 hr (none)
Minimum Separation of Exits:	148' (98')
Fire Escapes as means of egress:	Allowed (NA)
Minimum Egress Door Width:	36"
Exit Lighting:	Required
Emergency Lighting:	Required
Fire Alarm System:	Required
Fire Sprinkler System:	Required
Portable Fire Extinguishers:	Required
Exit Device Hardware	Required

# GRANT HAYS ASSOCIATES

A R C H I T E C T U R E ♦ I N T E R I O R D E S I G N

## MEMO

**DATE:** April 29, 2009  
**TO:** Chris Hanson, City of Portland Code Enforcement Officer  
**FROM:** Mike Hays  
**RE:** Lockard's Collision Center  
235 Riverside Street - Portland  
**CC:** file

Jim Davison, Owner of Lockard's has indicated the following actual occupancy rates for the proposed new Collision Center location:

Office Staff: 3 current w/ 3 future = 6 occupants  
Tech Staff: 8 current w/ 2 future = 10 occupants  
TOTAL Actual occupant load: 16 occupants

Phase I construction (first floor) includes 2 toilets and 2 sinks in 2 Unisex ADA Restrooms per Maine State Plumbing Code.

Phase II construction (mezzanine level) includes an addition toilet and sink in an ADA accessible unisex restroom.

Please do not hesitate to contact me directly with any comments.

APR 29 2009

Michael F. Hays, Project Architect  
Me Lic# 1724

P. O. BOX 6179, FALMOUTH, MAINE 04105 ♦ (207) 871-5900, FAX (207) 871-9308



Chris,

Attached as discussed per Jim's head-count.

I will drop off the paint booth equipment package later this afternoon.

Thanks,

Michael Hays  
Grant Hays Associates  
P.O. Box 6179  
Falmouth, Maine 04105  
207.871.5900 v  
207.871.9308 f  
[mhays@earthlink.net](mailto:mhays@earthlink.net)  
EarthLink Revolves Around You.



April 29, 2009  
09-035

To: Mr. Chris Hansen  
From: Steven Grant, P.E.  
Subject: Lockards Autobody Mezzanine @ 235 Riverside Street, Portland, Maine

SRG Engineering will be performing Structural Tests and Inspections with the assistance of S.W. Cole Engineering, Inc.. SRG Engineering will be the Inspections Coordinator and will sub-contract structural steel connections, cast-in-place concrete, foundation reinforcing, subgrade, compaction, and embedded items to S.W. Cole Engineering. SRG Engineering, Inc. will review light-gage framed walls for conformance with design intent.

Structural Tests and Inspection forms will be forwarded for your review and approval prior to performing this phase of work. Please call should you have questions.

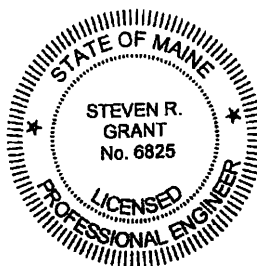
Sincerely,

SRG ENGINEERING, INC.

A handwritten signature in black ink, appearing to read "S. Grant", is written over the printed name and title.

Steven R. Grant, P.E.  
President

SRG:srg



APR 29 2009

FROM DESIGNER: GRANT HAYS ASSOCIATES / SPLOEN CONSULTING  
 DATE: APRIL 21, 2009  
 Job Name: LOCKARD'S COMMISSION CENTER  
 Address of Construction: 235 W. VERSHORE STREET - FAYETTEVILLE, NC

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2006 IBC Use Group Classification(s) S  
 Type of Construction II-B  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? YES  
 Is the Structure mixed use? NO if yes, separated or non separated (see Section 302.3) NA  
 Supervisory alarm system? YES Geotechnical/Soils report required? (See Section 1802.2) NO

STRUCTURAL DESIGN CALCULATIONS

N.R. Submitted for all structural members (102.1, 106.1.1) NO

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads (703.1.1, 1607)

Floor Area Use Loads Shown

<u>LT STORAGE</u>	<u>12.5 psf</u>

N/A Live load reduction (1603.1.1, 1607.2, 1607.10)  
N/A Roof live loads (1603.1.2, 1607.11)  
N/A Roof snow loads (703.7.3, 1608)  
N/A Ground snow load,  $P_g$  (1608.2)  
N/A If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1608.3)  
N/A If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1608.3.1)  
N/A If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1604.5)  
N/A Roof flexural factor,  $C_r$  (Table 1608.3.2)  
N/A Sloped roof snowload,  $P_s$  (1608.4)

Wind loads (1603.1.4, 1609) N/A

Design option utilized (1609.1.1, 1609.5) N/A  
 Basic wind speed (1609.3) 6.5, 4  
 Building category and wind importance factor,  $I_w$  (Table 1604.6, 1609.5) ELF  
 Wind exposure category (1609.4) 4.0  
 Internal pressure coefficient (1609.7)  
 Component and cladding pressures (1609.1.7, 1609.5.2.2)  
 Main force wind pressures (703.1.1, 1609.5.2.1)

D Seismic design category (1818.3)  
SEMI WALLS Basic seismic-force-resisting system (Table 1817.3.2)  
6.5, 4 Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1817.3.2)  
ELF Analysis procedure (1818.2, 1817.5)  
4.0 Design base shear (1817.4, 1817.5.1)

Earthquake design data (1808.1.5, 1614-1623)

ELF Design option utilized (1814.1)  
I Seismic use group ("Category") (Table 1604.5, 1616.2)  
0.52, 0.23 Spectral response coefficients,  $S_{DS}$  &  $S_{D1}$  (1615.7)  
E Site class (1818.1.5)

Ø Flood loads (1603.1.6, 1612)  
Ø Flood hazard area (1612.3)  
Ø Elevation of structure  
 Other loads  
NO Concentrated loads (1607.4)  
NO Partition loads (1607.5)  
NO Impact loads (1607.8)  
NO Misc. loads (Table 1607.6, 1607.8.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

# GRANT HAYS ASSOCIATES

A R C H I T E C T U R E ♦ I N T E R I O R D E S I G N

## MEMO

**DATE:** April 29, 2009  
**TO:** Chris Hanson – Portland CEO  
**FROM:** Mike Hays  
**RE:** Lockard's Collision Center  
**CC:** file

---

Attached are copies of the manufacturer's specs for the existing paint booth to be relocated and the new unit for the Riverside Street facility.

Let me know if you have any questions, or you may speak directly with Jim Davison at 797-7171

Thanks





*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



Reviewed  
for Barrier  
Free

# 18381

**Sprinkled**  
**Sprinkler Supervised**

**LOCKARD'S COLLISON CENTER**  
Located at: 235 RIVERSIDE STREET  
**PORTLAND**  
Occupancy/Use: OTHER

**Permission is hereby given to:**  
JIM DAVISON

330 ALLEN AVENUE  
PORTLAND, ME 04103

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 10 th of November 2009*

Dated the 11 th day of May A.D. 2009

Commissioner

**Copy-2 Architect**

Comments:

MICHAEL HAYS

PO BOX 6179  
FALMOUTH, ME 04105

2009 0035



# APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

[Handwritten Name]  
Applicant

Nov 15, 2009  
Application Date

[Handwritten Address]  
Applicant's Mailing Address

[Handwritten Project Name]  
Project Name/Description

[Handwritten Phone Number]  
Consultant/Agent/Phone Number

[Handwritten Address]  
Address of Proposed Site

CBL: [Handwritten Code]

Description of Proposed Development:  
[Handwritten Description]

### Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:  
See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)
APR - 7 2009

Planning Office Use Only

**Planning Division Use Only**

Exemption Granted \_\_\_\_\_ Partial Exemption X Exemption Denied \_\_\_\_\_

Please submit the following information for review and approval by the Planning Division:

1. A plan showing the location of the proposed development on the property.

2. A plan showing the location of the proposed development on the property.

3. A plan showing the location of the proposed development on the property.

Planner's Signature [Handwritten Signature] Date Nov 14, 2009

Memorandum  
Department of Planning and Urban Development  
Planning Division



---

**TO:** Jim Davidson, Lockard's Collision  
Grant Austin, Sebago Technics

**FROM:** Barbara Barhydt, Development Review Services Manager

**DATE:** May 21, 2009

**RE:** **238-254 Riverside Street – Lockard's Collision**

---

Lockard Collision sought a site plan exemption for 238-254 Riverside Street in order to change the use of the rear building on the site from a lumber storage use to the Lockard Collision Center. A partial exemption was granted on April 4, 2009, which required the following:

The applicant must submit the following information for review under the site plan standards:

1. An assessment of the proposed change in trip generation from the lumber business to the proposed autobody repair shop;
2. A parking layout and site circulation plan (including whether the existing gates will remain);
3. Specific details for the utility connections and verification of sufficient capacity;
4. Evidence of Right, Title and Interest.

The applicant submitted additional information on April 28, 2009, which has been reviewed. Thomas Errico, Consulting Traffic Engineer, reviewed and approved the traffic information and parking layout plan showing 30 parking spaces (e-mail attached). The Department of Public Services has issued a letter stating there is sufficient sewer capacity to serve the project (letter attached). The applicant has also provided evidence of right, title and interest.

The site plan for the change of use for the rear building at 238-254 Riverside Street is approved with the following condition:

The partial site plan exemption is approved for the rear structure only and any change of use or proposed revisions to the front building or site shall be submitted for review under applicable City ordinances, including but not limited to the site plan ordinance.

**Electronic Distribution**

cc: Tammy Munson, Inspections Division Director  
Marge Schmuckal, Zoning Administrator  
Ann Machado, Zoning Specialist  
Gail Guertin, Inspections Division  
Chris Hanson, Inspections Division

MAY 21 2009

**From:** "Errico, Thomas A" <TERRICO@wilbursmith.com>  
**To:** Barbara Barhydt <BAB@portlandmaine.gov>  
**Date:** Thursday, May 21, 2009 11:11:38 AM  
**Subject:** Lockard's Collision - Riverside Street (Former Wickes Lumber Site)

Barbara

I have reviewed the updated site plan layout regarding parking and traffic circulation and find the project to be acceptable. If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.  
Senior Transportation Engineer  
Wilbur Smith Associates  
59 Middle Street  
Portland, Maine 04101  
w: 207.871.1785 f: 207.871.5825  
TERRICO@WilburSmith.com <mailto:TERRICO@WilburSmith.com>  
www.WilburSmith.com <http://www.wilbursmith.com/>

**CC:** Katherine Earley <KAS@portlandmaine.gov>





Portland, Maine  
Water and Sewer Department

Public Works Department  
Michael J. Bobrowsky, Director

15 May 2009

Mr. Steven Groves,  
Sebago Technics,  
P. O. Box 1339,  
Westbrook, Maine 04098-1339

**RE: The Capacities to Handle the Anticipated Wastewater Flows, and Storm Water Flows, from the Proposed Reuse of the former Wicks Lumber Site, at 238 Riverside Street, Portland, Maine.**

Dear Mr. Groves:

The existing eight inch diameter Polyvinyl Chloride (P.V.C.) **sanitary sewer** pipe, located in Riverside Street **has adequate capacity to transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have **adequate capacity to treat** the anticipated net increase in wastewater flows of **150 G.P.D.** The anticipated storm water flows, from the proposed auto body repair shop project are **4.60 C.F.S.**

**Anticipated Wastewater Flows, from the Proposed Building Reuse:**

15 Proposed Employees @ 15 G.P.D. /Employee	=	225 GPD
3 Proposed Car Washings @ 25 G.P.D. /Washing	=	75 GPD
Less Wastewater Flows, from Previous Tenants	=	150 GPD
<b>Total Proposed Net Increase in Wastewater Flows for this Project</b>	<b>=</b>	<b>150 GPD</b>

**Anticipated Stormwater Flows, from the Proposed Building Restoration:**

For a Type III, Two Year, Storm Event	=	4.60 CFS
<b>Total Proposed Stormwater Flows for this Project</b>	<b>=</b>	<b>4.60 CFS</b>


The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and with the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, from all projects, in order to offset any increase in sanitary flows. This project does not propose new use impervious development. Stormwater runoff apparently flows toward the rear of the property.

O Joseph J. Bobrowsky, Director  
C Frank M. Caproni, Director

If The City can be of further assistance, please call 874-8832.

Sincerely,

**CITY OF PORTLAND**

  
Frank J. Brancely, B.A., M.A.  
Senior Engineering Technician

FJB

cc: Penny Littell, Director, Department of Planning, and Urban Development, City of Portland  
Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland  
Ann Machado, Planner, Department of Planning, and Urban Development, City of Portland  
Michael Bobinsky, Director, Department of Public Services, City of Portland  
David Margolis-Pineo, P.E., Deputy City Engineer, City of Portland  
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland  
Michael Farmer, P.E., Project Engineer, City of Portland  
Stephen K. Harris, Assistant Engineer, City of Portland  
Harold L. Downs, Senior Wastewater Technician, City of Portland  
John Emerson, Wastewater Coordinator, City of Portland  
Jane Ward, Administrative Assistant, City of Portland



March 24, 2009  
09053

Ms. Barbara Barhydt  
City of Portland  
Planning and Development Department  
389 Congress Street  
Portland, ME 04101

**Request of Site Plan Exemption**  
**Former Wickes Lumber Parcel – 238 Riverside Street, Portland**

Dear Barbara:

On behalf of Lockard's Collision Center (Lockard's), we have prepared this Request for a Site Plan Exemption under Section 14-523 (d) of the Land Use Ordinance. Lockard's is currently located off Allen Avenue in Portland and is proposing to relocate their business to the former Wickes Lumber site off Riverside Street. The relocation will allow Lockard's to occupy the vacated site without any substantive physical changes or modifications.

Lockard's has entered into a purchase/sell agreement with Segal Associates of New Jersey LP who currently owns the buildings and property located at 238 Riverside Street (former Wickes Lumber site). Enclosed is a Site Plan depicting the existing project which will be re-occupied as follows:

1. Lockard's will occupy the existing warehouse at the rear of the property as their Collision Center. Lockard's proposes to fit-up the interior of the existing 30,800 square foot warehouse at the rear of the site for their body shop, offices and associated amenities. Since the site is currently developed, no physical site changes are proposed. The applicant will extend water and sewer connections to the warehouse building from the existing retail building at the front of the property as shown on the enclosed plan.
2. The former Wickes Lumber Retail Center, at the front of the lot, will be offered for lease as a retail use occupying the same footprint as the former Wickes Lumber Retail Center.

With the exception of establishing water and sewer connections to the rear warehouse building, this project will not require site improvements since the parcel was previously developed and is well suited for the proposed use. Lockard's is simply proposing to occupy the existing rear warehouse building with interior fit-up as required for auto body repair operations and associated offices. The existing retail building at the front of the property will be offered for lease and re-occupation as a similar use.

Enclosed is an aerial photo of the parcel along with a Site Plan depicting the redevelopment of the parcel that was completed by Wickes Lumber in 2005. As shown on the aerial photo, the

parcel is situated in an existing retail/commercial/industrial setting and is well suited for the intended use which is similar in nature to prior uses on the property. The existing retail building, to be occupied by future tenants, contains approximately 7,700 square feet of retail space, with 16,670 square feet remaining for warehouse use. Parking and access are excellent to the site and will meet or exceed the project needs.

We believe this project is an excellent candidate for a Site Plan Exemption as intended by Section 14-523. Lockard's is prepared to move forward immediately with the purchase provided we confirm with City of Portland staff that a Site Plan Exemption is applicable. The following provides a summary of why we believe the project is a clear candidate for a Site Plan Exemption.

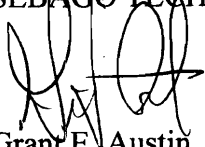
1. The proposed project is solely located within existing structures and there will be no new buildings or building demolitions. The project will only require interior fit-up and minor modifications to extend existing water and sewer utilities on the site.
2. The proposed project utilizes all existing access drives and parking areas. No changes are required. With portions of the site no longer utilized for the storage of raw materials, ample parking is available for Lockard's employees and customers. The existing Wickes Retail Center that will be leased includes excellent parking and access in the front of the parcel. No changes are required or proposed. The site was previously enhanced by Wickes Lumber in the 2005 timeframe.
3. The site is situated within an existing manufacturing/warehousing, commercial, industrial, and retail setting that is fully developed and has been functioning for well over three decades. Project access is from a single curb cut that currently exists at the intersection of the site's entrance and Riverside Street. This entrance shares an existing traffic signal light with the adjacent Home Depot, located across Riverside Street to the east of the property. Recent inspection of the curbs and sidewalks indicate they are in sound condition, and meet accessibility requirements of the Americans with Disability Act. The entrance, curbs, and sidewalks were addressed and improved with the redevelopment of the site for Wickes Lumber in 2005, which was approved by the City of Portland through Wickes Lumber Major Development Site Plan Application.
4. The project does not require any additional or reduced parking, either on or off the site. In addition, the project is not expected to be similar in traffic generation to the prior Wickes Lumber use. The proposed auto body shop by nature is a low intensity use and will have only 15 full-time employees. Traffic and parking for the retail lease area will remain similar in nature to the prior use.
5. Project development requires no new infrastructure and has no known stormwater or drainage related deficiencies. Only a minor water and sewer line extension (on-site) will be needed to service the former warehouse building.
6. The property has no evident deficiencies in existing screening from adjoining areas. Adjacent properties are developed retail, commercial, and industrial sites similar to the proposed and prior uses.
7. All existing on-site utilities will be utilized for the project. A minor sewer and water extension to the rear building will be completed and connected to the exiting water and

sewer lines already on the site. This will not require any disturbance or improvements within the public right-of-way.

As you review our request for a Site Plan Exemption, please feel free to contact us with any questions or if additional information is needed. If an Exemption is granted, Lockard's Collision Center plans will move forward immediately with the purchase of the property. We believe the proposed project provides an excellent opportunity for re-occupation of a currently vacated site and allows an existing Portland business to relocate within the City of Portland.

Sincerely,

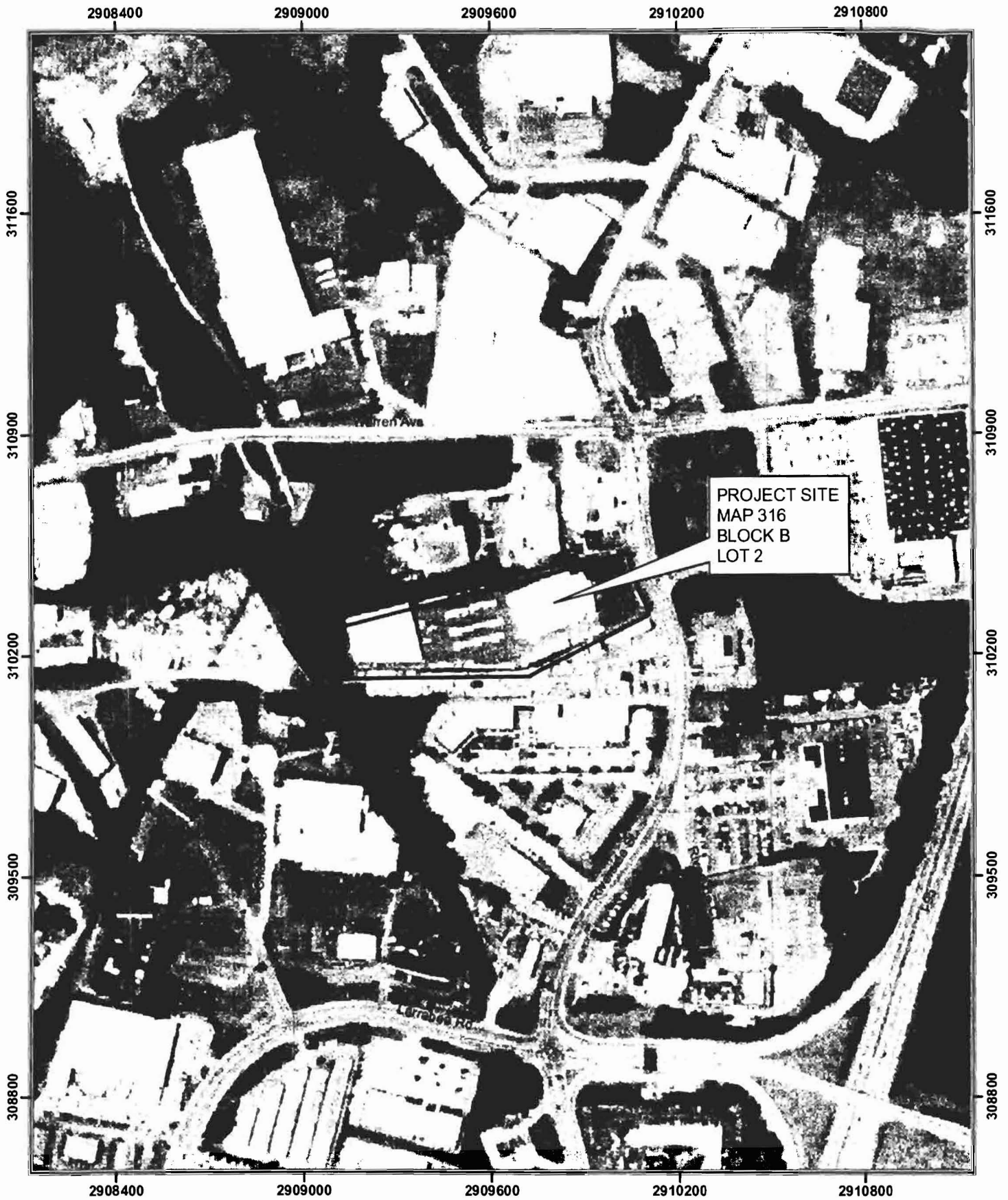
SEBAGO TECHNICS, INC.

A handwritten signature in black ink, appearing to read 'Grant E. Austin', written over a horizontal line.

Grant E. Austin  
Project Manager

GEA:kn  
Enc.

cc: Jim Davidson, Lockard's Collision

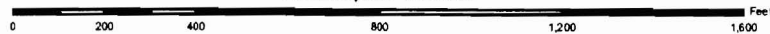


**SITE LOCATION MAP**  
 FIGURE 1  
 OF  
**FORMER WICKES LUMBER PARCEL**  
 238 RIVERSIDE STREET  
 PORTLAND, MAINE

**Legend**

 Project Site

1 inch equals 400 feet



MARCH 19, 2009  
 IMAGERY ACQUIRED SUMMER 2007  
 GRID-NAD 83 MAINE STATE PLANE, WEST (US FEET)  
 PROJECT NUMBER 09053

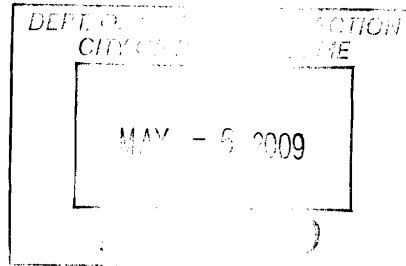
**Sebago Technics**  
 Engineers • Architects • Planners • Surveyors



April 28, 2009  
09053

5/6/09

Ms. Barbara Barhydt  
City of Portland  
Planning and Development Department  
389 Congress Street  
Portland, ME 04101



**Request for Additional Information for Site Plan Exemption Application**  
**Former Wickes Lumber Parcel – 238 Riverside Street, Portland**

Dear Barbara:

On behalf of Lockard's Collision Center (Lockard's), we have prepared the additional information requested for a Site Plan Exemption under Section 14-523 (d) of the Land Use Ordinance.

Lockard's has entered into a purchase/sell agreement with Segal Associates of New Jersey LP who currently owns the buildings and property located at 238 Riverside Street (former Wickes Lumber site). Enclosed are the requested Parking/Circulation Plans depicting the additional proposed parking spaces, correspondence to the Portland Water District and the City of Portland Sewer Division regarding the utility connections, and a copy of the current loan and owner title insurance commitment. Also addressed in this letter is the City of Portland's request to assess the proposed change in trip generation from the former occupant of the rear existing warehouse to the intended use of the building for Lockard's auto body repair shop.

With the exception of establishing water and sewer connections to the rear warehouse building, this project will not require site improvements. On behalf of Lockard's, Sebago Technics, Inc. (STI) has obtained an "Ability to Serve" letter from the Portland Water District, and is attached as Appendix A - Utility Correspondence Material. This letter states there are three options available to Lockard's to provide the site with public water. A formal application and additional requested materials has also been sent to the City of Portland Sewer Division regarding the wastewater capacity available to the site. At the time of this letter, STI had not received a formal letter of acceptance associated with the increase in wastewater to the public system; however, STI expects this letter of acceptance within the week. A copy of the Wastewater Capacity Application and additionally requested materials is also provided in Appendix A.

The proposed project utilizes all existing access drives and parking areas. With the exception of the removal of fencing on the south entrance to the rear of the property, no changes are required. STI has prepared a Parking/Circulation Plan depicting the removal of the fencing, five additional employee parking spaces, and six new customer parking spaces at the front of the proposed Lockard's location. A copy of the Parking/Circulation Plan is attached as Appendix B of this letter report.

## Trip Generation

Net new trip generation calculations were performed for the proposed Lockard's site located on the west side of Riverside Drive in Portland. There currently are two buildings on the site, one in the front and one in the rear. The building in the front will not be changed from its current use; however, the rear building which was formerly a lumber and building supply warehouse for Wickes Lumber will be redeveloped.

The existing building is 30,791 sf and was formerly used as a lumber warehouse for the Wickes lumber store. The building will be redeveloped for use as an auto body shop. The auto body use will only occupy 22,791 sf of the building's space the remaining 8,000 sf will remain vacant. The proposed use will have 10 employees and based on the typical customer data from their current location on Allen Avenue the facility will average 5 to 6 customers per day and 3 to 5 deliveries of supplies per day. The employees will arrive to work on a staggered schedule between 0700 and 0830 AM. Similarly, the employees will leave work on a staggered schedule between 330 and 500 PM. Based on the data from the existing site, we expect the auto body use to typically generate approximately 6 to 8 peak hour trips

We have calculated trips for the proposed auto body use and the existing warehouse use utilizing published data from the latest edition (7<sup>th</sup>) of the Institute of Transportation Engineers (ITE) Trip Generation Manual. Land Use Codes 110, Light Industrial was used for the auto body shop use and 150, Warehouse Space was utilized for the existing lumber warehouse use.

Table 1, below, summarizes the net trips that will be generated by the redeveloped warehouse space. A more detailed breakdown (Table 2) of net trip generation is enclosed in Appendix C - Net Trip Generation.

**Table 1**  
**Trip Generation**  
**Proposed Lockard's Collision**

Condition	Weekday	AM Peak Hour	PM Peak Hour	Saturday Peak
<b>Proposed Auto Body Shop</b>	95	14	15	2
<b>Existing Lumber Warehouse</b>	153	18	19	4
<b>Net Trips</b>	<b>-58</b>	<b>-4</b>	<b>-4</b>	<b>-2</b>

The results of the net trip generation calculations indicate that based on ITE trip generation rates, the proposed use will generate less trips than the existing use. This is further reinforced when reviewing the actual trips produced by the existing Lockard's Collision location on Allen Avenue. The existing site typically produces a maximum of 6 to 8 peak hour trips, which is less than what using the ITE rates estimates.

Overall, the proposed auto body use will produce fewer trips than the existing warehouse use. This is confirmed by looking at actual site data or by using the ITE rates.



Lastly, as requested, a copy of the current loan and owner title insurance commitment is provided as evidence of "Right, Title, and Interest". A copy of this document is provided in Appendix D.

As you review the additional requested information provided for this partial Site Plan Exemption, please feel free to contact us with any questions or if any additional information is needed. When the Partial Exemption is granted, Lockard's Collision Center plans will move forward immediately with the purchase of the property and will request the required building permits required for the fit up of the existing building. Thank you for your input and timely response, and we look forward to moving forward with this project.

Sincerely,

SEBAGO TECHNICS, INC.



Grant E. Austin  
Project Manager

GEA:gea/kn

Enc.

cc: Jim Davidson, Lockard's Collision

---

# **Appendix A**

## **Utility Correspondence Material**



## Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

April 6, 2009

Sebago Technics, Inc.  
One Chabot Street  
P.O. Box 1339  
Westbrook, ME 04098

Attn: Steven Groves  
Re: 238 Riverside Street, Portland, Maine  
Ability to serve with PWD water

MAY - 6 2009

Dear Mr. Groves:

This letter is to confirm that there should be an adequate supply of clean and healthful water to serve the domestic needs of the Lockard's Collision building located to the rear of 238 Riverside Street in Portland. According to District records, there is a 12-inch cast iron water main in Riverside Street as well as a hydrant located 100 ft. from the site.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the domestic water needs of your proposed project, as stated in your e-mail, dated March 23, 2009.

Hydrant Location: Riverside Street, 330' north of Campbell Street  
Hydrant Number: POD-HYD01264  
Static Pressure: 82 PSI  
Residual Pressure: 78 PSI  
Flow: 1393 GPM  
Last Tested: 9/9/2004

With regard to your fire protection needs, please notify your mechanical engineer of these results so that they can design your system to best fit the noted conditions. Also, please contact your local fire department to determine if the fire service capacity is sufficient for their needs. Based on the high water pressure in this area, we recommend that you consider the installation of pressure reducing devices that comply with state plumbing codes.

As mentioned in my e-mail, dated March 23, 2009, I will spell out the options for serving the back warehouse with fire and domestic water services. Allowing a new domestic service to tap off the fire service on private property is no longer an option. While the front building was allowed to do this many years ago, this is currently against PWD standards based on the current PUC rules. There are three options for serving the site based on meeting your needs and conforming to our standards.

PO-Adequacy-238 Riverside Street - Sebago Technics 09.doc

225 DOUGLASS STREET P.O. BOX 3553 PORTLAND, MAINE 04104-3553  
PHONE: 207.774.5961 FAX: 207.761.8307 WEB: WWW.PWD.ORG



1) A new domestic service for the entire site could be tapped from the main in Riverside Street with a dedicated meter for both buildings located in a meter pit. This service would likely be 2" in size, but we'd ask you to provide peak flow information for the entire site so that we can confirm the sizing. We would do away with the meter in the front building, and there would be one bill for the entire site. This option would require new dedicated domestic water piping installed from Riverside Street to each of the two buildings. The fire services can remain as shown on your plan with one connection in Riverside Street as long as this parcel remains one lot with one owner. If the lot gets subdivided in the future, PWD will need to be informed, and it is possible that the services would have to be changed at that time.

2) Two new domestic services could be tapped into the main in Riverside Street, one for each building, and dedicated service lines could be installed to each building. The back building would require a 4' diameter meter pit to house the meter; the front building could keep its meter in its current location. Again, the fire service for both buildings is acceptable as designed in this scenario, too.

3) A fireline meter could be installed within the building or within an 8'x12' vault at a point inline with the 8" fire service near the property line with Riverside Street. This meter would be capable of handling both domestic and fire flows, and the piping beyond this point on private could be however you need it to be. There is a significant investment in the meter and meter vault, but no additional tapping or piping would be required between Riverside Street and the first building. The only other requirement would be that the existing private domestic service would need to be abandoned, with all domestic water flowing through the fireline meter.

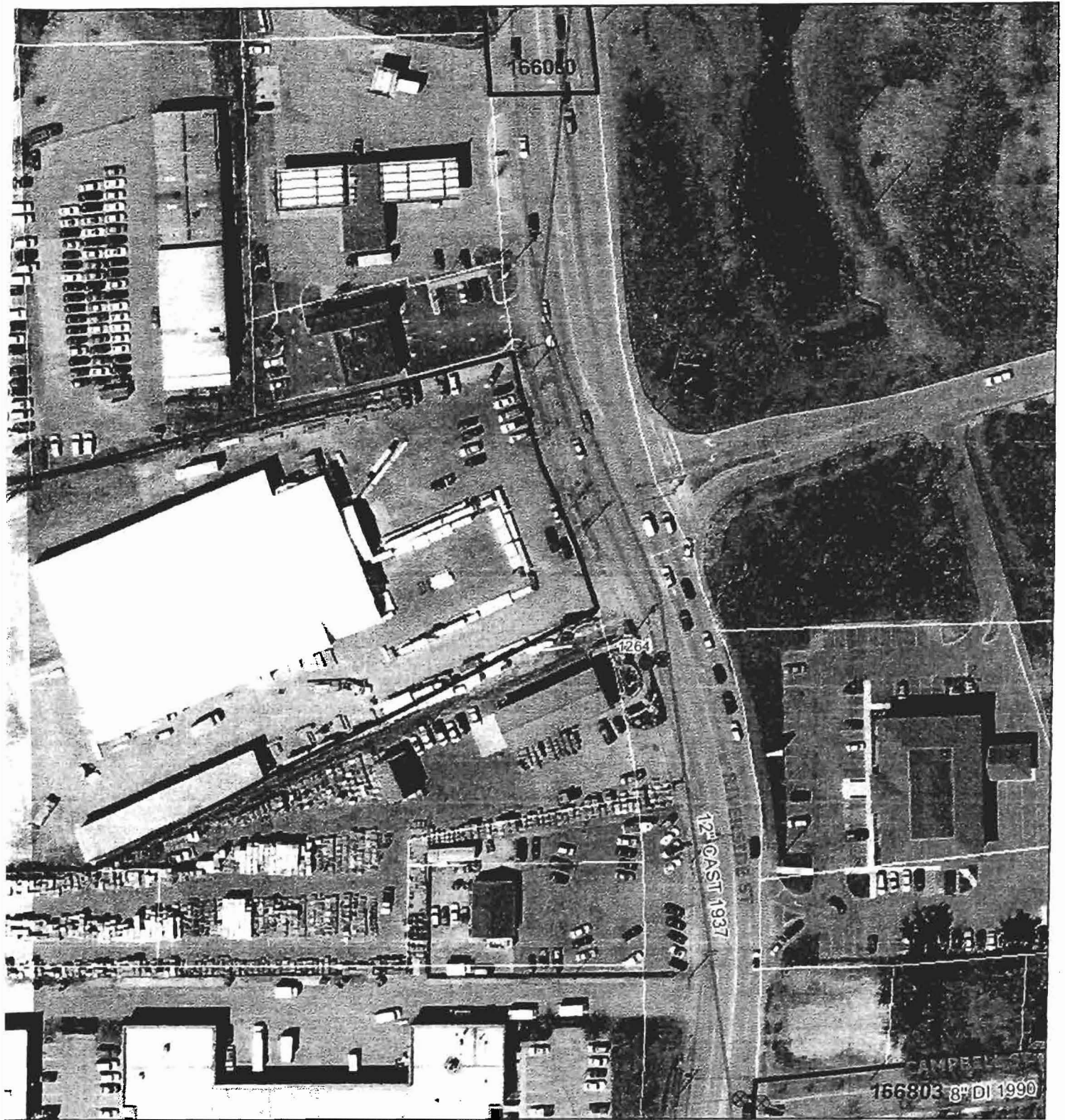
Please contact us if you have any questions. We look forward to working with you further as your project progresses. Please note that with any of the noted configurations PWD must be notified prior to any lot subdivision to determine future service options.

Sincerely,  
Portland Water District



Rico Spugnardi, P.E.  
Business Development Engineer

38 254 RIVERSIDE		SERVICE RECORD		ST.,		DIVISION DEER	
REG. NO. D-2935						CODE NO.	
NAME Wickes Lumber Co				NAME			
NAME				NAME			
NAME				NAME			
SERVICE DATA				MEASURES			
SIZE OF PIPE 8"				<p>18'</p> <p>Pole J275</p> <p>21'6"</p> <p>71'8"</p> <p>79'10"</p> <p>47'</p> <p>65.27</p> <p>Garage</p> <p>C.M.P. Pole #22</p>			
KIND OF PIPE C.T.							
MAIN TO STOP 1'							
STOP TO ST. LINE 25'							
ST. LINE TO BLDG.							
DATE 12-31-70							
DEPTH OF MAIN 38"							
SIZE OF TAP 8"							
DEPTH ON PRIVATE 5'6"							
SHUT AT CORP.							



400  
Feet

1 inch equals 100 feet

**238 Riverside Street**



Disclaimer: This map is suitable for preliminary study and analysis and is based on PWD record information. PWD is not liable for any damages whatsoever resulting from inaccurate data or from errors made in the location and marking of its infrastructure.

**Portland**

Drawn By: R. Spugnardi

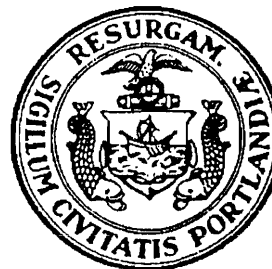
Prepared For: Sebago Technics, Inc.

Scale: As Noted

Date: March 23, 2009

# CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,  
55 Portland Street,  
Portland, Maine 04101-2991



Mr. Frank J. Brancely,  
Senior Engineering Technician  
Phone #: (207) 874-8832,  
Fax #: (207) 874-8852,  
E-  
mail: fjb@portlandmaine.gov

Date: 4/23/09

## 1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 238 Riverside Street

*(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)*

Chart Block Lot Number: \_\_\_\_\_

Proposed Use: Autobody Repair Shop

Previous Use: Warehouse storage

Existing Sanitary Flows: 100 to 200 gpd

Existing Process Flows: None

Description and location of City sewer, at  
proposed building sewer lateral connection:

See previously attached plans

Site Category	Commercial	<u>X</u>
	Industrial <i>(complete part 4 below)</i>	___
	Governmental	___
	Residential	___
	Other <i>(specify)</i>	___

*Clearly, indicate the proposed connection, on the submitted plans.*

## 2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: 300GPD

Peaking Factor/ Peak Times: Peaking Factor 7x (human waste and hand washing)/ vary

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify))*

**Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.**

## 3. Please, Submit Contact Information.

Owner/Developer Name: Mr. Jim Davidson

Owner/Developer Address: 330 Allen Avenue

Phone: 797-7171 Fax: 878-9228 E-mail: \_\_\_\_\_

Engineering Consultant Name: Sebago Technics, Inc.

Engineering Consultant Address: One Chabot Street PO Box 1339

Phone: 856-0277 Fax: 8562206 E-mail: \_\_\_\_\_

City Planner's Name: Barbara Barhydt Phone: 207 874 8699

**Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.**

**4. Please, Submit Industrial Process Wastewater Flow Calculations**

Estimated Industrial Process Wastewater Flows Generated:  N/A  GPD

Do you currently hold Federal or State discharge permits? Yes  No

Is the process wastewater termed categorical under CFR 40? Yes  No

OSHA Standard Industrial Code (SIC): \_\_\_\_\_ (<http://www.osha.gov/oshstats/sicser.html>)

Peaking Factor/Peak Process Times: \_\_\_\_\_

**Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.**

Notes, Comments, or Calculations:

---



Daily Flow Rate:

15 employee at 15gpd = 225gpd

Wash 3-cars at 25g/each = 75gpd

Total Estimated 300gpd

Peak Flow Rate:

$300\text{gpd}/8\text{hr} = 37.5\text{gph}/60\text{m} = 0.625\text{gpm} \times 7(\text{peaking factor}) = 4.4\text{gpm}$

1 1/4" Force Main

Head Loss =  $500\text{lf} \times 2'/100' = 10'$

Total Head =  $10'(\text{friction}) + 1'(\text{vertical}) = 11'$

Velocity =  $.3208q/A = 3.42\text{fps}$ .

The will operate at 13gpm with 11'TDH

Portland Water District  
 225 Douglass Street, P O. Box 3663  
 Portland, ME 04104  
 (207)774-6961 Fax (207)761-8307

Utility Account Detail

Report Date 04/27/2009 10:14 AM Submitted By SONJA BRENNAN Page 1

Account # 127518-03  
 Customer WICKS LUMBER  
 Address 238 RIVERSIDE ST  
 PORTLAND ME 04103-1040

Initiated 07/30/2004 00:00 Group/Cycle CYCLE 2 DEERING  
 Initiated By Subgroup WS WATER AND SEWER  
 Status ACTIVE Account Class COMWS COMMERCIAL WATER & SE  
 Status Date 07/30/2004 00:00 Account Area 27D DEERING  
 Status By External Account # D2935B  
 Billing Status ACTIVE Penalty Exempt  
 Billing Status Date 07/30/2004 00:00 Aggregate Account #  
 Pre-select for Bill Staging  Pre-select for Bill Print  Do Not Send Bills

Bill Messaging cv1	0.00	Fire Line Mtr Sz cv5	0.00
Seasonal Mtr Sz cv2	0.00	Low Inc\$ 1,els 0 cv6	0.00
Fire Service Sz cv3	0.00	Swr XOr Pen Area cv7	0.00
Sgle&Rv 0,Dual 1 cv4	0.00	Sewer Surcharge cv8	0.00

Service	Service From	Service To	Status	Status Date	Class	Service Area	Service Value 1	Service Value 2	Service Value 3
Asset	UnitID	Route # / Sequence #	Out for Reading	Subtractive	Days Between Readings				
External Account #	Winter Average								
SEWER	07/30/2004 00:00	03/14/2007 00:00	OPEN	07/30/2004 00:00	SMONTH	PORTLAND	0.00	0.00	0.00
WMTR	R40836667	- 0	N	N	N				
D2935B	0.00								

Reading Date	Read By	Source	Reason	Reading	Usage	Billable	Rrd Code	Est	Init	Final	Ready	Corr	Bill #	Bill
03/14/2007 00:00	MTRCONTRACTOR			2190.00	2.00	2.00	N	N	Y				5976526	Y
	AMR													
03/01/2007 00:00	598	B		2188.00	5.00	5.00	N	N	N				5976526	Y
01/31/2007 00:00	598	M		2183.00	4.00	4.00	N	N	N				5889590	Y
01/08/2007 00:00	598	M		2179.00	13.00	13.00	N	N	N				5800941	Y
12/01/2006 00:00	598	B		2166.00	0.00	0.00	N	N	N				5686379	Y
12/01/2006 00:00	598	B		2166.00	11.00	11.00	N	N	N				5686379	Y
11/02/2006 00:00	598	B		2156.00	14.00	14.00	N	N	N				5546612	Y
10/02/2006 00:00		B		2141.00	8.00	8.00	N	N	N				5420799	Y
08/30/2006 00:00		B		2133.00	6.00	6.00	N	N	N				5317626	Y
07/31/2006 00:00		B		2127.00	5.00	5.00	N	N	N				5213893	Y
06/29/2006 00:00		B		2122.00	4.00	4.00	N	N	N				5128354	Y
06/05/2006 00:00		B		2118.00	3.00	3.00	N	N	N				5043200	Y
05/05/2006 00:00		B		2115.00	5.00	5.00	N	N	N				4932015	Y
03/31/2006 00:00		B		2110.00	5.00	5.00	N	N	N				4828764	Y
03/03/2006 00:00		B		2105.00	4.00	4.00	N	N	N				4725908	Y
02/01/2006 00:00		B		2101.00	4.00	4.00	N	N	N				4640917	Y
01/09/2006 00:00		B		2097.00	13.00	13.00	N	N	N				4531197	Y
12/01/2005 00:00		B		2084.00	4.00	4.00	N	N	N				4392937	Y
11/01/2005 00:00		B		2080.00	4.00	4.00	N	N	N				4264924	Y
10/05/2005 00:00		B		2076.00	39.00	39.00	N	N	N	N	N		4137124	Y
			ok, t read. higher usage 39 hcf than previous. jg											
09/01/2005 00:00		B		2037.00	4.00	4.00	N	N	N				4020567	Y
08/02/2005 00:00		B		2033.00	5.00	5.00	N	N	N				3929861	Y
06/29/2005 00:00		B		2028.00	3.00	3.00	N	N	N				3846783	Y
06/01/2005 00:00		B		2025.00	1.00	1.00	N	N	N				3747908	Y
05/02/2005 00:00		B		2024.00	7.00	7.00	N	N	N				3663868	Y
04/04/2005 00:00		B		2017.00	7.00	7.00	N	N	N				3581022	Y
03/02/2005 00:00		B		2010.00	6.00	6.00	N	N	N				3497802	Y
01/31/2005 00:00		B		2004.00	4.00	4.00	N	N	N				3415363	Y
01/12/2005 00:00		E	LABOR	2000.00	8.00	8.00	000	Y	N	N			3325397	Y
			Avg of last 2 months billusage											
04/27/2009 00:00		B		1992.00	5.00	5.00	N	N	N				3233021	Y

Portland Water District  
 225 Douglass Street, P.O. Box 3550  
 Portland, ME 04104  
 (207)774-5961 Fax (207)781-8307

Utility Account Detail

Report Date 04/27/2009 10:14 AM Submitted By SONJA BRENNAN Page 2

Services	Service From	Service To	Status	Status Date	Class	Service Area	Service Value 1	Service Value 2	Service Value 3
Service	Asset	Unit ID	Route #	Sequence #	Out for Reading	Subtractive	Days Between Readings		
External Account #	Winter Average								

Reading Date	Read By	Source	Reason	Reading	Usage	Billable	Rrd Code	Est	Init	Final	Ready	Corr	Bill #	Bill
Field Notes														
11/04/2004 00:00		B		1987.00	6.00	6.00	N	N	N					3150490 Y
10/04/2004 00:00		B		1981.00	8.00	8.00	N	N	N					3042558 Y
08/24/2004 00:00		T		1973.00	7.00	7.00	N	N	N	N	N			2383274 Y

SEWER 03/14/2007 00:00 OPEN 03/14/2007 00:00 SMONTH PORTLAND 0.00 0.00 0.00  
 WMTR A17052025 DEER-ERT - 7220 N N N  
 D2935B 0.00

Reading Date	Read By	Source	Reason	Reading	Usage	Billable	Rrd Code	Est	Init	Final	Ready	Corr	Bill #	Bill
Field Notes														
04/24/2008 13:45 MC#2		R		153.00	3.00	3.00	N	N	N					N
03/25/2009 16:19 MC#2		R		150.00	3.00	3.00	N	N	N				8272574 Y	
02/24/2009 00:00 MC#1		R		147.00	3.00	3.00	N	N	N				8160589 Y	
01/23/2009 00:00 MC#1		R		144.00	4.00	4.00	N	N	N				8073927 Y	
12/24/2008 00:00 MC#1		R		140.00	3.00	3.00	N	N	N				7987288 Y	
11/19/2008 00:00 MC#1		R		137.00	4.00	4.00	N	N	N				7900029 Y	
10/21/2008 00:00 MC#1		R		133.00	4.00	4.00	N	N	N				7813002 Y	
09/18/2008 00:00 MC#1		R		129.00	4.00	4.00	N	N	N				7725461 Y	
08/20/2008 00:00 MC#1		R		125.00	5.00	5.00	N	N	N				7613397 Y	
07/21/2008 00:00 MC#1		R		120.00	8.00	8.00	N	N	N				7526425 Y	
06/20/2008 00:00 MC#1		R		112.00	7.00	7.00	N	N	N	N	N		7439591 Y	
07.02.08 upgraded ERT from ERT22185373 to ERT57787762 got read of 115 processed 07.10.08 arg														
05/21/2008 00:00 MC#1		R		105.00	8.00	8.00	N	N	N				7349245 Y	
04/18/2008 00:00 MC#1		R		97.00	7.00	7.00	N	N	N				7262661 Y	
03/19/2008 00:00 MC#1		R		90.00	8.00	8.00	N	N	N				7174307 Y	
02/22/2008 00:00 MC#1		R		84.00	6.00	6.00	N	N	N				7087983 Y	
01/23/2008 00:00 MC#1		R		78.00	8.00	8.00	N	N	N				6999385 Y	
12/27/2007 00:00 MC#1		R		72.00	6.00	6.00	N	N	N				6913218 Y	
11/29/2007 00:00 MC#1		R		66.00	7.00	7.00	N	N	N				6826146 Y	
10/30/2007 00:00 MC#1		R		59.00	9.00	9.00	N	N	N				6739409 Y	
10/01/2007 00:00 MC#1		R		50.00	6.00	6.00	N	N	N				6652363 Y	
09/06/2007 00:00 MC#1		R		44.00	9.00	9.00	N	N	N				6568230 Y	
08/03/2007 00:00 MC#1		R		35.00	12.00	12.00	N	N	N				6480221 Y	
07/03/2007 00:00 MC#1		R		23.00	10.00	10.00	N	N	N				6383260 Y	
06/01/2007 00:00 MC#1		R		13.00	6.00	6.00	N	N	N				6297496 Y	
05/01/2007 00:00 MC#1		R		7.00	5.00	5.00	N	N	N				6191055 Y	
04/02/2007 00:00 MC#1		R		2.00	2.00	2.00	N	N	N				6062241 Y	
03/14/2007 00:00 MTRCONTRCTOR				0.00	0.00	0.00	N	Y	N				5976526 Y	
AMR														

WATER 07/30/2004 00:00 03/14/2007 00:00 OPEN 07/30/2004 00:00 WMEMBR 0.00 0.00 0.00  
 WMTR R40836667 - 0 N N N  
 D2935B 0.00

Reading Date	Read By	Source	Reason	Reading	Usage	Billable	Rrd Code	Est	Init	Final	Ready	Corr	Bill #	Bill
Field Notes														
03/14/2007 00:00 MTRCONTRCTOR				2190.00	2.00	2.00	N	N	Y					5976525 Y
AMR														
03/01/2007 00:00 598		B		2188.00	5.00	5.00	N	N	N					5976525 Y
01/31/2007 00:00 598		M		2183.00	4.00	4.00	N	N	N					5889589 Y
01/08/2007 00:00 598		M		2179.00	13.00	13.00	N	N	N					5800940 Y
12/01/2006 00:00 598		B		2166.00	0.00	0.00	N	N	N					5866378 Y
12/01/2006 00:00 598		B		2166.00	11.00	11.00	N	N	N					5866378 Y
11/02/2006 00:00 598		B		2155.00	14.00	14.00	N	N	N					5546611 Y
10/02/2006 00:00		B		2141.00	8.00	8.00	N	N	N					5420798 Y
09/02/2006 00:00		B		2133.00	0.00	0.00	N	N	N					5317925 Y

---

# **Appendix B**

## **Parking/Circulation Plan**

---

# **Appendix C**

## **Net Trip Generation**

**TABLE 2**

4/28/2009

**Lockard's Collision Center Site Redevelopment (Former Wickes Lumber)  
Riverside St, Portland  
TRIP GENERATION COMPUTATIONS**

<b>EXISTING USE - WAREHOUSE, LUC 150</b>			
<b>BY 1000 SF</b>	<b>SF</b>	<b>RATE (Trips/1000sf)</b>	<b>TOTAL</b>
WEEKDAY	30,791	4.96	153
WEEKDAY AM PEAK HOUR	30,791	0.57	18
WEEKDAY PM PEAK HOUR	30,791	0.61	19
SATURDAY PEAK HOUR	30,791	0.12	4

<b>PROPOSED USE - LIGHT INDUSTRIAL, LUC 110</b>			
<b>BY 1000 SF</b>	<b>SF</b>	<b>RATE (Trips/1000sf)</b>	<b>TOTAL</b>
WEEKDAY	22,791	6.97	159
WEEKDAY AM PEAK HOUR	22,791	1.01	23
WEEKDAY PM PEAK HOUR	22,791	1.08	25
SATURDAY PEAK HOUR	22,791	0.14	3
<b>BY EMPLOYEES</b>	<b>Empl</b>	<b>RATE (Trips/Empl)</b>	<b>TOTAL</b>
WEEKDAY	10	3.02	30
WEEKDAY AM PEAK HOUR	10	0.48	5
WEEKDAY PM PEAK HOUR	10	0.51	5
SATURDAY PEAK HOUR	10	0.05	1
<b>PROPOSED TOTAL</b>			
WEEKDAY			95
WEEKDAY AM PEAK HOUR			14
WEEKDAY PM PEAK HOUR			15
SATURDAY PEAK HOUR			2

<b>NET NEW TOTAL</b>	
WEEKDAY	-58
WEEKDAY AM PEAK HOUR	-4
WEEKDAY PM PEAK HOUR	-4
SATURDAY PEAK HOUR	-2

Reference: ITE Trip Generation Manual, 7th Edition.

---

# **Appendix D**

**Right, Title, and Interest**

## FAX TRANSMISSION

**SKELTON  
TAINTOR  
& ABBOTT**  
ATTORNEYS AT LAW

95 MAIN STREET  
P.O. BOX 3200  
AUBURN, ME 04212-3200  
TEL: 207-784-3200  
FAX: 207-784-3345

FROM: Norman J. Rattey, Esq.      DATE: April 22, 2009  
EMAIL: [nrattey@3200.com](mailto:nrattey@3200.com)      PHONE: (207) 784-3200  
TO: Terry Trickey      PAGES: 13      (Including Cover Sheet)  
FAX #: 883-8647  
TO: Jim Davison      TO: Grant Austin  
FAX #: 878-9228      FAX #: 856-2206

### COMMENTS:

Gentlemen: attached you will find a loan and owners title insurance commitment. There are no mortgages outstanding. There are a number of easements, and I have attached a copy of two easements that are not utility easements. The final encumbrance listed on Schedule B, Part II is a reference to an unrecorded plan and some pavement encroachments. I do not have a copy of the plan, but assume that the seller has a copy of that plan which should be requested unless you are already aware of it. Norm Rattey

IF YOU HAVE ANY PROBLEMS WITH THIS TRANSMISSION, PLEASE CALL KAREN (207) 784-3200 OR EMAIL THE SENDER AT THE ADDRESS LISTED ABOVE.

THIS MESSAGE IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED AND MAY CONTAIN INFORMATION THAT IS PRIVILEGED, CONFIDENTIAL AND EXEMPT FROM DISCLOSURE UNDER APPLICABLE LAW. IF THE READER OF THIS MESSAGE IS NOT THE INTENDED RECIPIENT OR THE EMPLOYEE OR AGENT RESPONSIBLE FOR DELIVERING THE MESSAGE TO THE INTENDED RECIPIENT, YOU ARE HEREBY NOTIFIED THAT ANY DISSEMINATION, DISTRIBUTION OR COPYING OF THIS COMMUNICATION IS STRICTLY PROHIBITED. IF YOU RECEIVE THIS MESSAGE IN ERROR, PLEASE NOTIFY US BY TELEPHONE IMMEDIATELY AND RETURN THE ORIGINAL MESSAGE TO US AT THE ABOVE ADDRESS VIA THE U.S. POSTAL SERVICE. THANK YOU.



ALTA Commitment Form (Rev. 6/17/06)



**ALTA Commitment Form**

**COMMITMENT FOR TITLE INSURANCE**

issued by

**FIRST AMERICAN TITLE INSURANCE COMPANY**

First American Title Insurance Company, a California corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed insured named in Schedule A, as owner or mortgagee of the estate or interest in the Land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate six (6) months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

This Commitment shall not be valid or binding until countersigned by a validating officer or authorized signatory.

IN WITNESS WHEREOF, First American Title Insurance Company has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A.



**FIRST AMERICAN TITLE INSURANCE COMPANY**

BY:

*Carl R. Johnson*

PRESIDENT

BY:

*Marilyn K. Allen*

SECRETARY

COUNTERSIGNED

By:

*Norman J. Rattey*

Authorized Signatory, Norman J. Rattey, Esquire

Skelton, Taintor & Abbott

FIRM NAME

95 Main Street, Auburn, ME 04210

ALTA Commitment Form (Rev. 6/17/06)

**CONDITIONS**

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and Stipulations and Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at <<http://www.alt.org/>>.

**FIRST AMERICAN TITLE INSURANCE COMPANY****COMMITMENT FOR TITLE INSURANCE****SCHEDULE A****File #09-1012**1. Effective Date and Time: **April 13, 2009, at 8:00 a.m.**

2. Policy or Policies to be issued:

Amount of Insurance(a)  **OWNER'S POLICY****\$2,350,000.00**Proposed Insured: **Davison Realty, LLC**(b)  **LOAN POLICY****\$1,400,000.00**Proposed Insured: **Bangor Savings Bank, its successors and assigns as their interests may appear.**(c)  **OTHER****\$**

Proposed Insured:

3. The estate or interest in the land described or referred to in this Commitment IS **FEE SIMPLE** and title is at the Effective Date vested in:**Segal Associates of New Jersey, L.P.** by virtue of the deed from Bradco Realty Corp. dated June 20, 2005, and recorded in the Cumberland County Registry of Deeds in Book 22850, Page 332.4. The land referred to in this Commitment is described as follows: **238 Riverside Street**, in the City of **Portland**, County of **Cumberland**, and State of **Maine**; and is described as set forth in "Exhibit A" attached hereto and made a part hereof.

**FIRST AMERICAN TITLE INSURANCE COMPANY**

**COMMITMENT FOR TITLE INSURANCE**  
**SCHEDULE B, SECTION 1**  
**REQUIREMENTS**

**File #09-1012**

The following are requirements to be complied with:

Item (a) Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Item (b) Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

1. Payment of all outstanding real estate taxes and municipal charges at or prior to closing.
2. Deed from Segal Associates of New Jersey, L.P. to Davison Realty, LLC must be properly executed and recorded.

NOTE: First American Title Insurance Company must be furnished a copy of (1) the articles of organization, (2) written limited partnership agreement and all amendments thereto, (3) current membership roster and (4) a certificate of good standing of said limited partnership agreement. We must also be furnished evidence satisfactory to the Company that all necessary consents, authorizations, resolutions, notices and actions relating to the execution and delivery of the deed as required under applicable law and the governing documents have been conducted, given or properly waived.

3. Mortgage from Davison Realty, LLC to Northeast Bank must be properly executed and recorded.

NOTE: First American Title Insurance Company must be furnished a copy of (1) the articles of organization, (2) written operating agreement and all amendments thereto, (3) current membership roster and (4) a certificate of good standing of said limited liability company and (5) copies of any statements of limited liability company authority including amendments or limitations thereto filed or recorded as of the effective date hereof. We must also be furnished evidence satisfactory to the Company that all necessary consents, authorizations, resolutions, notices and actions relating to the execution and delivery of the mortgage as required under applicable law and the governing documents have been conducted, given or properly waived.

4. General Exceptions 1 and 3 below will be deleted from the final lender's policy upon receipt of a Maine Commercial Mechanics' Liens and Persons in Possession Affidavit, Maine Purchaser's Affidavit and Maine Waiver of Lien form.

5. Upon receipt of a satisfactory Land Title Survey and Surveyor's Report disclosing the actual location of all existing and newly-constructed improvements, and all encumbrances and encroachments, Exception 2 will be deleted or modified.

[Note: Both the Loan and Owner Policies may provide or modify the survey coverage by Change Endorsement.]

**FIRST AMERICAN TITLE INSURANCE COMPANY**

**COMMITMENT FOR TITLE INSURANCE**

**SCHEDULE B, SECTION 2**

**EXCEPTIONS**

**File #09-1012**

Schedule B of the policy to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession of the Land.
2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title, including discrepancies, conflicts in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the public records.
3. Any lien, or right to a lien for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
5. Any exception, reservation, restriction, easement or condition set out in the attached Exhibit A.
6. Real estate taxes and municipal charges as follows: Annual taxes for July 1, 2008, through June 30, 2009, were \$43,573.52. They are paid through June 30, 2009.
7. Easement to the City of Portland from Segal Associates of New Jersey, L.P. dated January 9, 2006, and recorded in Book 23583, Page 198.
8. Easement to Central Maine Power Company & Verizon New England, Inc. from Segal Associates of New Jersey, L.P. dated January 24, 2006, and recorded in Book 23788, Page 66.
9. Title to and rights of the public and others entitled thereto in and to those portions of the insured premises lying within the bounds of adjacent streets, roads, and ways.

10. Rights and easements from Joseph Olas and Julia Olas to Portland Pipe Line Company, as set forth in an instrument dated July 2, 1941, and recorded with the Cumberland County Registry of Deeds in Book 1646, Page 2.
11. Rights and easements from Samuel F. Tufts to Portland Lighting and Power Company, as set forth in an instrument dated June 30, 1911, and recorded with the Cumberland County Registry of Deeds in Book 879, Page 87.
12. Rights and easements from Joseph Olas and Julia Olas to Portland Pipe Line Company, as set forth in an instrument dated December 22, 1941, and recorded with the Cumberland County Registry of Deeds in Book 1646, Page 295.
13. Rights and easements from Helen Olas to Portland Pipe Line Corporation, as set forth in an instrument dated January 27, 1965, and recorded with the Cumberland County Registry of Deeds in Book 2878, Page 150.
14. Rights and easements from Helen Olas to Central Maine Power Company, as set forth in an instrument dated January 27, 1965, and recorded with the Cumberland County Registry of Deeds in Book 2886, Page 598.
15. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company, as set forth in an instrument from Wickes Lumber Co., dated December 5, 1989, and recorded in the Cumberland County Registry of Deeds in Book 9052, Page 57.
16. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company, as set forth in an instrument from The Wickes Corporation, dated February 2, 1971, and recorded in the Cumberland County Registry of Deeds in Book 3162, Page 689.
17. Terms and Provisions of Easement Deed and Agreement from Sterling Motors, Inc. to Wickes, Inc., dba Wickes Lumber Company/Wickes Lumber, dated July 23, 2002, and recorded in the Cumberland County Registry of Deeds in Book 17933, Page 300.
18. The following matters disclosed by survey made by ASC National, LLC, dated July 2, 2004, designated Project No. 267: Pavement mainly on land encroaches onto land to North; Chain Link Fence encroaches onto land to South and North.

5. Upon receipt of a satisfactory Land Title Survey and Surveyor's Report disclosing the actual location of all existing and newly-constructed improvements, and all encumbrances and encroachments, Exception 2 will be deleted or modified.

[Note: Both the Loan and Owner Policies may provide or modify the survey coverage by Change Endorsement.]



**FIRST AMERICAN TITLE INSURANCE COMPANY****COMMITMENT FOR TITLE INSURANCE****SCHEDULE B, SECTION 2****EXCEPTIONS****File #09-1012**

Schedule B of the policy to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession of the Land.
2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title, including discrepancies, conflicts in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the public records.
3. Any lien, or right to a lien for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
5. Any exception, reservation, restriction, easement or condition set out in the attached Exhibit A.
6. Real estate taxes and municipal charges as follows: Annual taxes for July 1, 2008, through June 30, 2009, were \$43,573.52. They are paid through June 30, 2009.
7. Easement to the City of Portland from Segal Associates of New Jersey, L.P. dated January 9, 2006, and recorded in Book 23583, Page 198.
8. Easement to Central Maine Power Company & Verizon New England, Inc. from Segal Associates of New Jersey, L.P. dated January 24, 2006, and recorded in Book 23788, Page 66.
9. Title to and rights of the public and others entitled thereto in and to those portions of the insured premises lying within the bounds of adjacent streets, roads, and ways.

10. Rights and easements from Joseph Olas and Julia Olas to Portland Pipe Line Company, as set forth in an instrument dated July 2, 1941, and recorded with the Cumberland County Registry of Deeds in Book 1646, Page 2.
11. Rights and easements from Samuel F. Tufts to Portland Lighting and Power Company, as set forth in an instrument dated June 30, 1911, and recorded with the Cumberland County Registry of Deeds in Book 879, Page 87.
12. Rights and easements from Joseph Olas and Julia Olas to Portland Pipe Line Company, as set forth in an instrument dated December 22, 1941, and recorded with the Cumberland County Registry of Deeds in Book 1646, Page 295.
13. Rights and easements from Helen Olas to Portland Pipe Line Corporation, as set forth in an instrument dated January 27, 1965, and recorded with the Cumberland County Registry of Deeds in Book 2878, Page 150.
14. Rights and easements from Helen Olas to Central Maine Power Company, as set forth in an instrument dated January 27, 1965, and recorded with the Cumberland County Registry of Deeds in Book 2886, Page 598.
15. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company, as set forth in an instrument from Wickes Lumber Co., dated December 5, 1989, and recorded in the Cumberland County Registry of Deeds in Book 9052, Page 57.
16. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company, as set forth in an instrument from The Wickes Corporation, dated February 2, 1971, and recorded in the Cumberland County Registry of Deeds in Book 3162, Page 689.
17. Terms and Provisions of Easement Deed and Agreement from Sterling Motors, Inc. to Wickes, Inc., dba Wickes Lumber Company/Wickes Lumber, dated July 23, 2002, and recorded in the Cumberland County Registry of Deeds in Book 17933, Page 300.
18. The following matters disclosed by survey made by ASC National, LLC, dated July 2, 2004, designated Project No. 267: Pavement mainly on land encroaches onto land to North; Chain Link Fence encroaches onto land to South and North.

## EXHIBIT A

A certain lot or parcel of land, with the buildings thereon, situated in Portland, in the County of Cumberland and State of Maine, and bounded and described as follows:

Beginning at a point on the new right of way of Riverside Street, Portland, Maine, as established by the City of Portland, which is between the property of Arthur Thibodeau and Joseph Oias;

THENCE in a southerly direction along the arc of a curve to the left having a radius of 619.77 feet, a distance of one hundred fifty-two (152.00) feet, more or less, to a point;

THENCE along the arc of a curve to the right having a radius of 669 feet, a distance of seventy (70.00) feet, more or less, to a point;

THENCE South 81° 02' West, eleven and thirty-seven hundredths (11.37) feet to an iron;

THENCE South 81° 02' West, four hundred thirty-nine and three tenths (439.30) feet to an iron;

THENCE North 75° 33' West six hundred seventy-two (672.00) feet to an iron;

THENCE North 20° 50' 10" West one hundred fifty-six and forty-five hundredths (156.45) feet to an iron;

THENCE South 88° 39' East one thousand one hundred eight and fourteen hundredths (1,108.14) feet to an iron;

THENCE in the same direction nine (9.00) feet, more or less, to the point of beginning.

**APPURTENANT RIGHT OF WAY:**

Along with the right to use and maintain a certain sewer manhole as granted to Wickes, Inc., dba Wickes Lumber Company/Wickes Lumber by an Easement Deed and Agreement from Sterling Motors, Inc. dated July 23, 2002, and recorded in the Cumberland County Registry of Deeds in Book 17933, Page 300.

Doc#: 2658 Bk:23383 Ps: 198

**EASEMENT DEED**

KNOW ALL MEN BY THESE PRESENTS, that **SEGAL ASSOCIATES OF NEW JERSEY, L.P.**, a New Jersey limited partnership with a mailing address of 13 Production Way, Avenel, NJ 07001, hereby grants to the **CITY OF PORTLAND**, a Maine Municipal Corporation located in Portland, Cumberland County, State of Maine, whose mailing address is 389 Congress Street, Portland, ME 04101,

A certain easement situated on the westerly side of Riverside Street, in the City of Portland, County of Cumberland, State of Maine being depicted on a plan of land titled "Site Plan of Wickes Lumber/Bradco Supply Company" dated through October 19, 2005 by Sebago Technics, Inc., said easement being more particularly bounded and described as follows:

Beginning at a point in the westerly line of said Riverside Street, said point being N 03°-26'-48" W, 13.55 feet from 6-inch square granite monument found;

Thence S 90°-00'-00" W, passing through land of the Grantor, a distance of 24.28 feet to a point;

Thence N 00°-00'-00" E, passing through said land of the Grantor, a distance of 38.73 feet to a point;

Thence N 90°-00'-00" E, passing through said land of the Grantor, a distance of 23.67 feet to a point in the westerly side of said Riverside Street;

Thence generally southerly on a curve to the left having a radius of 629.77 feet, a central angle of 03°-31'-30", on a chord bearing and distance of S 00°-54'-05" E, 38.74 feet, by and along said Riverside Street, a distance of 38.74 feet to the point of beginning.

Meaning and intending to describe a certain easement containing 921 square feet, more or less, being depicted on a plan of land titled "Site Plan of Wickes Lumber/Bradco Supply Company" dated through October 19, 2005 by Sebago Technics, Inc.

The easement described herein is for the purpose of construction, maintenance, repair and replacement of a proposed traffic signal pole, together with aboveground and underground utilities to service said proposed traffic signal pole as necessary.

The bearings referenced herein are based upon Magnetic North 1989.

Said easement is intended to burden the land of the Grantor as described in a Quitclaim Deed from Bradco Realty Corp. to Segal Associates of New Jersey, L.P. dated June 20, 2005 and

Doc#: 2658 Bk:23583 Pg: 199

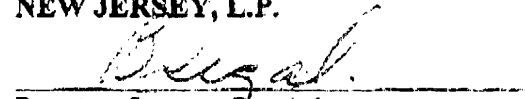
recorded in the Cumberland County Registry of Deeds in Book 22850, Page 332 and to benefit the Grantee, its successors and assigns forever. Said easement shall run with the land.

Witness my hand and seal this 9<sup>th</sup> day of JAN., 2006

SIGNED, SEALED AND DELIVERED  
IN THE PRESENCE OF:



SEGAL ASSOCIATES OF  
NEW JERSEY, L.P.

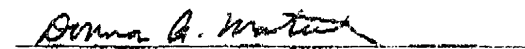
  
By: Barry Segal  
Its General Partner

STATE OF New Jersey  
COUNTY OF Middlesex

Jan. 9, 2006

Personally appeared the above-named Barry Segal, Gen. Partner of  
SEGAL ASSOCIATES OF NEW JERSEY, L.P. and acknowledged the foregoing instrument  
to be his/her free act and deed in his/her said capacity.

Before me,

  
Notary Public/Attorney at Law  
**Donna A. Matlewicz**  
**A Notary Public of New Jersey**  
**commission expires November 15, 2010**

SEAL

Printed Name

Received  
Recorded Register of Deeds  
Jan 11:2006 02:08:10P  
Cumberland County  
John B O'Brien

0063373

BK 17933 PG 300

EASEMENT DEED AND AGREEMENT

KNOW ALL PERSONS BY THESE PRESENTS that Sterling Motors, Inc., a Maine corporation (hereinafter "Grantor") of 220 Riverside Street, Portland, Maine 04103 for consideration paid, do hereby grant, bargain, sell and convey, subject to the limitations herein set forth, unto Wickes, Inc. dba Wickes Lumber Company/Wickes Lumber, a Delaware corporation with a place of business in Portland, Maine, (hereinafter "Grantee"), its successors and assigns forever, certain rights, conditions, easements or rights-of-way, being more particularly described as follows:

The right to use and maintain a certain sewer manhole owned by Sterling and located in the City right-of-way abutting the land owned by Grantee located at 238 Riverside Street, Portland, Maine. Said City right-of-way being more particularly described in a City of Portland Street excavation and/or sewer connection permit, dated November 20, 2001, Permit No. P004732 and attached hereto as Exhibit A and a Plan attached hereto as Exhibit B.

Grantee's easement rights conveyed hereby are limited to the right to access and use said sewer manhole for the lawful discharge of sewer related effluence, waste material and industrial refuse into the manhole generated from the Grantee's buildings and improvements located at 238 Riverside Street, Portland, Maine in accordance with and to the extent permitted by any applicable federal, state and local laws, including any environmental statutes, rules, regulations, ordinances and permits. In the event Grantor receives notice of any unlawful discharge by Grantee, upon notice thereof by Grantor to Grantee, and in the event Grantee fails to remedy said unlawful discharge and pay all related expenses and fines within a reasonable amount of time after said notice Grantor shall have the right to terminate Grantor's easement rights hereby granted and Grantor shall promptly discontinue any discharges into said manholes. In the event Grantor fails or refuses to maintain and repair the manhole in good repair and in working order, upon providing Grantor with reasonable notice thereof and an opportunity to cure, the Grantee shall have the right to enter the manhole for the purpose of maintenance or repair, at its sole cost and expense. Grantee shall not permit or cause the discharge of sewer related effluence and related waste material in an amount that causes a discharge in excess of the capacity of the manhole. Grantee acknowledges that the manhole is located in the City-right-of-way and subject to any limitations of said City right of way and Grantor's use thereof. Nothing hereunder is intended to grant rights in Grantee beyond any rights Grantor may have with respect to said right of way. Grantee acknowledges that in the event the City takes over control or ownership of the manhole, Grantor shall have the right to revoke and terminate this easement and Grantee's rights hereunder and Grantee will be required to obtain the permission of the City in order to continue using the manhole for any purpose. Grantee shall be obligated at its sole cost and expense to obtain and maintain in full force in effect, at all times, any and all permits necessary to discharge sewer effluence and related waste

materials. Grantee shall indemnify and hold harmless Grantor and its officers, directors, contractors, agents and employees from and against any and all claims, assessments, environmental clean up costs, damages, actions, losses and expenses, including attorney's fees, which they may suffer or incur, arising out of or resulting from any violation of any local, state or federal laws, including environmental laws, or otherwise resulting from or arising out of Grantee's discharge into the manholes or otherwise through grantee's use of the manholes. Said easement shall run with the land for the benefit of Grantee, its successors and assigns and be binding upon the Grantor's respective heirs, personal representatives, successors and assigns.

Witness our hand and seal this 23<sup>rd</sup> day of July, 2002.

Signed, Sealed and Delivered  
In the Presence of:

GRANTOR

Sterling Motors, Inc.

By: [Signature]  
Its: President

July 23, 2002

STATE OF MAINE  
CUMBERLAND, ss.

Then Personally appeared the above-named Sterling Boyington, President of Sterling Motors, Inc. and in said capacity acknowledged the foregoing instrument to be his/her free act and deed and the free act and deed of the said Sterling Motors, Inc.

Before me,

[Signature]  
Notary Public ATTORNEY-AT-LAW

GRANTEE

Wickes, Inc. dba Wickes Lumber  
Company/Wickes Lumber

By: [Signature]  
Its: Sr. Credit Manager

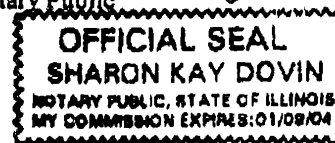
JUNE 26, 2002

STATE OF Illinois  
Cook, ss.

Then Personally appeared the above-named James A. Hopwood, Sr. Vice President of Wickes, Inc. dba Wickes Lumber Company/Wickes Lumber, and in said capacity acknowledged the foregoing instrument to be his/her free act and deed and the free act and deed of the said Wickes, Inc. dba Wickes Lumber Company/Wickes Lumber.

Before me,

[Signature]  
Notary Public



RECEIVED  
NOTARY PUBLIC REGISTRY OF DEEDS  
2002 AUG - 8 AM 10:09  
CUMBERLAND COUNTY  
A D 10 03 03

# NEW FACILITY FOR LOCKARD'S COLLISION CENTER

235 RIVERSIDE STREET

PORTLAND, MAINE 04103

NO REVISIONS  
REVISIONS



LOCKARD'S COLLISION CENTER  
235 RIVERSIDE STREET  
PORTLAND, MAINE

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 8179 FALMOUTH, MAINE 04105

LOCKARD'S COLLISION CENTER  
235 RIVERSIDE STREET  
PORTLAND, MAINE

**NECA/IBEW Life Safety Code, 2006 Edition**

Building Classification:	Storage - 36,340 SF Existing + 2,470 SF New
Hazard Classification:	Ordinary Hazard
Construction Type:	Type II (000)
Occupant Loads:	Storage @ 500 sf/occupant = 68 occupants Auxiliary Offices @ 100 sf/occupant = 50 occupants
Separation of Use Rating:	2 hour (NA)
Janitor, Mech, Stor Rating:	1 hour (NA)
Stair Rating:	1 hour
Elevator Shafts:	2 hours (NA)
Area of Refuge:	1 hour (NA)
Maximum Stair width:	44" clear
Maximum Riser height:	7"
Minimum Tread width:	11"
Maximum Headroom:	6' 8" at stairs; "6" at occupied areas
Maximum ht between landings:	12'-0"
Handrail height:	34"-38" @ 42" guardrail
Handrail top extension:	12" horiz.
Handrail bottom extension:	11" angled + 12" horiz.
Handrail diameter:	1 1/4" O.D.
Maximum baluster open space:	less than 4"

**Building Uses**  
"x)" denotes if building is fully sprinkled

Max. Allowable Travel Distance:	200' (400')
Max. Allowable Common Path:	50' (100')
Max. Dead End Corridor Length:	50' (100')
Minimum Egress Corridor Width:	44"
Minimum Number of Required Exits:	2
Minimum Horiz Egress Enclosure rating:	1 hr (none)
Minimum Separation of Exits:	148' (98')
Fire Escapes as means of egress:	Allowed (NA)
Minimum Egress Door Width:	36"
Exit Lighting:	Required
Emergency Lighting:	Required
Fire Alarm System:	Required
Fire Sprinkler System:	Required
Portable Fire Extinguishers:	Required
Exit Device Hardware:	Required

**2006 INTERNATIONAL BUILDING CODE**  
"x)" denotes if building is fully sprinkled

Use Group Classification:	Storage (S-1)
Construction:	Type III-B - Non-Combustible, Unprotected
Occupant Loads:	S-1 @ 500 sf/occ = 68 occupants B @ 100 sf/occupant = 50 occupants
Area Use Separation Ratings:	2 hour (NA)
Janitor, Mech & Storage Rooms:	1 hour
Building Limitations:	
Construction Type:	III Unprotected, Sprinkled
Maximum Height:	3 Story (+ 1 story/20')
Maximum Area / Floor:	17,500 sf (Unlimited)
Fire Resistance Ratings:	
Load Bearing Exterior Walls:	None
Fire Separation Exits (Stairs):	2 hours / 1 hour
Fire Separation of Uses:	2 Hours (1 Hour @ auxiliary Uses)
Shafts & Elevator Hoistways:	2 hours (NA)
Other Assemblies:	1 hour
Exit Corridor:	1 hour (none)
Minimum Number of Exits:	2
Minimum Separation of Exits:	148' (74')

Maximum Dead End Corridor Length:	20'
Maximum Common Travel Path:	5'
Maximum Travel Distance:	200' (250')
Minimum Corridor Width:	44"
Minimum Stair Width:	44"
Maximum Riser Height:	7"
Minimum Tread Depth:	11"
Minimum Ramp Width:	44"
Maximum Ramp Pitch:	1:12
Handrails:	Same as NFPA 101
Maximum Ceiling Height:	7'-6"
Fire Alarm System:	Required
Fire Sprinkler System:	Required
Portable Fire Extinguishers:	Required
Exit Lighting:	Required
Emergency Lighting:	Required

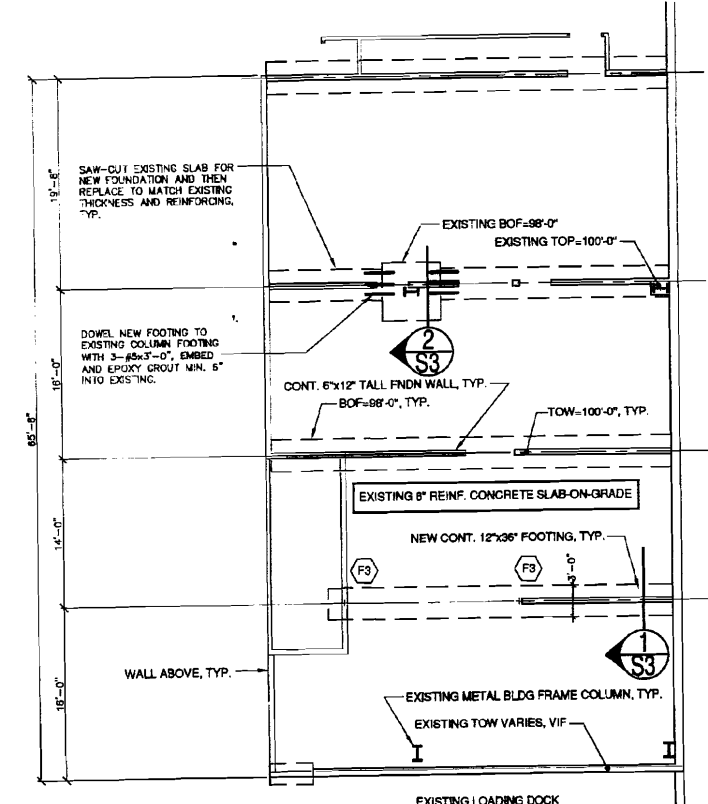
**Building Live Load:**  
Offices: 50 psf  
Storage: 125 psf @ light

**ABBREVIATIONS**

ADJ	ADJUTANT	ADJUTANT	ADJUTANT	ADJUTANT	ADJUTANT
ALUM OR AL	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
AMP	ACME	ACME	ACME	ACME	ACME
AP	APPLY	APPLY	APPLY	APPLY	APPLY
APR	APPLY	APPLY	APPLY	APPLY	APPLY
AR	APPLY	APPLY	APPLY	APPLY	APPLY
AS	APPLY	APPLY	APPLY	APPLY	APPLY
AT	APPLY	APPLY	APPLY	APPLY	APPLY
AU	APPLY	APPLY	APPLY	APPLY	APPLY
AV	APPLY	APPLY	APPLY	APPLY	APPLY
AW	APPLY	APPLY	APPLY	APPLY	APPLY
AX	APPLY	APPLY	APPLY	APPLY	APPLY
AY	APPLY	APPLY	APPLY	APPLY	APPLY
AZ	APPLY	APPLY	APPLY	APPLY	APPLY
BA	APPLY	APPLY	APPLY	APPLY	APPLY
BB	APPLY	APPLY	APPLY	APPLY	APPLY
BC	APPLY	APPLY	APPLY	APPLY	APPLY
BD	APPLY	APPLY	APPLY	APPLY	APPLY
BE	APPLY	APPLY	APPLY	APPLY	APPLY
BF	APPLY	APPLY	APPLY	APPLY	APPLY
BG	APPLY	APPLY	APPLY	APPLY	APPLY
BH	APPLY	APPLY	APPLY	APPLY	APPLY
BI	APPLY	APPLY	APPLY	APPLY	APPLY
BJ	APPLY	APPLY	APPLY	APPLY	APPLY
BK	APPLY	APPLY	APPLY	APPLY	APPLY
BL	APPLY	APPLY	APPLY	APPLY	APPLY
BM	APPLY	APPLY	APPLY	APPLY	APPLY
BN	APPLY	APPLY	APPLY	APPLY	APPLY
BO	APPLY	APPLY	APPLY	APPLY	APPLY
BP	APPLY	APPLY	APPLY	APPLY	APPLY
BQ	APPLY	APPLY	APPLY	APPLY	APPLY
BR	APPLY	APPLY	APPLY	APPLY	APPLY
BS	APPLY	APPLY	APPLY	APPLY	APPLY
BT	APPLY	APPLY	APPLY	APPLY	APPLY
BV	APPLY	APPLY	APPLY	APPLY	APPLY
BW	APPLY	APPLY	APPLY	APPLY	APPLY
BX	APPLY	APPLY	APPLY	APPLY	APPLY
BY	APPLY	APPLY	APPLY	APPLY	APPLY
BZ	APPLY	APPLY	APPLY	APPLY	APPLY
CA	APPLY	APPLY	APPLY	APPLY	APPLY
CB	APPLY	APPLY	APPLY	APPLY	APPLY
CC	APPLY	APPLY	APPLY	APPLY	APPLY
CD	APPLY	APPLY	APPLY	APPLY	APPLY
CE	APPLY	APPLY	APPLY	APPLY	APPLY
CF	APPLY	APPLY	APPLY	APPLY	APPLY
CG	APPLY	APPLY	APPLY	APPLY	APPLY
CH	APPLY	APPLY	APPLY	APPLY	APPLY
CI	APPLY	APPLY	APPLY	APPLY	APPLY
CJ	APPLY	APPLY	APPLY	APPLY	APPLY
CK	APPLY	APPLY	APPLY	APPLY	APPLY
CL	APPLY	APPLY	APPLY	APPLY	APPLY
CM	APPLY	APPLY	APPLY	APPLY	APPLY
CN	APPLY	APPLY	APPLY	APPLY	APPLY
CO	APPLY	APPLY	APPLY	APPLY	APPLY
CP	APPLY	APPLY	APPLY	APPLY	APPLY
CQ	APPLY	APPLY	APPLY	APPLY	APPLY
CR	APPLY	APPLY	APPLY	APPLY	APPLY
CS	APPLY	APPLY	APPLY	APPLY	APPLY
CT	APPLY	APPLY	APPLY	APPLY	APPLY
CU	APPLY	APPLY	APPLY	APPLY	APPLY
CV	APPLY	APPLY	APPLY	APPLY	APPLY
CW	APPLY	APPLY	APPLY	APPLY	APPLY
CX	APPLY	APPLY	APPLY	APPLY	APPLY
CY	APPLY	APPLY	APPLY	APPLY	APPLY
CZ	APPLY	APPLY	APPLY	APPLY	APPLY
DA	APPLY	APPLY	APPLY	APPLY	APPLY
DB	APPLY	APPLY	APPLY	APPLY	APPLY
DC	APPLY	APPLY	APPLY	APPLY	APPLY
DD	APPLY	APPLY	APPLY	APPLY	APPLY
DE	APPLY	APPLY	APPLY	APPLY	APPLY
DF	APPLY	APPLY	APPLY	APPLY	APPLY
DG	APPLY	APPLY	APPLY	APPLY	APPLY
DH	APPLY	APPLY	APPLY	APPLY	APPLY
DI	APPLY	APPLY	APPLY	APPLY	APPLY
DJ	APPLY	APPLY	APPLY	APPLY	APPLY
DK	APPLY	APPLY	APPLY	APPLY	APPLY
DL	APPLY	APPLY	APPLY	APPLY	APPLY
DM	APPLY	APPLY	APPLY	APPLY	APPLY
DN	APPLY	APPLY	APPLY	APPLY	APPLY
DO	APPLY	APPLY	APPLY	APPLY	APPLY
DP	APPLY	APPLY	APPLY	APPLY	APPLY
DQ	APPLY	APPLY	APPLY	APPLY	APPLY
DR	APPLY	APPLY	APPLY	APPLY	APPLY
DS	APPLY	APPLY	APPLY	APPLY	APPLY
DT	APPLY	APPLY	APPLY	APPLY	APPLY
DU	APPLY	APPLY	APPLY	APPLY	APPLY
DV	APPLY	APPLY	APPLY	APPLY	APPLY
DW	APPLY	APPLY	APPLY	APPLY	APPLY
DX	APPLY	APPLY	APPLY	APPLY	APPLY
DY	APPLY	APPLY	APPLY	APPLY	APPLY
DZ	APPLY	APPLY	APPLY	APPLY	APPLY
EA	APPLY	APPLY	APPLY	APPLY	APPLY
EB	APPLY	APPLY	APPLY	APPLY	APPLY
EC	APPLY	APPLY	APPLY	APPLY	APPLY
ED	APPLY	APPLY	APPLY	APPLY	APPLY
EE	APPLY	APPLY	APPLY	APPLY	APPLY
EF	APPLY	APPLY	APPLY	APPLY	APPLY
EG	APPLY	APPLY	APPLY	APPLY	APPLY
EH	APPLY	APPLY	APPLY	APPLY	APPLY
EI	APPLY	APPLY	APPLY	APPLY	APPLY
EJ	APPLY	APPLY	APPLY	APPLY	APPLY
EK	APPLY	APPLY	APPLY	APPLY	APPLY
EL	APPLY	APPLY	APPLY	APPLY	APPLY
EM	APPLY	APPLY	APPLY	APPLY	APPLY
EN	APPLY	APPLY	APPLY	APPLY	APPLY
EO	APPLY	APPLY	APPLY	APPLY	APPLY
EP	APPLY	APPLY	APPLY	APPLY	APPLY
EQ	APPLY	APPLY	APPLY	APPLY	APPLY
ER	APPLY	APPLY	APPLY	APPLY	APPLY
ES	APPLY	APPLY	APPLY	APPLY	APPLY
ET	APPLY	APPLY	APPLY	APPLY	APPLY
EU	APPLY	APPLY	APPLY	APPLY	APPLY
EV	APPLY	APPLY	APPLY	APPLY	APPLY
EW	APPLY	APPLY	APPLY	APPLY	APPLY
EX	APPLY	APPLY	APPLY	APPLY	APPLY
EY	APPLY	APPLY	APPLY	APPLY	APPLY
EZ	APPLY	APPLY	APPLY	APPLY	APPLY
FA	APPLY	APPLY	APPLY	APPLY	APPLY
FB	APPLY	APPLY	APPLY	APPLY	APPLY
FC	APPLY	APPLY	APPLY	APPLY	APPLY
FD	APPLY	APPLY	APPLY	APPLY	APPLY
FE	APPLY	APPLY	APPLY	APPLY	APPLY
FF	APPLY	APPLY	APPLY	APPLY	APPLY
FG	APPLY	APPLY	APPLY	APPLY	APPLY
FH	APPLY	APPLY	APPLY	APPLY	APPLY
FI	APPLY	APPLY	APPLY	APPLY	APPLY
FJ	APPLY	APPLY	APPLY	APPLY	APPLY
FK	APPLY	APPLY	APPLY	APPLY	APPLY
FL	APPLY	APPLY	APPLY	APPLY	APPLY
FM	APPLY	APPLY	APPLY	APPLY	APPLY
FN	APPLY	APPLY	APPLY	APPLY	APPLY
FO	APPLY	APPLY	APPLY	APPLY	APPLY
FP	APPLY	APPLY	APPLY	APPLY	APPLY
FQ	APPLY	APPLY	APPLY	APPLY	APPLY
FR	APPLY	APPLY	APPLY	APPLY	APPLY
FS	APPLY	APPLY	APPLY	APPLY	APPLY
FT	APPLY	APPLY	APPLY	APPLY	APPLY
FU	APPLY	APPLY	APPLY	APPLY	APPLY
FV	APPLY	APPLY	APPLY	APPLY	APPLY
FW	APPLY	APPLY	APPLY	APPLY	APPLY
FX	APPLY	APPLY	APPLY	APPLY	APPLY
FY	APPLY	APPLY	APPLY	APPLY	APPLY
FZ	APPLY	APPLY	APPLY	APPLY	APPLY
GA	APPLY	APPLY	APPLY	APPLY	APPLY
GB	APPLY	APPLY	APPLY	APPLY	APPLY
GC	APPLY	APPLY	APPLY	APPLY	APPLY
GD	APPLY	APPLY	APPLY	APPLY	APPLY
GE	APPLY	APPLY	APPLY	APPLY	



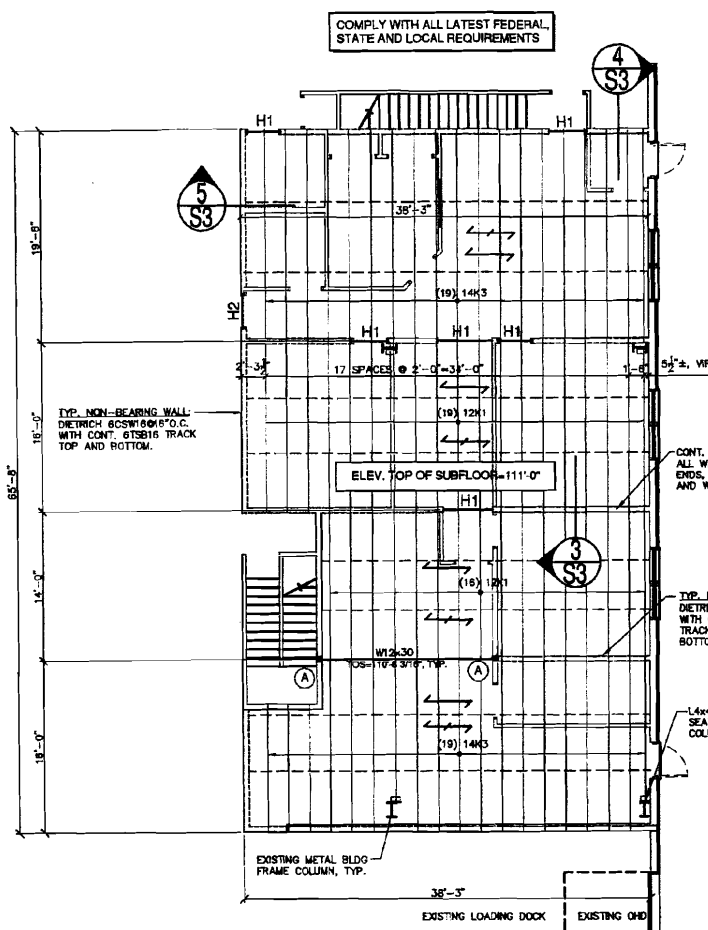
ISSUED FOR PERMIT ONLY



**FOUNDATION NOTES:**

- DESIGN SOIL BEARING PRESSURE=1,000 PSF/FT FOOTING WIDTH-MAXIMUM 3000PSF PER SEBAGO TECHNICS, INC. GEOTECHNICAL REPORT DATED 4/20/05.
- CONCRETE: WALLS & FOOTINGS: Fc=3,000 P.S.I., 3/4" AGGREGATE, MAXIMUM W/C=0.53, 4%-6% ENTRAINED AIR, TYPE I OR II CEMENT, SLUMP: MINIMUM 1", MAXIMUM 4". INTERIOR SLABS: Fc=3,500 P.S.I., 1" AGGREGATE (MANDATORY), MAXIMUM W/C=0.50, NO ENTRAINED AIR, CEMENT TYPE I OR II, SLUMP: MIN. 1", MAX. 3". (USE A MID-RANGE WATER REDUCER IF A HIGHER SLUMP/MORE WORKABILITY IS DESIRED.) PROVIDE CHLORIDE PROTECTING SEALANT AT ALL SLAB SURFACES THAT WILL HAVE EXPOSURE TO CHLORIDES. DO NOT PROVIDE A "STRONGER" MIX DESIGN STRENGTH THAN INDICATED AT INTERIOR SLABS.
- REINFORCING TO BE GRADE 60, NEW DEFORMED BARS.
- ALL FOUNDATION MEZZANINE FDN WALLS ARE 8" WIDE, UNLESS NOTED OTHERWISE ON PLANS.
- G.C. TO VERIFY AND COORDINATE ALL LOCATIONS OF ALL DOORS.
- REF. ELEV. TOP OF FOUNDATION WALL = 100.00 FT (MATCH EXISTING FFE), TYP. UNLESS NOTED OTHERWISE THUS "TOW".
- REFERENCE BOTTOM OF WALL & ISOLATED FOOTING ELEVATION = 98.00 FT, TYPICAL U.N.D. THUS "BOF".
- ALL FOOTINGS TO BE CENTERED BELOW COLUMN BASE ABOVE.
- ALL SLABS TO BE WET-CURED CONTINUOUSLY MINIMUM 7 DAYS AFTER PLACEMENT.
- REFER TO SEBAGO TECHNICS, INC. GEOTECHNICAL REPORT DATED 4/20/05 FOR BACKFILL, DRAINAGE, COMPACTION, AND SUBGRADE PREPARATION REQUIREMENTS.
- G.C. TO DETERMINE SLAB PITCH REQUIREMENTS AND FIELD COORDINATE.
- CONTRACTOR TO COMPLY WITH LATEST PROVISIONS OF ACI 305 AND ACI 306 FOR HOT AND COLD WEATHER CONCRETING.
- CONTRACTOR TO COMPLY WITH LATEST PROVISIONS OF ACI 304 FOR CONCRETE PLACEMENT.
- ANY NEW SLAB PLACED AS PART OF RENOVATIONS TO BE AT LEAST 8 INCHES THICK.
- LAP ALL BARS MINIMUM 56 BAR DIAMETERS, UNO.
- PROVIDE SUPPORTS FOR REINFORCEMENT INCLUDING BOLSTERS, CHAIRS, SPACERS, AND OTHER DEVICES FOR SPACING, SUPPORTING, AND FASTENING FASTENING REINFORCING BARS AND WELDED WIRE FABRIC IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS, UNLESS OTHERWISE ACCEPTABLE TO ENGINEER.
- PROVIDE CHLORIDE PROTECTING SEALANT FOR ALL INTERIOR SLABS EXPOSED TO VEHICULAR TRAFFIC THAT HAS OPERATED OUTSIDE THE BUILDING.
- CALCIUM CHLORIDE IS NOT ALLOWED IN ANY CONCRETE.
- EACH CONCRETE TRUCK TO PROVIDE BATCH TICKET TO MATERIALS TESTING AGENCY BEFORE PLACEMENT.
- COMPLY WITH THE PROVISIONS OF THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS (LATEST EDITION AND CURRENT AMENDMENTS) EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED:  
ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS."  
ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."  
ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES."  
CONCRETE REINFORCING STEEL INSTITUTE, "MANUAL OF STANDARD PRACTICE".

FOOTING SCHEDULE			
SYMBOL	SIZE (L X TH X W)	REIN. REQ'D	
(F3)	3'-0" x 1'-0" x 3'-0"	4 - #4 E.W.	BOTTOM REIN.



**SUBMITTALS:**

- THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF WORK. FABRICATION OR ERECTION OF NEW STRUCTURAL ELEMENTS SHALL NOT COMMENCE WITHOUT REVIEW BY THE ARCHITECT AND ENGINEER. SUBMIT TWO COPIES AND ONE SEPIA. COPY WILL BE REVIEWED AND ONE COPY AND SEPIA WILL BE RETURNED.
- REQUIRED SUBMITTALS INCLUDE (WHERE APPLICABLE):  
CONCRETE MIX DESIGN(S)  
CONCRETE REINFORCING INCLUDING BAR SUPPORTS  
CONCRETE WALL CONSTRUCTION JOINT LOCATION PLAN  
STRUCTURAL STEEL MILL CERTIFICATIONS  
STRUCTURAL STEEL FRAMING FABRICATION DRAWINGS  
STEEL JOIST SHOP DRAWINGS  
METAL DECK SHOP DRAWINGS  
PLYWOOD SUBFLOOR  
WELDER CERTIFICATIONS  
LIGHT-GAGE METAL FRAMING

**STRUCTURAL TESTS AND SPECIAL INSPECTIONS**

- "STRUCTURAL TESTS AND SPECIAL INSPECTIONS" AS REQUIRED IN CHAPTER 17 OF THE 2009 VERSION OF THE IBC CODE IS REQUIRED BY THE CITY OF PORTLAND, NO EXCEPTIONS.
- SRG ENGINEERING, INC. IS THE ACTING "SPECIAL INSPECTOR" FOR THIS PROJECT AND WILL SUB-CONTRACT "SPECIAL INSPECTION" SERVICES TO S.W. COLE ENGINEERING, INC. (SWC).
- CONTRACTOR MUST NOTIFY SWC IN GRAY, MAINE AT TEL# (207) 657-2856 A MINIMUM OF 2 BUSINESS DAYS PRIOR TO PERFORMING TESTING AND INSPECTION SERVICES. FAILURE TO NOTIFY APPROPRIATELY MAY CAUSE A DELAY IN WORK.
- ANY WORK PERFORMED BY THE CONTRACTOR THAT HAS NOT HAD "STRUCTURAL TESTS AND SPECIAL INSPECTION" SERVICES PERFORMED PER IBC REQUIREMENTS WILL NEED TO BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSES, NO EXCEPTIONS.
- "STRUCTURAL TESTS AND SPECIAL INSPECTIONS" WILL BE CONDUCTED FOR THE FOLLOWING, BUT NOT LIMITED TO:  
SUBGRADE  
DRAINAGE  
STRUCTURAL FILL  
REINFORCING/ANCHOR BOLTS/EMBED ITEMS  
CONCRETE  
STRUCTURAL STEEL  
STRUCTURAL STEEL BOLTED AND WELDED CONNECTIONS  
STEEL JOIST WELDED CONNECTIONS  
METAL DECK WELDED AND/OR SCREW CONNECTIONS  
METAL PAN STAIR SYSTEMS  
LIGHT-GAGE METAL FRAMING  
FLOOR AND ROOF DIAPHRAGMS
- CONTRACTOR TO SUBMIT REPORT OF ACCEPTANCE FOR ALL FIELD WELDS, NO EXCEPTION. WELD INSPECTION AND REPORT TO BE PERFORMED BY CERTIFIED WELD INSPECTOR FOR THE TYPE OF WELDS PERFORMED.

**FRAMING NOTES:**

- REFERENCE TOP OF 2ND FLOOR PLYWOOD SUBFLOOR ELEVATION (FFE) = 111'-0" (11'-0" ABOVE EXISTING CONCRETE SLAB-ON-GRADE)
- SEE ARCH'L, MECH'L, AND ELECT'L PLANS FOR ALL FLOOR PENETRATIONS REQUIRED.
- ANY DIMENSION NOT SHOWN, MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS.
- ALL TUBE (HSS) COLUMNS TO BE ASTM A500, GRADE B; Fy=46ksi.
- STRUCTURAL STEEL ASTM A992; Fy=50ksi.
- BOLTS 3/4" DIA. ASTM A325, WELDS E70 SERIES.
- ALL STRUCTURAL STEEL TO NOT BE PRIMED/PAINED.
- ARCH'L INDICATES SPAN OF 3/4" APA TONGUE & GROOVE, RATED STURD-I-FLOOR INTERIOR GRADE PLYWOOD, U.N.O. WITH MIN. #8 PANEL SPAN RATING. SPAN OVER 3 OR MORE SUPPORTS, STAGGER ALL JOINTS 4'-0". FASTEN WITH #12 SCREWS @ 8" O.C. AT ALL PANEL EDGES, 12" O.C. INTERIOR. (CONTR. OPTION: USE 3/8" TAG "ADVANTEC" SHEATHING.)
- INTERIOR PARTITION WALLS ARE DIAGRAMATIC IN NATURE. REFERENCE ARCH'L DRAWINGS FOR ACTUAL LOCATION AND LENGTH REQUIRED.
- DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE ON PLANS. SEE ARCH'L DRAWINGS FOR ADDITIONAL DIMENSIONS NOT SHOWN.
- ALL OPEN WEB STEEL JOISTS TO BE WELDED WITH 3/8" x 1/2" LONG FILLET WELD EACH SIDE OF JOIST SEAT BEARING.
- INDICATES SPAN OF 1 1/2" GAGE GALVANIZED B-DECK WITH LONG FLUTE AT TOP, FASTEN TO EACH STEEL JOIST AND SUPPORTING STEEL WALL SUPPORT @ 8" O.C. WITH EITHER 7/8" DIAMETER RIVETS WELD OR 3/4" DIAMETER SELF-TAPPING SCREW.
- INDICATES CONT. TOP AND BOTTOM CHORD JOIST BRIDGING, WELD TO EACH JOIST CROSS AND AT EACH END OF JOIST RUN.
- ELEVATION TOP OF STEEL JOIST = 110'-3 1/2"
- ELEVATION TOP OF STRUCTURAL STEEL = 110'-7 1/2"
- DESIGN LIVE LOAD = 125psf
- DESIGN DEAD LOAD = 20psf

COLUMN / BASE PLATE SCHEDULE		
COLUMN	COLUMN SIZE	BASE PLATE
(A)	HSS6x6x1/4"	1/2" x 11" x 0'-11"

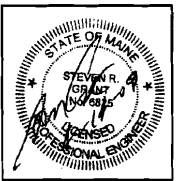


FRAMED OPENING SCHEDULE						
OPENING TYPE	HEAD(S)		JACK (BELOW HEADER)		JAMB (THRU-STUD)	
	MATERIAL	ASSEMBLY	MATERIAL	ASSEMBLY	MATERIAL	ASSEMBLY
H1	(1) 6TSB16 HSS6x6x1/4"	HSS6x6	(2) 6TSB16 (2) 6CSW16		(1) 6TSB16 (1) 6CSW16	
H2	(2) 6TSB16 (2) 6CSW16	BOXED HEADER	(2) 6TSB16 (1) 6CSW16		(1) 6TSB16 (1) 6CSW16	

NOTES:  
1. COORDINATE ALL ROUGH OPENING SIZES WITH ARCHITECT AND DOOR MANUFACTURER.  
2. ALL SCREWS SHOWN ON SCHEDULE ARE TO BE MIN. #10 TEX @ MAX. 16" O.C. LOCATED NO CLOSER THAN 1/2" FROM PREZ. EDGE, U.N.O.  
3. PROVIDE DOUBLE (2) STUDS AT ENDS OF ALL OPENINGS NOT OTHERWISE SPECIFIED.  
4. ALL JAMBS/SILLS/HEADS (AS SHOWN IN SCHEDULE) TO BE ONE PIECE AND CONTINUOUS FULL BEARING AT EACH END, WITH NO SPICES. LGMF CONTRACTOR MAY ADD EXTRA PIECES OF TRACK AS NEEDED TO PROVIDE FOR FASTENING OF WINDOW OR DOOR TO JAMB/SILL/HEAD.

**LIGHT GAGE STEEL FRAMING NOTES:**

- ALL LIGHT GAGE STUDS, TRACKS, AND COMPONENTS TO BE BY DIETRICH INDUSTRIES, INC.
- THE EXTENT OF ALL WORK FOR LIGHT GAGE FRAMED WALL SYSTEMS IS DETAILED ON THE ARCHITECTURAL DRAWINGS. THESE NOTES ARE TO BE USED IN CONNECTION WITH THOSE DRAWINGS AND SPECIFICATIONS, INCLUDING ALL ADDENDUMS.
- PROVIDE ALL NECESSARY CHANNEL (STIFFENED FLANGE) STUDS, JOISTS, RUNNERS, TRACKS, BLOCKING, SHES, CLIP ANGLES, REINFORCEMENTS, FASTENERS AND ALL OTHER ACCESSORIES REQUIRED FOR A COMPLETE FRAMING SYSTEM.
- THE FOLLOWING SPECIFICATIONS AND PUBLICATIONS (LATEST EDITIONS WITH CURRENT AMENDMENTS) ARE TO BE FOLLOWED (U.N.O.): ASTM, AISI, AWS, INTERNATIONAL BUILDING CODE (IBC).
- FABRICATION OF ALL LIGHT GAGE FRAMING IS TO CONFORM WITH THE FOLLOWING REQUIREMENTS OF ASTM A448 HAVING THE FOLLOWING MINIMUM YIELD STRESSES (Fy):  
A. Fy = 45 KSI OR GREATER FOR ALL STUDS, TRACK AND SLIP TRACK 18 GAGE OR HEAVIER.  
B. Fy = 33 KSI OR GREATER FOR ALL STUDS, TRACK, AND SLIP TRACK 18 GAGE OR LIGHTER.  
C. Fy = 33 KSI OR GREATER FOR ALL COMPONENTS NOT OTHERWISE SPECIFIED.
- FABRICATE METAL FRAMING COMPONENTS (STUDS, TRACK AND BRIDGING) FROM GALVANIZED STEEL SHEET MEETING A MINIMUM G60 COATING. ACCESSORIES TO BE HOT-DIPPED GALVANIZED IN STRICT COMPLIANCE WITH ASTM A123, A143, A153, A584, A585 AND A586 AS APPLICABLE TO EACH ITEM. PROVIDE NUTS, BOLTS, WASHERS, SCREWS, AND OTHER FASTENERS WITH CORROSION RESISTANT PLATED FINISH EQUIVALENT TO CADMIUM PLATING, ASTM A166, TYPE N8.
- AT ALL LOCATIONS WHERE STUD SYSTEM COLUMNS OR WALLS, INSTALL COMPRESSIBLE FILLER AND ANCHOR STUDS TO SUPPORTING STRUCTURE, SEE ARCHITECTURAL PLANS.
- AT ALL EXPANSION AND CONTROL JOINTS, FRAME BOTH SIDES WITH SEPARATE STUDS; DO NOT BRIDGE THE JOINT WITH COMPONENTS OF STUD SYSTEM.
- AT ALL NON-BEARING WALLS (NOT DESIGNED BY SRG ENG.) MAINTAIN 1 INCH DEFLECTION (SLIP) JOINT TO ALLOW FOR FULL STRUCTURAL FRAME MOVEMENT INDEPENDANT OF STUD SYSTEM.
- ALL SCREWS SHOWN ARE TO BE "TEX" SCREWS, SIZE AS SHOWN.
- ALL STUDS TO BE SET IN FULL CONTACT WITH BASE AND TOP TRACK.
- SEE WALL SECTION(S) FOR STUD AND SLIP TRACK REQUIREMENTS.
- SIZE, GAGE, & SPACING OF JACK AND CRIPPLE STUDS TO MATCH TYPICAL WALL STUDS, UNLESS NOTED OTHERWISE ON DETAILS.
- REFER TO ARCHITECTURAL DOCUMENTS (PLANS AND SPECIFICATIONS) FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR MAY SUBSTITUTE STUD SIZE SHOWN WITH STUD HAVING SAME Fy, DEPTH, AND GAGE, WHILE HAVING A WIDER FLANGE.
- CONTRACTOR MAY SUBSTITUTE STUD SIZE SHOWN WITH STUD HAVING SAME Fy, DEPTH, AND FLANGE WIDTH, WHILE HAVING A THICKER GAGE.
- FASTENER SIZE SHOWN IS MINIMUM. FASTENER SPACING SHOWN IS MAXIMUM.
- CONTRACTOR MAY SUBSTITUTE LGMF SHOWN MANUFACTURED BY ANOTHER MANUFACTURER MEETING THE MINIMUM DESIGN PROPERTIES SPECIFIED BY DIETRICH INDUSTRIES. ACCEPTABLE MANUFACTURERS INCLUDE MARINO, BOSTWICK, AND WARE.
- ALL STUDS, JACKS, AND POSTS TO BE IN FULL CONTACT WITH TOP AND BOTTOM RUNNER TRACK BEFORE FASTENING, NO EXCEPTION.



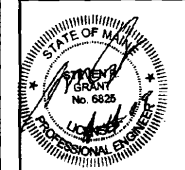
REVISIONS:  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
STATUS: \_\_\_\_\_  
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SRG ENGINEERING, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SRG ENGINEERING, INC.

SRG ENGINEERING, INC.  
CONSULTING STRUCTURAL ENGINEERS  
P.O. BOX 405  
GRAY, ME 04039  
TEL: (207) 657-7523  
FAX: (207) 657-7942  
EMAIL: SRG@SRGENGINE.COM  
PROJECT NO: EOR  
09-035

FOUNDATION & FRAMING PLANS  
OF  
LOCKARD'S AUTOBODY  
PORTLAND, MAINE  
FOR  
GRANT HAYS ASSOCIATES  
FALMOUTH, MAINE

DATE: 04.14.2009  
SCALE: AS NOTED  
SHEET S1 OF 3

ISSUED FOR PERMIT ONLY



REV.	BY:	DATE:	STATUS:

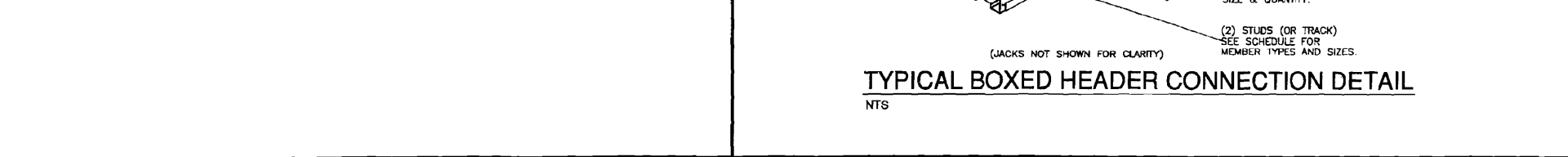
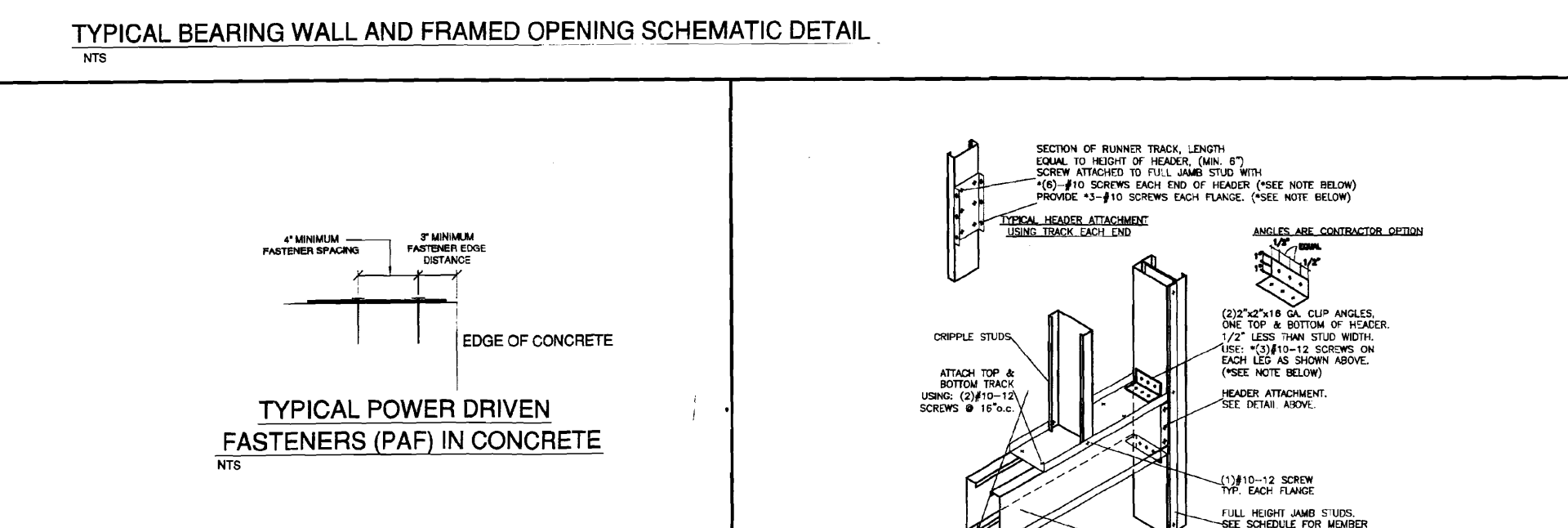
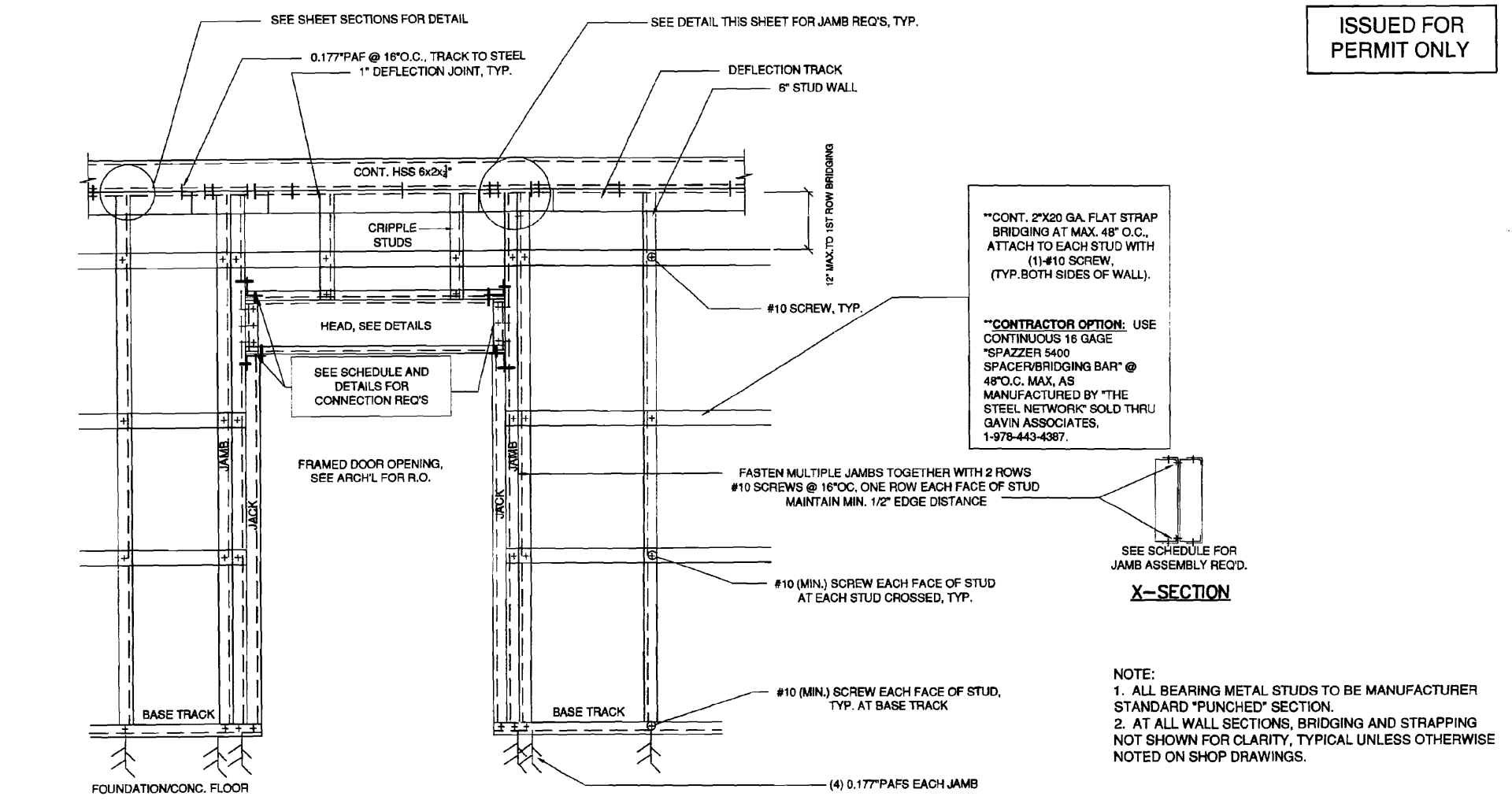
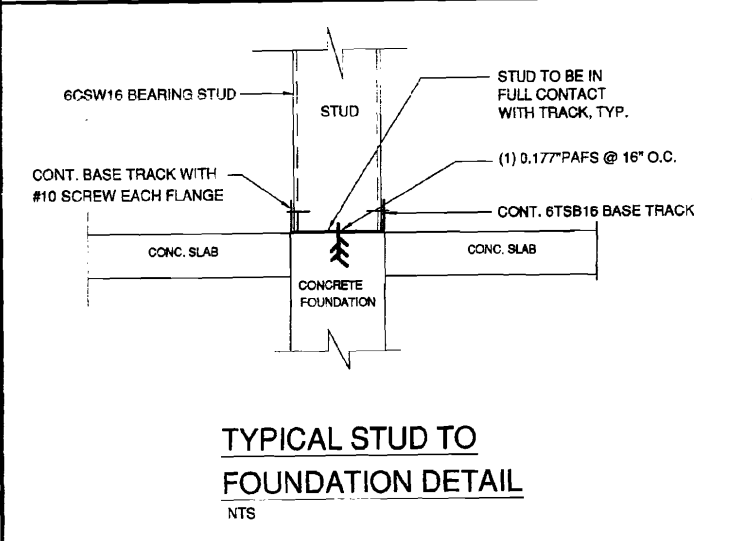
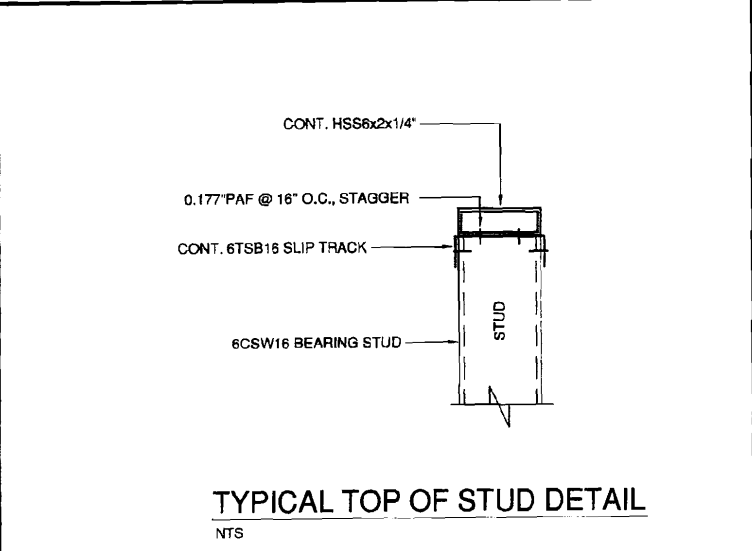
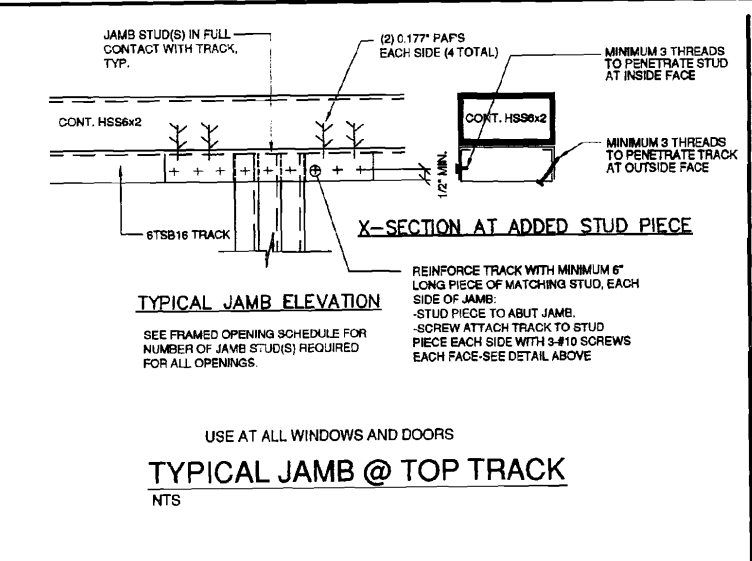
THE PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SRG ENGINEERING, INC. ANY ALTERATIONS AUTHORIZED OR UNAUTHORIZED SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SRG ENGINEERING, INC.

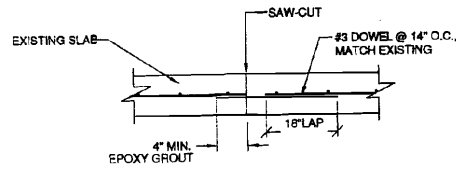
DESIGN	CHKD	DRAWN
SRG	SRG	SRG
SRG	SRG	SRG
SRG	SRG	SRG
SRG	SRG	SRG
SRG	SRG	SRG
SRG	SRG	SRG
SRG	SRG	SRG
SRG	SRG	SRG

SRG ENGINEERING, INC.  
 CONSULTING STRUCTURAL ENGINEERS  
 P.O. BOX 925  
 GRAY, ME 04039  
 TEL: (207) 657-7293  
 FAX: (207) 657-7342  
 EMAIL: SRG@SRGENG.COM  
 PROJECT NO. EDR  
 09-035

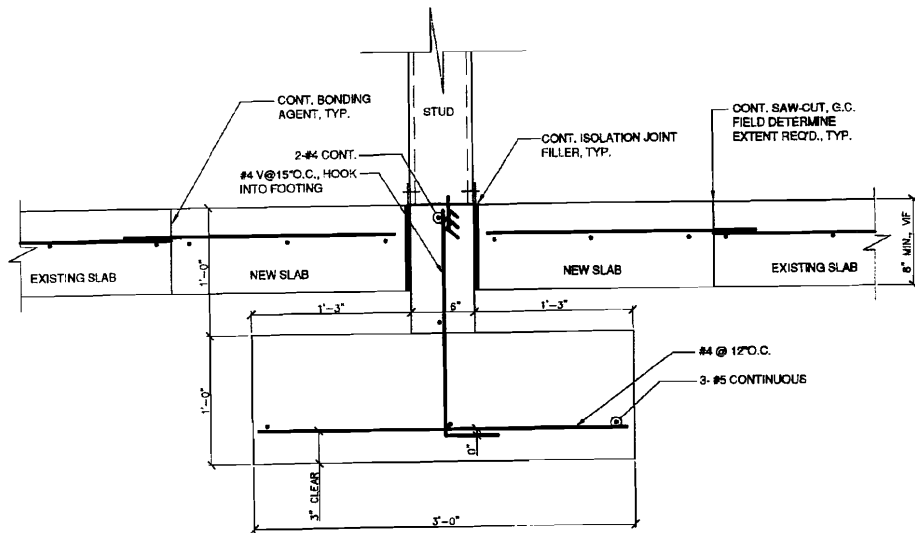
LIGHT-GAGE METAL FRAMING DETAILS  
 OF  
 LOCKARD'S AUTOBODY  
 PORTLAND, MAINE  
 FOR  
 GRANT HAYS ASSOCIATES  
 FALMOUTH, MAINE

DATE	SCALE
04.14.2009	AS NOTED



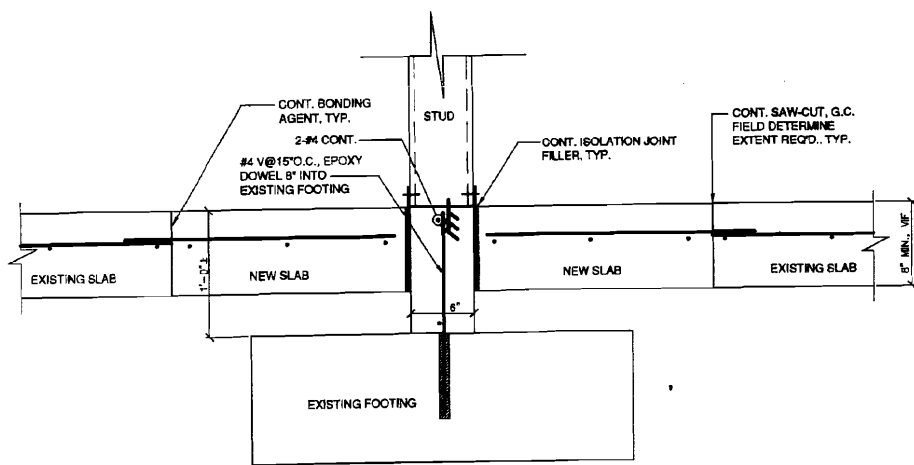


SLAB DETAIL AT NEW SAW-CUT  
N.T.S.



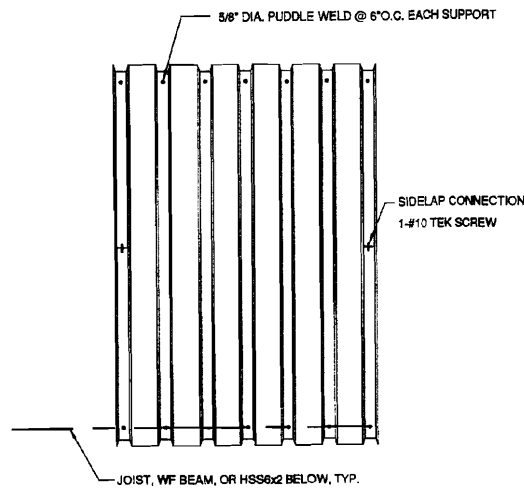
TYPICAL FOUNDATION WALL DETAIL

SECTION 1  
N.T.S. S3

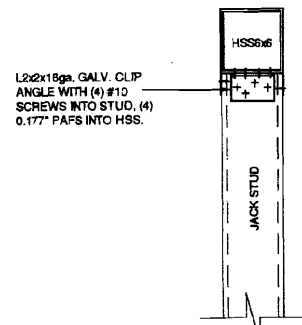


TYPICAL FOUNDATION WALL DETAIL AT EXISTING COLUMN FOOTING

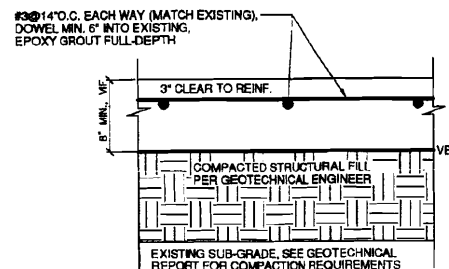
SECTION 2  
N.T.S. S3



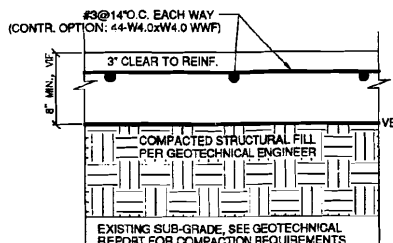
TYP. FLOOR DECK ATTACHMENT DETAIL  
N.T.S.



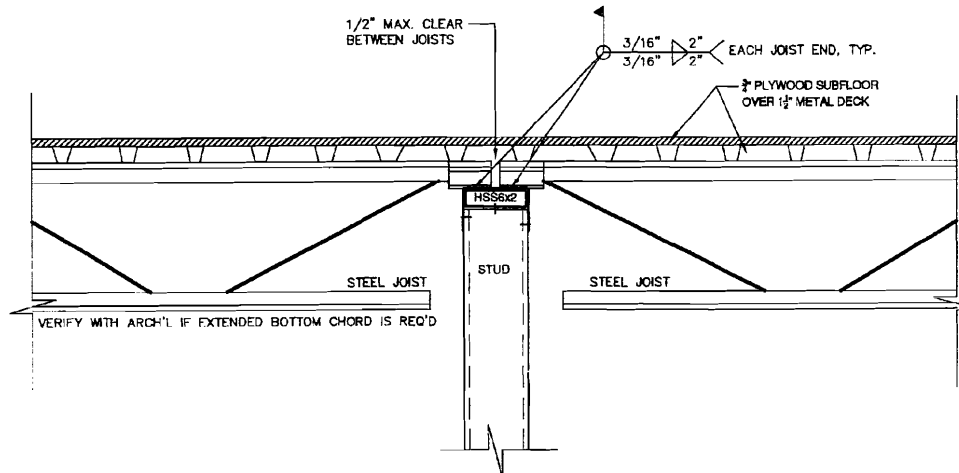
TYPICAL HSS6x6 HEADER CONNECTION TO JACK STUD  
N.T.S.



NEW SLAB DETAIL  
N.T.S.

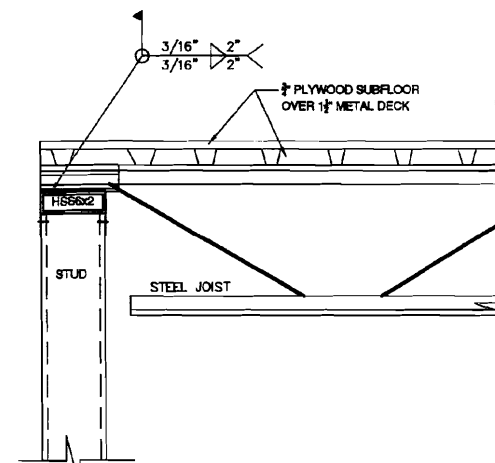


EXISTING SLAB DETAIL  
N.T.S.



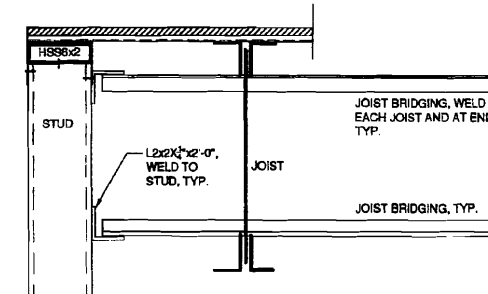
TYPICAL JOIST BEARING AT INTERIOR WALL

SECTION 3  
N.T.S. S3



TYPICAL JOIST BEARING AT END WALL

SECTION 4  
N.T.S. S3



TYPICAL JOIST BRIDGING DETAIL

SECTION 5  
N.T.S. S3

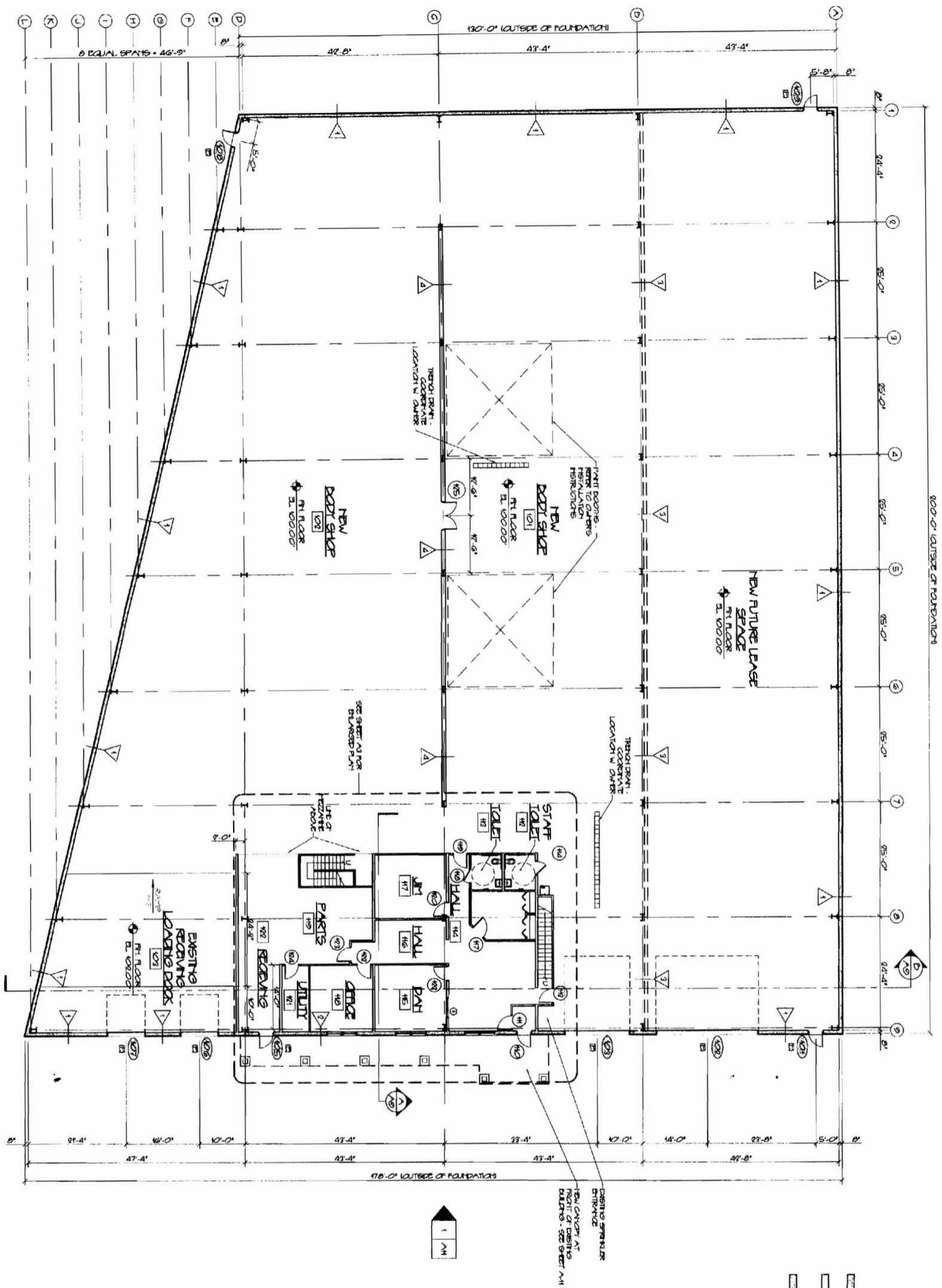
ISSUED FOR  
PERMIT ONLY



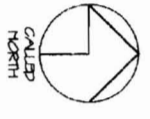
DATE	SCALE
04.14.2009	AS NOTED
PROJECT NO.	DR - 056
FOR	SRG
DESIGN	SRG
CHECK	SRG
DRAWN	SRG
REV.	BY
DATE	DATE
STATUS	SRG

SRG ENGINEERING, INC.  
CONSULTING PROFESSIONAL ENGINEERS  
P.O. BOX 905  
GRANT, ME 04068  
TEL: (207) 687-7323  
FAX: (207) 687-7323  
EMAIL: SRG@SRGENGINEERING.COM

SECTIONS AND DETAILS  
OF  
LOCKARD'S AUTOBODY  
PORTLAND, MAINE  
FOR  
GRANT HAYS ASSOCIATES  
FALMOUTH, MAINE



- NOTES
- 1. ADD OF VENT. FLOOR REPAIRS VS. PART RELOCATION SYSTEM TO ALL EXISTING WALLS EXCEPT - 1041 FOR 1041 1042 1043 1044
  - 2. ADD OF VENT. FLOOR PART RELOCATION SYSTEM TO OTHER REPAIR AREA EXCEPT 1041 FOR 1041 1042 1043 1044

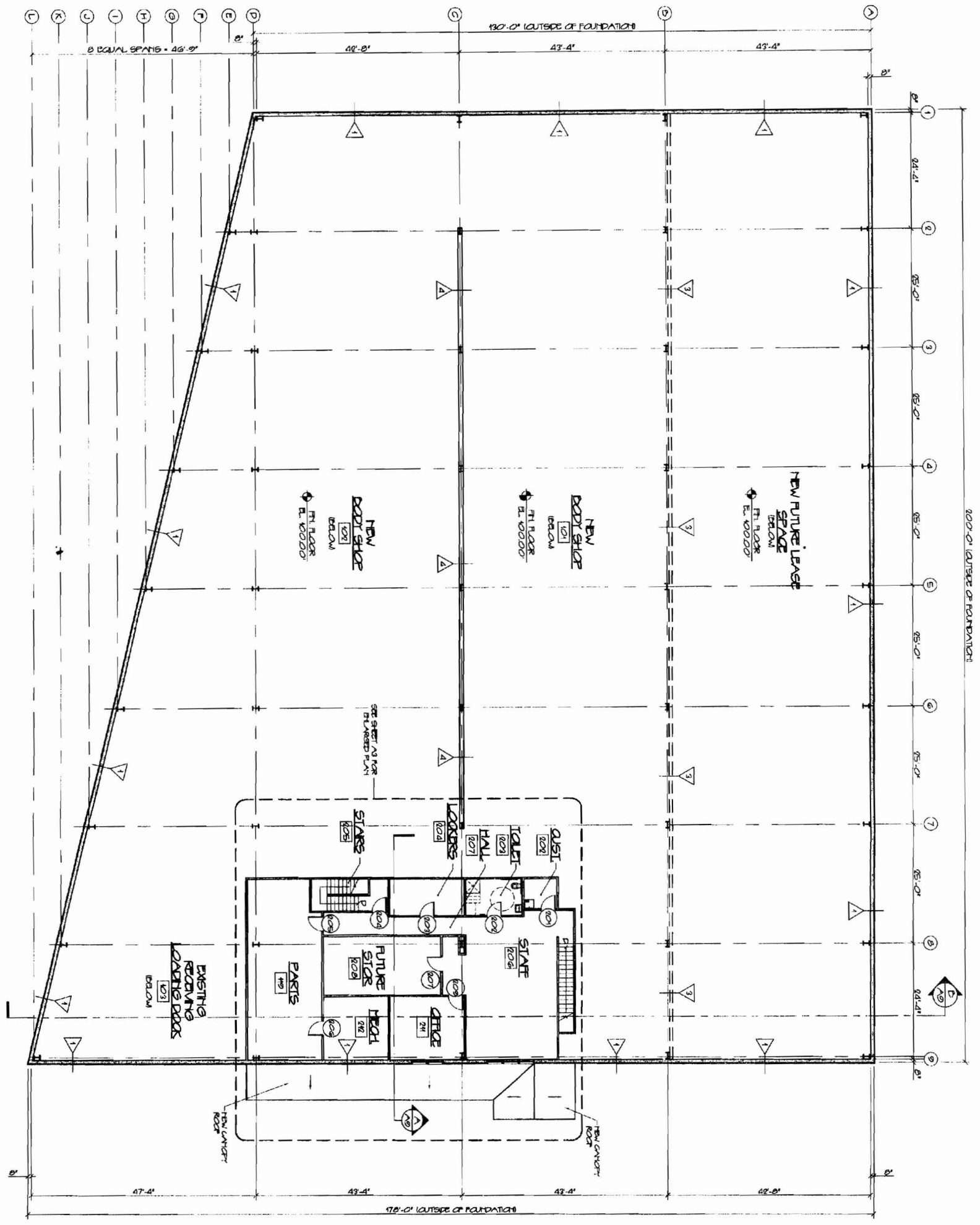


FIRST FLOOR PLAN  
SCALE 3/8" = 1'-0"

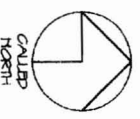
- LEGEND
- (S) PART BEINGS NEW TO COMERS RELOCATION FISHRELATIONS
  - (R) REPAIRS EXISTING DOOR TO REMAIN
  - (A) REPAIRS EXISTING REPAIRS EXISTING PARTITION W/ MODIFICATIONS
  - (N) REPAIRS NEW PARTITION
  - (D) REPAIRS EXISTING PARTITION W/ MODIFICATIONS

PARTITION LEGEND	
KEY	DETAIL
A	1
A	2
A	3
A	4
A	5
A	6
A	7
A	8
A	9
A	10
A	11
A	12

GRANT HAYS ASSOCIATES		<b>ARCHITECTURE INTERIOR DESIGN</b> P.O. BOX 6179 PALMOUTH, MAINE 04105 (207) 871-5900 (207) 871-9308		<b>LOCKARD'S COLLISION CENTER</b> 235 RIVERSIDE STREET PORTLAND, MAINE		LICENSED ARCHITECT MICHAEL F. HAYS NO. 1724 STATE OF MAINE	REVISIONS
DRAWING NO. <b>A-1</b>	JOB NO. 090401	DRAWN BY SMT/TH	DATE 09 APRIL 09	SCALE 3/8" = 1'-0"	DRAWING TITLE <b>FIRST FLOOR PLAN</b>	JOB TITLE	



NOTES:  
 1. ADD 2" VERTICAL REBAR AS PART HELIUM  
 DESIGN TO ALL BRICK WALLS EXISTING - RAK  
 FOR ALL REBAR ASSEMBLY.  
 2. ADD 4" VERTICAL PART HELIUM DESIGN  
 TO BRICK ROOF AREA EXISTING REBAR FOR  
 ALL REBAR ASSEMBLY.



SECOND FLOOR PLAN  
 SCALE 3/32" = 1'-0"

- NOTES:
- EXISTING DOOR TO REMAIN
  - EXISTING PARTITION
  - NEW PARTITION
  - EXISTING PARTITION
  - NEW PARTITION

PARTITION LEGEND	
KEY	DETAIL
1	1A
2	2A
3	3A
4	4A
5	5A
6	6A
7	7A
8	8A
9	9A
10	10A
11	11A
12	12A

GRANT HAYS ASSOCIATES

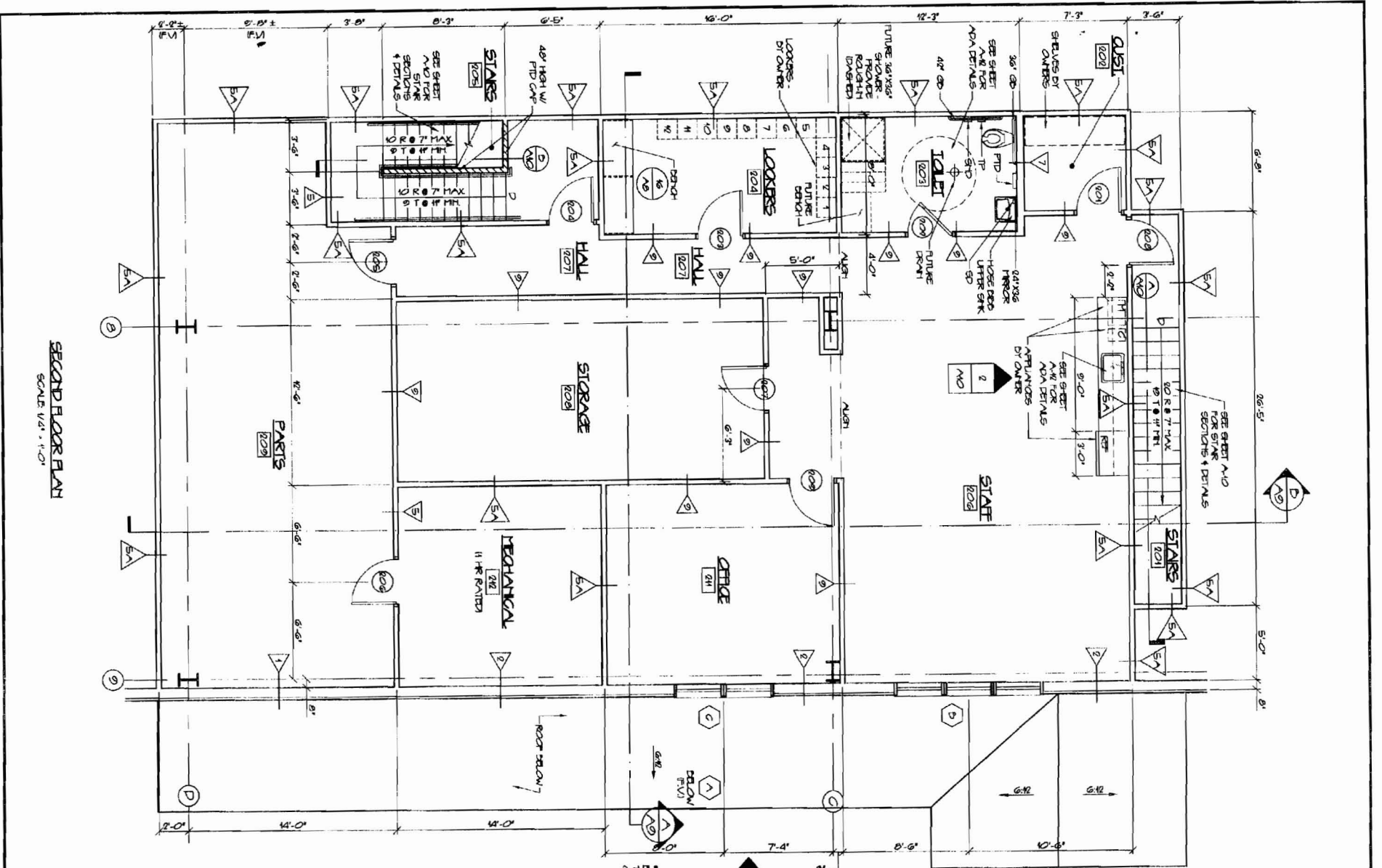
DRAWING NO. **A-2**  
 DATE: 09 APR 08  
 DRAWN BY: SMT/TH  
 JOB NO. 090401

ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6179 FALMOUTH, MAINE 04105  
 (207) 871-8900

LOCKARD'S COLLISION CENTER  
 235 RIVERSIDE STREET PORTLAND, MAINE  
 JOB TITLE

REVISIONS

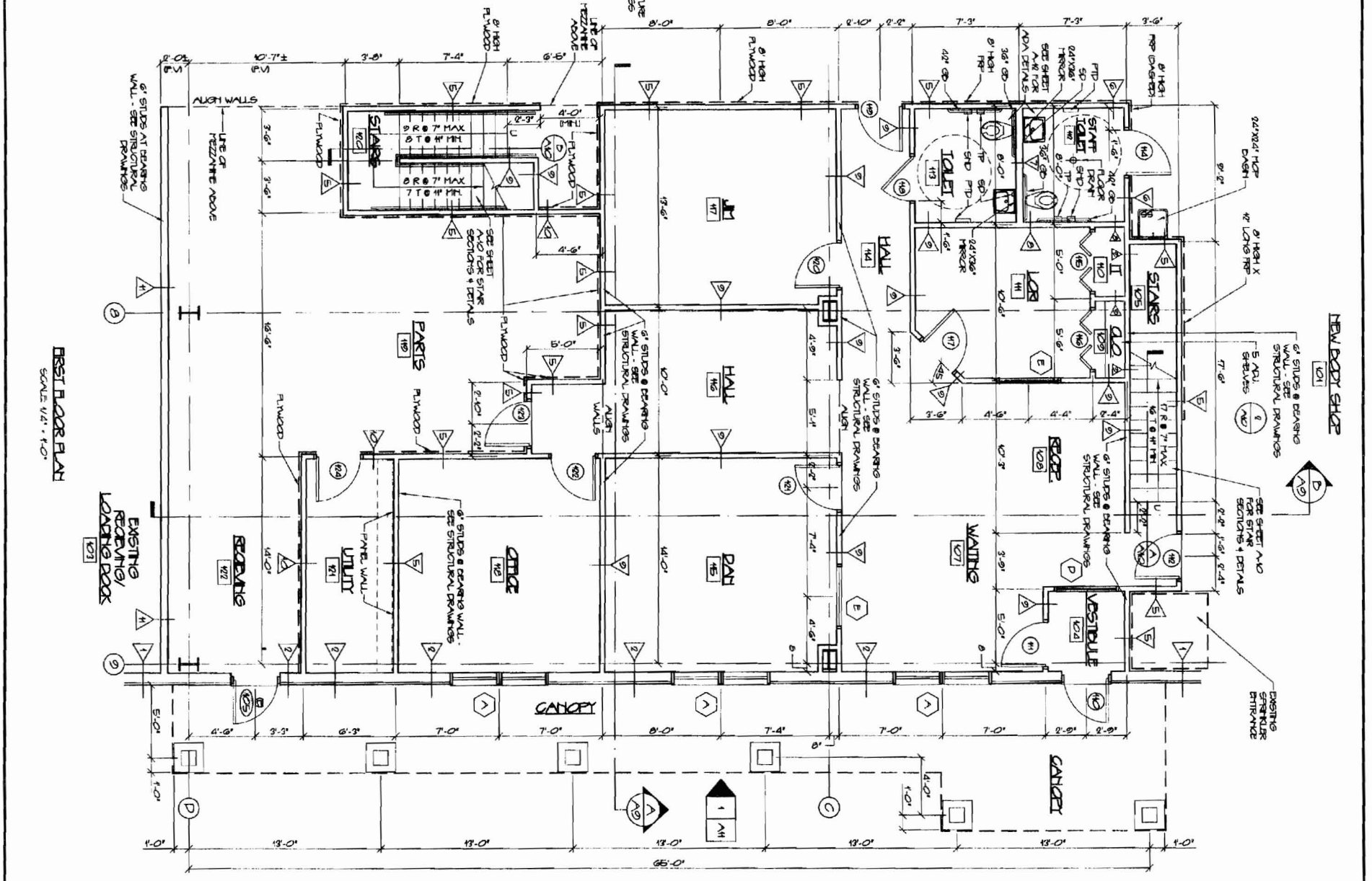




SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTE: ALL WALLS SHALL BE CONCRETE. FLOOR STRUCTURE TO STRUCTURE ABOVE UTILITIES OTHERWISE NOTED.

KEY	DETAIL
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20
21	21
22	22
23	23
24	24
25	25
26	26
27	27
28	28
29	29
30	30
31	31
32	32
33	33
34	34
35	35
36	36
37	37
38	38
39	39
40	40
41	41
42	42
43	43
44	44
45	45
46	46
47	47
48	48
49	49
50	50
51	51
52	52
53	53
54	54
55	55
56	56
57	57
58	58
59	59
60	60
61	61
62	62
63	63
64	64
65	65
66	66
67	67
68	68
69	69
70	70
71	71
72	72
73	73
74	74
75	75
76	76
77	77
78	78
79	79
80	80
81	81
82	82
83	83
84	84
85	85
86	86
87	87
88	88
89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

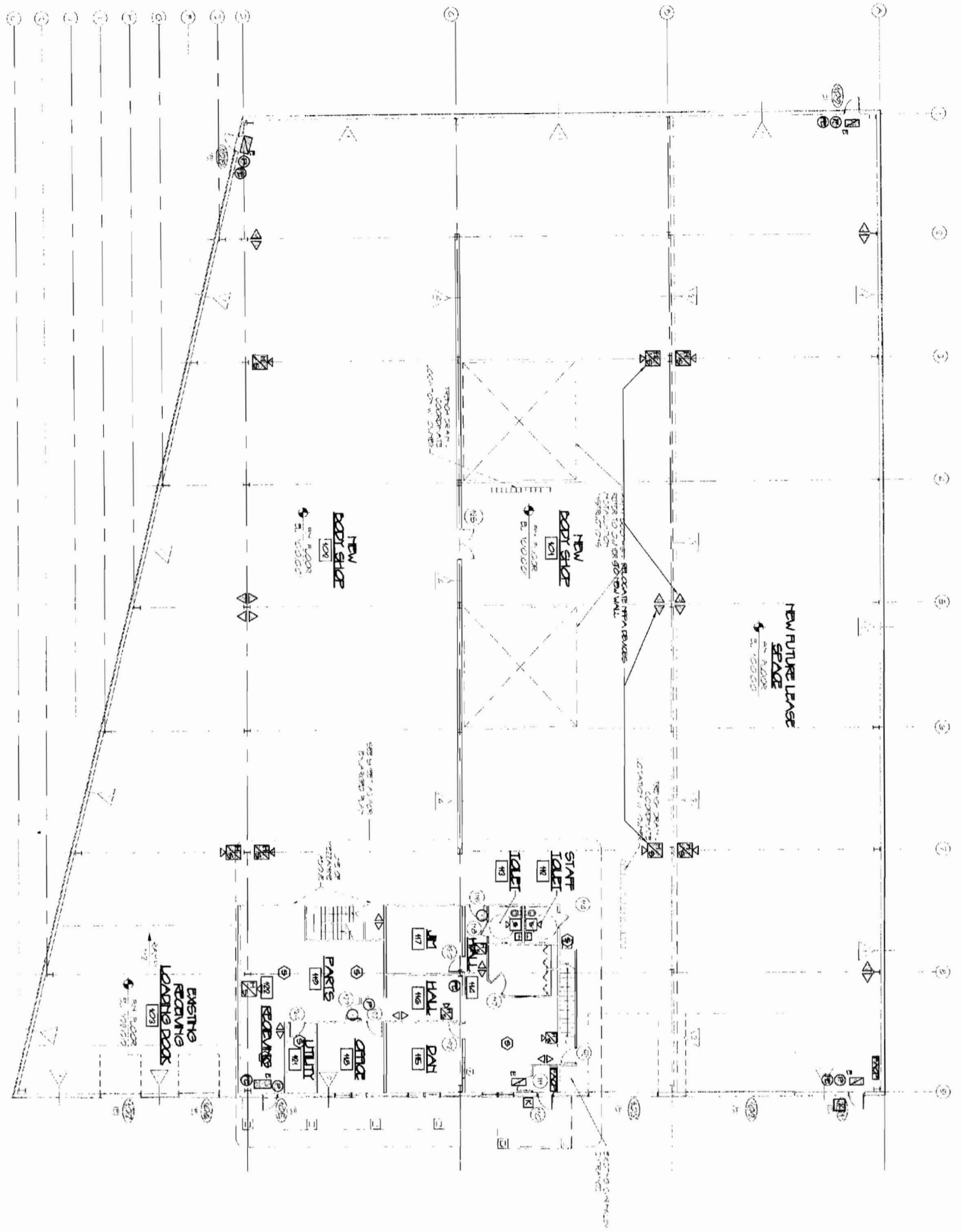


FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**G R A N T H A Y S & A S S O C I A T E S**

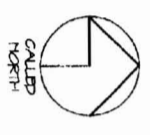
<p>DATE: 09 APRIL 09 DRAWN BY: SAK/TPH JOB NO: 080401 DRAWING NO: <b>A-3</b></p>	<p><b>ARCHITECTURE INTERIOR DESIGN</b> P.O. BOX 6179 PALMOUTH, MAINE 04105 (207) 871-5900 (207) 871-8308</p>	<p><b>LOCKARD'S COLLISION CENTER</b> 235 RIVERSIDE STREET PORTLAND, MAINE</p>	<p>REVISIONS</p>
----------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------	------------------

DRAWING TITLE: ENLARGED FLOOR PLANS



**NFPA LEGEND**

◀	EXT LIGHT	⊕	FIRE EXTINGUISHER
▶	PROPAGATOR LIGHT	⊙	MANUAL FIRE
⊠	HORN (NO DIAL)	⊙	ALARM HORN
⊠	SMOKE (NO DIAL)	⊙	SMOKE DETECTOR
⊠	SMOKE (NO DIAL)	⊙	NOT AN EXIST SIGN
⊠	KNOX BOX	⊠	DETECTORS EXISTING
⊠	FIRE ALARM CONTROL PANEL	⊠	REVISION

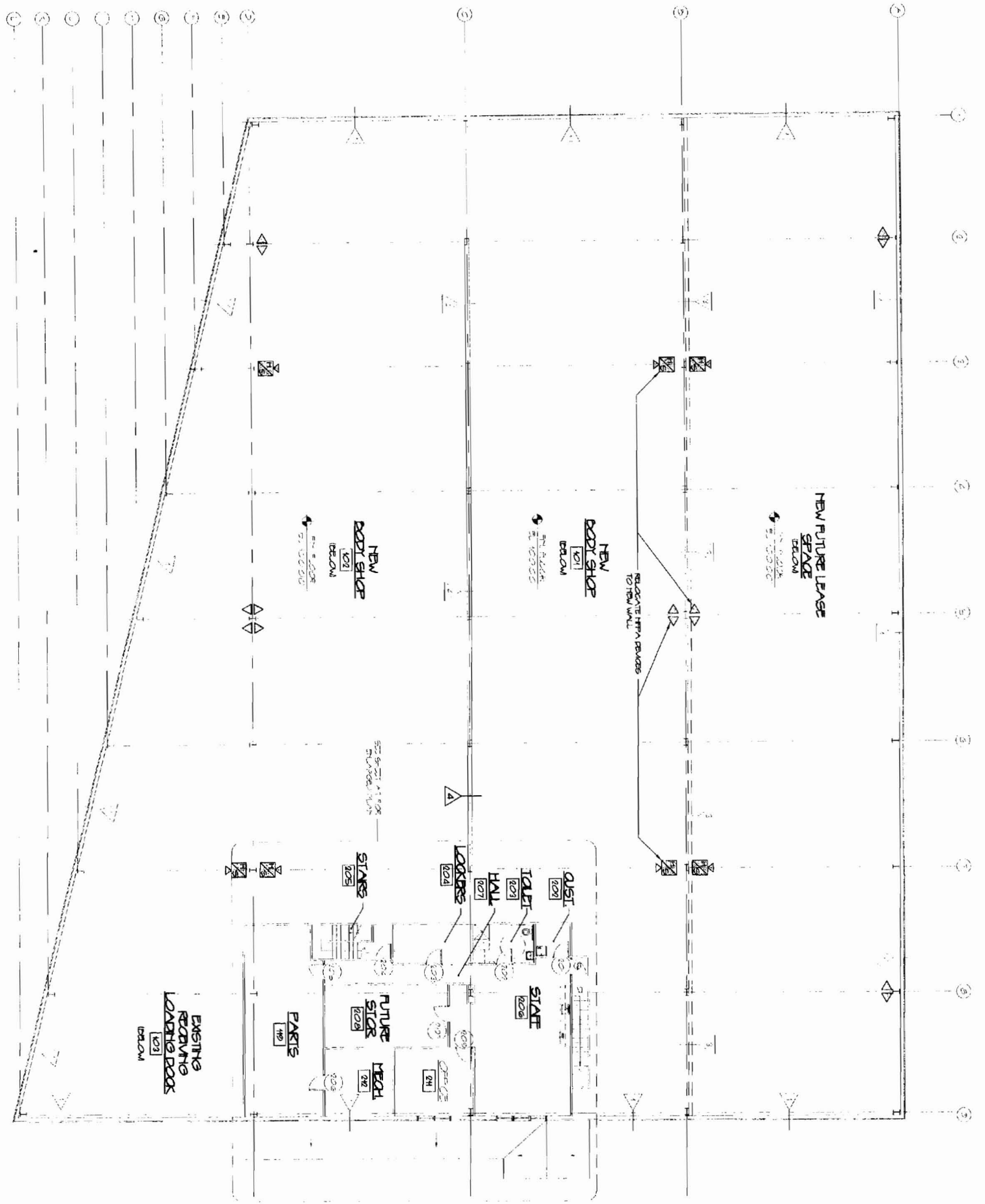


**FIRST FLOOR LIFE SAFETY PLAN**  
SCALE 3/8" = 1'-0"

**NOTES**

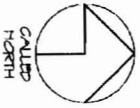
- SEE SHEET A-0 FOR NFPA LIFE SAFETY CODE REQUIREMENTS
- DESIGNER TO VERIFY CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE STATE OF MAINE
- REVISIONS SHALL BE TO CORRECT THE WORK

GRANT HAYS ASSOCIATES				
<b>ARCHITECTURE INTERIOR DESIGN</b> P.O. BOX 8179 FALMOUTH, MAINE 04105 <small>(207) 871-6900      (207) 871-9308</small>	<b>LOCKARD'S COLLISION CENTER</b> 235 RIVERSIDE STREET      PORTLAND, MAINE	<b>JOB TITLE</b>	<b>REVISIONS</b>	
<b>FIRST FLOOR LIFE SAFETY PLAN</b> <small>DRAWING TITLE</small>	<small>SCALE</small> 3/8" = 1'-0" <small>DATE</small> 09 APRIL 09 <small>DRAWN BY</small> SAV/THH <small>JOB NO.</small> 090401 <small>DRAWING NO.</small>	<b>A-4</b>		



**NFPA LEGEND**

☐	EXT LIGHT	⊕	FIRE EXTINGUISHER
⊕	EMERGENCY LIGHT	⊙	MANUAL FIRE ALARM PULL STATION
⊙	HORN (NO BELL)	⊕	SMOKE DETECTOR
⊕	RNOX BOX	⊕	DEVICES EXISTING
⊕	FIRE ALARM CONTROL PANEL	⊕	DEVICES TO BE INSTALLED



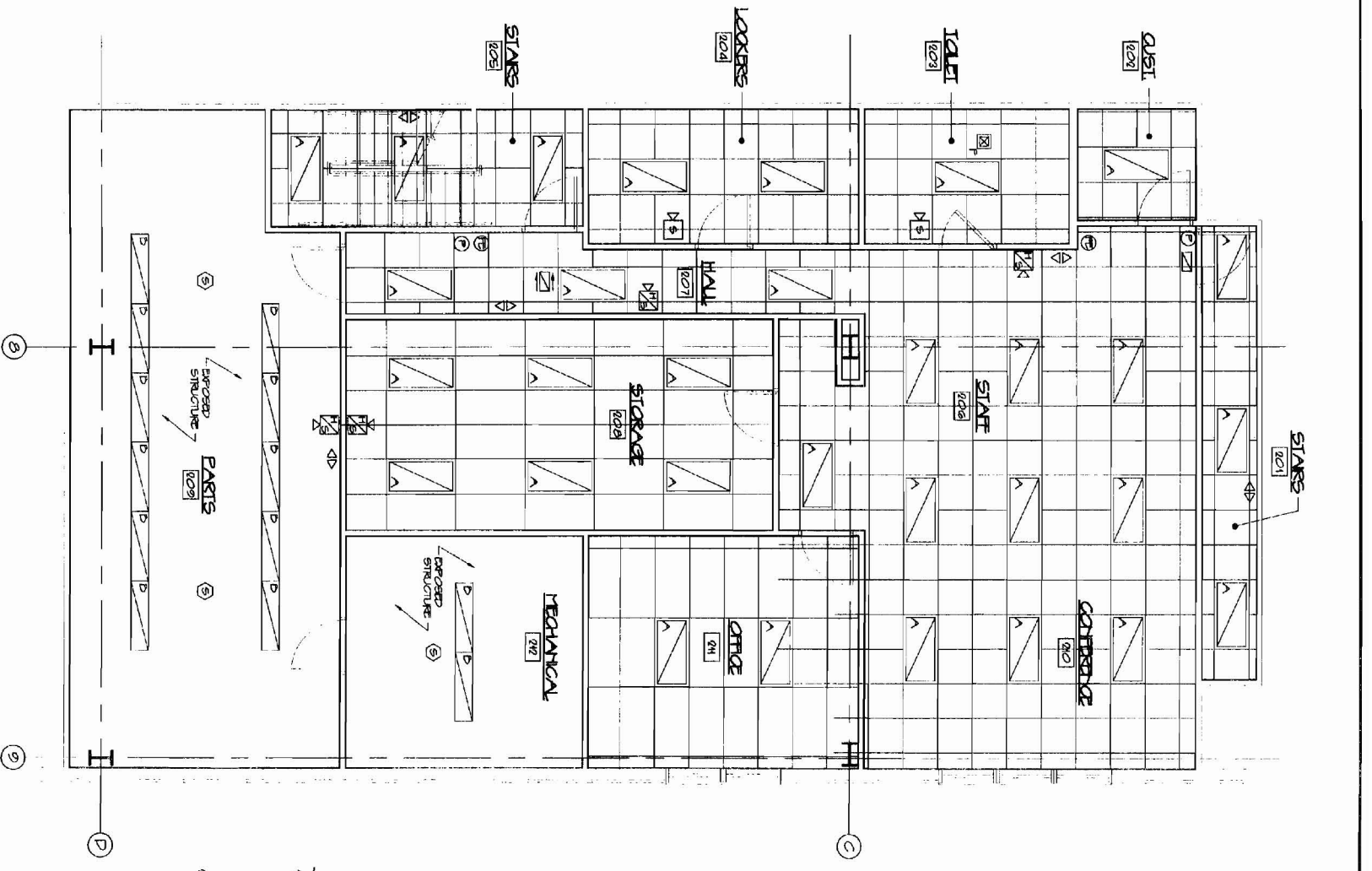
**SECOND FLOOR LIFE SAFETY PLAN**  
SCALE 3/32" = 1'-0"

**NOTES**

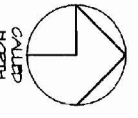
- SEE SHEET A-6 FOR NFPA LIFE SAFETY CODE REQUIREMENTS
- DESIGNER SHALL VERIFY ALL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF MAINE
- DESIGNER SHALL VERIFY ALL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF MAINE

GRANT HAYS ASSOCIATES		LOCKARD'S COLLISION CENTER		235 RIVERSIDE STREET PORTLAND, MAINE	JOB TITLE
A-5	DRAWING NO. JOB NO. 090401	DATE 09 APRIL 09 DRAWN BY SMT/HH	ARCHITECTURE INTERIOR DESIGN P.O. BOX 6179 FALMOUTH, MAINE 04105  (207) 871-5900 (207) 871-9308	SECOND FLOOR LIFE SAFETY PLAN	DRAWING TITLE
				REVISIONS	





SECOND FLOOR REFLECTED CEILING PLAN  
SCALE 1/4" = 1'-0"



**LIGHT FIXTURE LEGEND**

	2'x4' 3 TUBE LIGHT FIXTURES
	1/2" x 8 TUBE LOR @ 8" SPAC E UTM SURFACE MOUNTED FLUORESCENT W/ LIFES
	RECESSED FLUORESCENT - 5'x11'x4
	SURFACE MOUNTED DOWN LIGHT STAIRS TO HALLS HT/200 STAIRS
	SHUJST FAN

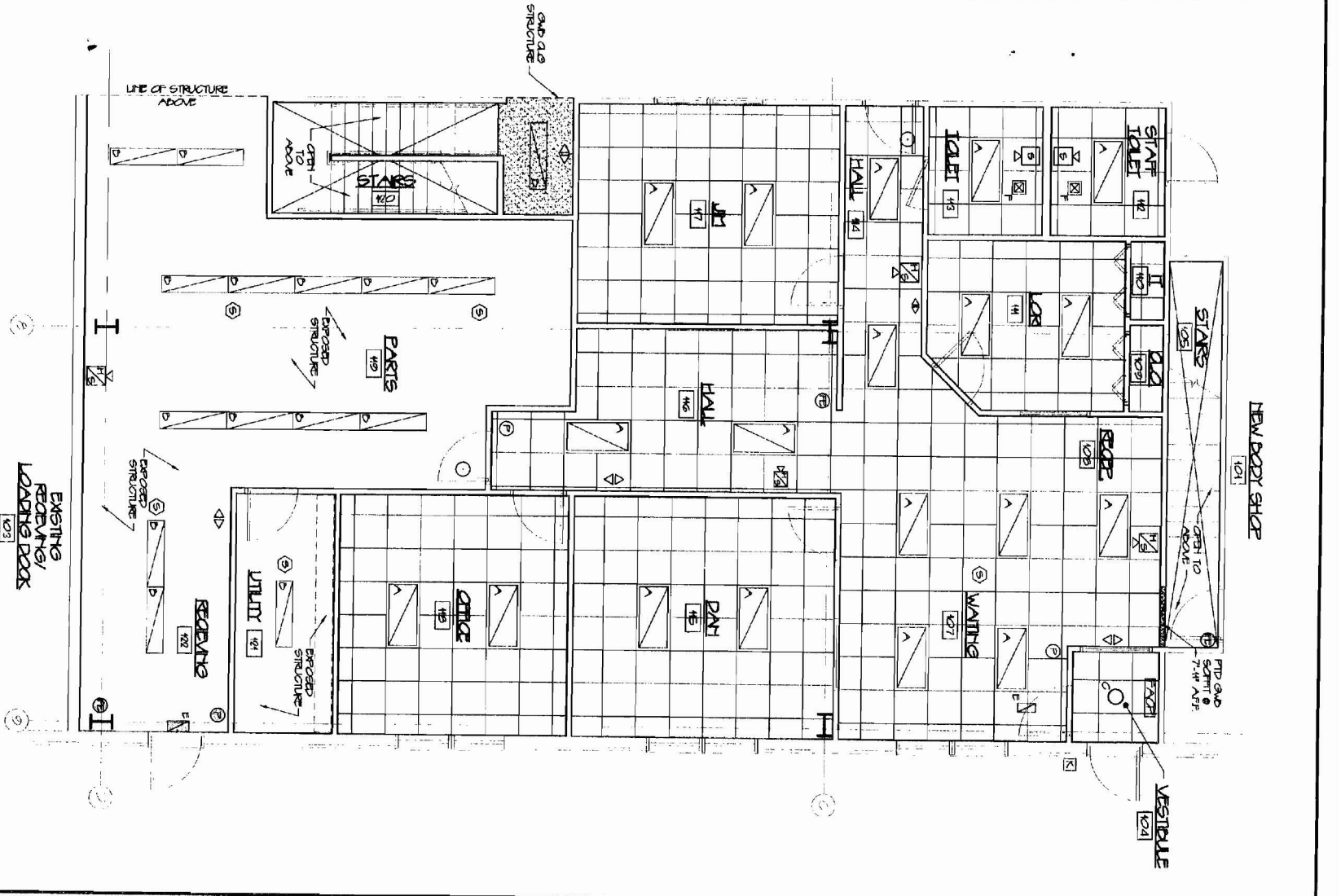
**NFPA LEGEND**

	EXIT LIGHT
	FIRE EXTINGUISHER
	DETECTOR LIGHT
	HORN (NO PA) ALARM BELL
	SMOKE DETECTOR
	STROBE NO C2
	NOT AN EXIT SIGN
	KNIX BOX
	DETECTOR EXISTING REMAIN
	FIRE ALARM CONTROL PANEL

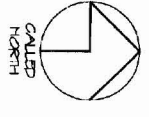
**NOTES**

1 NEW LIGHTING SHALL HAVE A NEW NFPA & FIRE SUPPRESSION SPRINKLER SYSTEM INSTALLED SPRINKLER SYSTEM SHALL BE DESIGNED BY A CERTIFIED SPRINKLER CONTRACTOR AND SHALL BE SUBMITTED AND APPROVED BY THE STATE OF MAINE FIRE DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPRINKLER DESIGN AND INSTALLATION OF THE SYSTEM FOR OCCUPANCY.

2 SEE SHEET A-4 FOR SIGNAGE AND A-5 FOR ACCESSIBILITY DETAILS



FIRST FLOOR REFLECTED CEILING PLAN  
SCALE 1/4" = 1'-0"



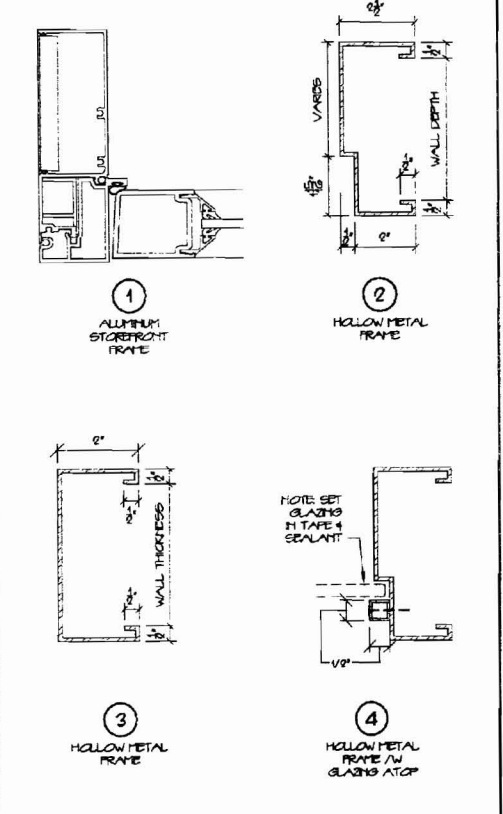
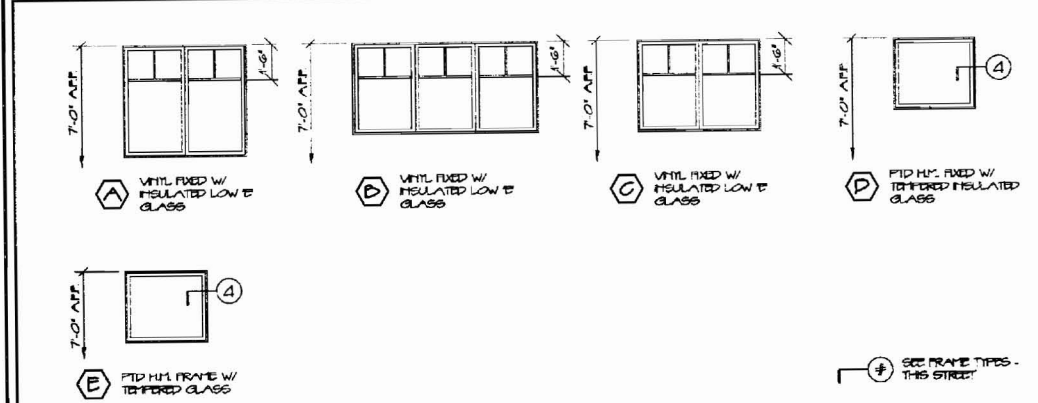
GRANT HAYS ASSOCIATES						
<p><b>ARCHITECTURE</b> INTERIOR DESIGN P.O. BOX 6179 FALMOUTH, MAINE 04105 (207) 871-5900</p>	<p><b>LOCKARD'S COLLISION CENTER</b> 235 RIVERSIDE STREET PORTLAND, MAINE</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50px;">NO.</td> <td style="width: 50px;">DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION		
NO.	DESCRIPTION					
<p>DRAWING TITLE <b>FIRST FLOOR REFLECTED CEILING PLAN</b></p>	<p>DATE: 09 APRIL 09 DRAWN BY: SMT/THH JOB NO.: 090401 DRAWING NO.: <b>A-6</b></p>	<p>SCALE: 1/4" = 1'-0"</p>				

### WINDOW SCHEDULE

NO.	TYPE	MANUFACTURER #	NOMINAL SIZE		DETAILS			REMARKS
			WIDTH	HEIGHT	HEAD	JAMB	SILL	
A	FIXED	PARADIGM 2079552	6'-0"	5'-6"	12-AS	14-AS	5-AS	
D	FIXED	PARADIGM 2079552	6'-0"	4'-6"	12-AS	14-AS	5-AS	
C	FIXED	PARADIGM 2079552	6'-0"	4'-6"	12-AS	14-AS	5-AS	
D	FIXED	HOLLOW METAL DW FRAME	4'-0"	3'-6"	4-AS/1H	5-AS/1H	5-AS/1H	
E	FIXED	HOLLOW METAL DW FRAME	4'-0"	3'-6"	4-AS/1H	5-AS/1H	5-AS/1H	

ABBREVIATIONS

A	ALUMINUM	TYPICAL INSULATED
B	BRASS	WOOD
C	COPPER	W/ INSULATED
D	GLASS	W/ INSULATED
E	HOLLOW METAL	W/ INSULATED
F	STAINLESS STEEL	W/ INSULATED



### DOOR SCHEDULE

NO.	TYPE	SIZE (W X H)	THK	INSUL	HDWG	FR	GLASS TYPE	REMARKS	FRAMES			THRESHOLDS			
									TYPE	DETAILS	MATL	DETAILS			
110	A	3070	1 3/4"	YES	HW1	NO	T/TH	FULL	ALUM	NO	A	4-A7	2-A7	ALUM	3-A7
111	A	3070	1 3/4"	YES	HW2	NO	T/TH	FULL	ALUM	NO	A	4-A7	2-A7	NONE	OT
112	D	3070	1 3/4"	NO	HW3	1HR	WRE	24X36	HH	1HR	D	4-A7	5-A7	NONE	16A-AB
113	C	3070	1 3/4"	NO	HW4	NO	NONE	NONE	HH	NO	D	4-A7	5-A7	NONE	GGHC
114	C	3070	1 3/4"	NO	HW5	1HR	NONE	NONE	HH	1HR	D	4-A7	5-A7	NONE	GGHC
115	F	4070 PR	1 3/4"	NO	HW6	NO	NONE	NONE	HH	NO	C	6-A7	6-A7	NONE	GAPP
116	F	4070 PR	1 3/4"	NO	HW6	NO	NONE	NONE	HH	NO	C	6-A7	6-A7	NONE	GAPP
117	G	3070	1 3/4"	NO	HW7	NO	T/TH	24X36	HH	NO	D	4-A7	5-A7	NONE	16D-AB
118	G	3070	1 3/4"	NO	HW8	NO	NONE	NONE	HH	NO	D	4-A7	5-A7	NONE	OT
119	D	3070	1 3/4"	NO	HW3	1HR	WRE	24X36	HH	1HR	D	4-A7	5-A7	NONE	16A-AB
120	G	3070	1 3/4"	NO	HW7	NO	T/TH	24X36	HH	NO	D	4-A7	5-A7	NONE	16D-AB
121	G	3070	1 3/4"	NO	HW7	NO	T/TH	24X36	HH	NO	D	4-A7	5-A7	NONE	16D-AB
122	G	3070	1 3/4"	NO	HW7	NO	T/TH	24X36	HH	NO	D	4-A7	5-A7	NONE	16D-AB
123	D	3070	1 3/4"	NO	HW3	1HR	WRE	24X36	HH	1HR	D	4-A7	5-A7	NONE	16A-AB
124	C	3070	1 3/4"	NO	HW4	1HR	NONE	NONE	HH	1HR	D	4-A7	5-A7	NONE	GGHC
125	D	4070 PR	1 3/4"	NO	HW10	NO	T/TH	24X36	HH	NO	D	4-A7	5-A7	NONE	GGHC
201	E	3070	1 3/4"	NO	HW10	NO	NONE	NONE	HH	NO	D	4-A7	5-A7	NONE	VCT
202	G	3070	1 3/4"	NO	HW8	NO	NONE	NONE	HH	NO	D	4-A7	5-A7	NONE	VCT
203	E	3070	1 3/4"	NO	HW9	NO	NONE	NONE	HH	NO	D	4-A7	5-A7	NONE	VCT
204	C	3070	1 3/4"	NO	HW4	1HR	NONE	NONE	HH	1HR	D	4-A7	5-A7	NONE	VCT
205	C	3070	1 3/4"	NO	HW4	1HR	NONE	NONE	HH	1HR	D	4-A7	5-A7	NONE	16D-AB
206	C	3070	1 3/4"	NO	HW4	1HR	NONE	NONE	HH	1HR	D	4-A7	5-A7	NONE	GGHC
207	E	3070	1 3/4"	NO	HW3	NO	NONE	NONE	HH	NO	D	4-A7	5-A7	NONE	VCT
208	C	3070	1 3/4"	NO	HW4	1HR	NONE	NONE	HH	1HR	D	4-A7	5-A7	NONE	VCT
209	G	3070	1 3/4"	NO	HW7	NO	T/TH	24X36	HH	NO	D	4-A7	5-A7	NONE	16G-AB

ABBREVIATIONS

A	ALUMINUM	TYPICAL INSULATED
B	BRASS	WOOD
C	COPPER	W/ INSULATED
D	GLASS	W/ INSULATED
E	HOLLOW METAL	W/ INSULATED
F	STAINLESS STEEL	W/ INSULATED



REVISIONS

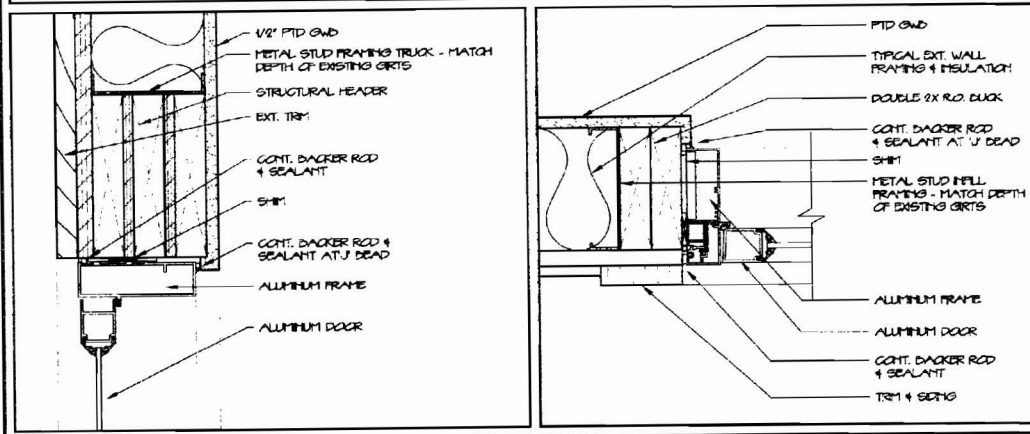
NO.	DESCRIPTION

LOCKARD'S COLLISION CENTER  
235 RIVERSIDE STREET  
PORTLAND, MAINE

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 6176 FALMOUTH, MAINE 04105  
(207) 871-5900  
(207) 871-9908

SCALE AS NOTED  
DATE 28 APRIL 09  
DRAWN BY MTH/SAM  
JOB NO. 090401  
DRAWING NO. A-7

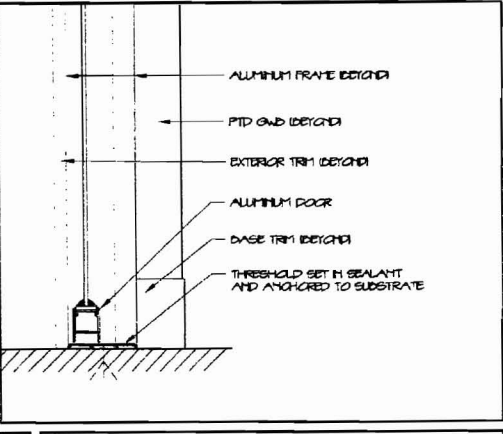
### WINDOW TYPES



1 EXTERIOR STOREFRONT DOOR - HEAD 3'-4'-0"

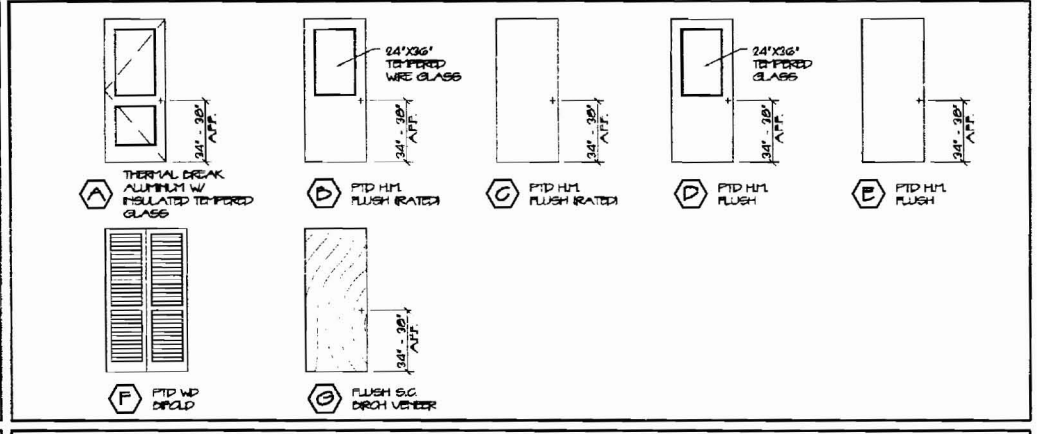
2 EXTERIOR STOREFRONT DOOR JAMB 3'-4'-0"

### FRAME TYPES

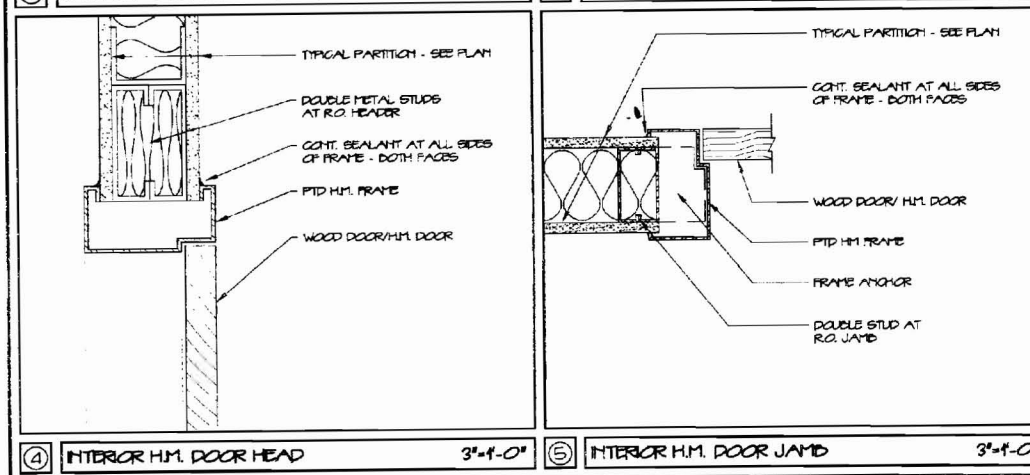


3 EXTERIOR STOREFRONT DOOR SILL 3'-4'-0"

### DOOR TYPES

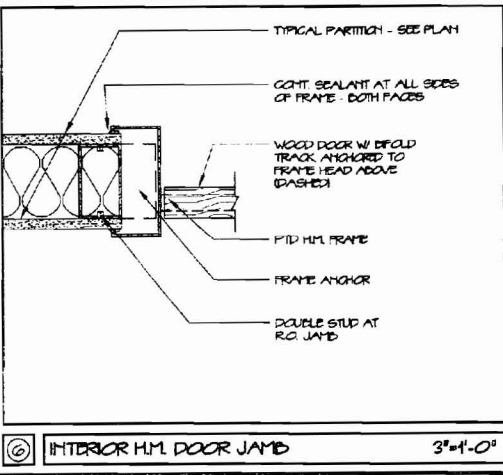


DOOR TYPES 1/4" = 1'-0"

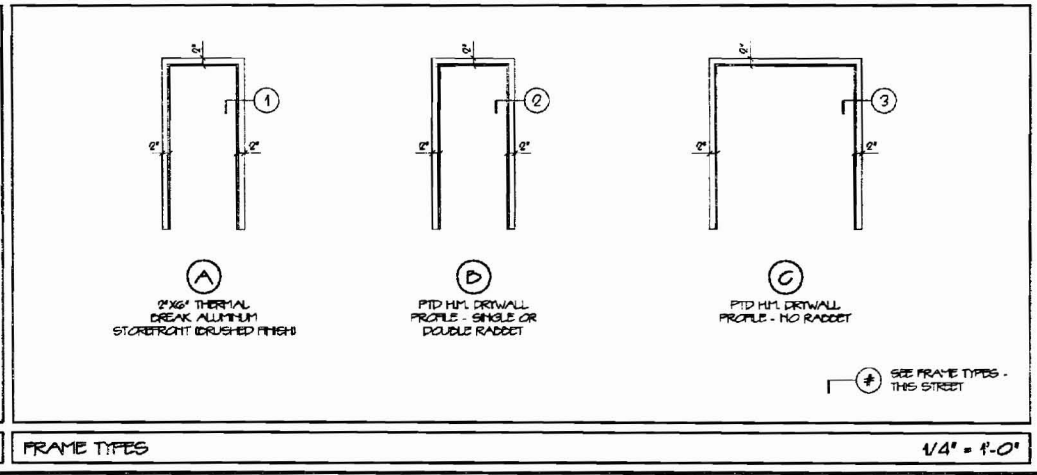


4 INTERIOR HM. DOOR HEAD 3'-4'-0"

5 INTERIOR HM. DOOR JAMB 3'-4'-0"



6 INTERIOR HM. DOOR JAMB 3'-4'-0"



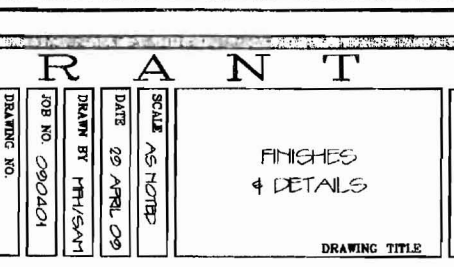
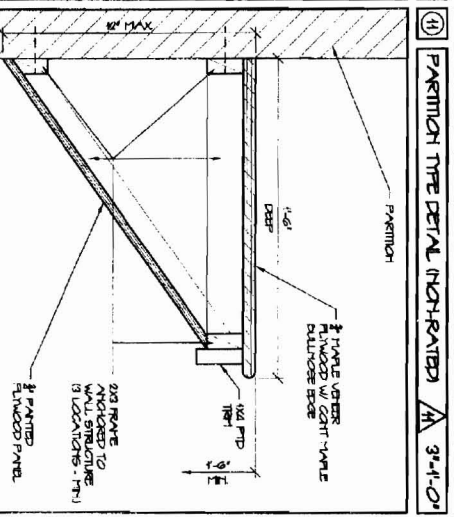
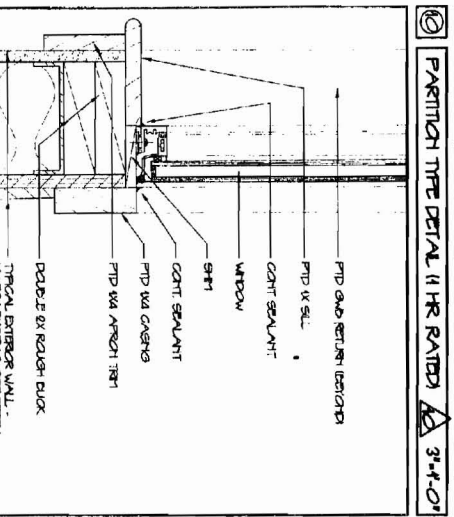
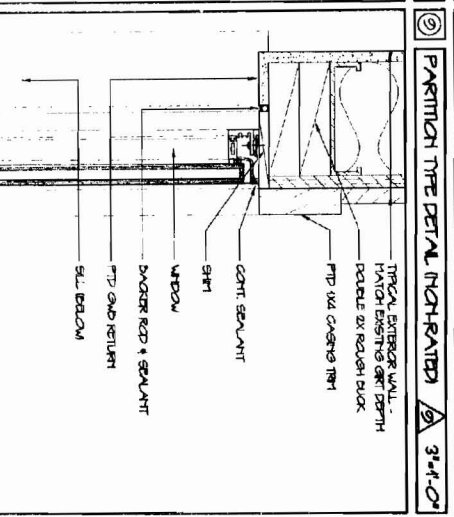
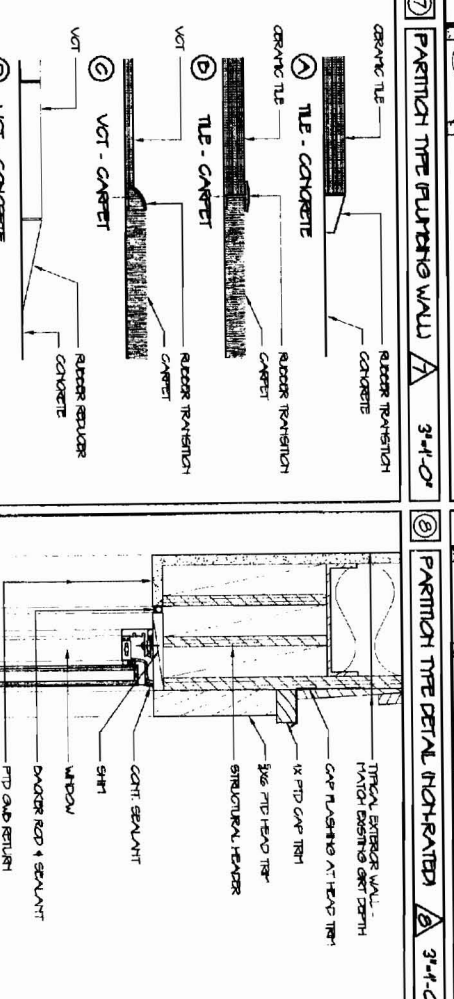
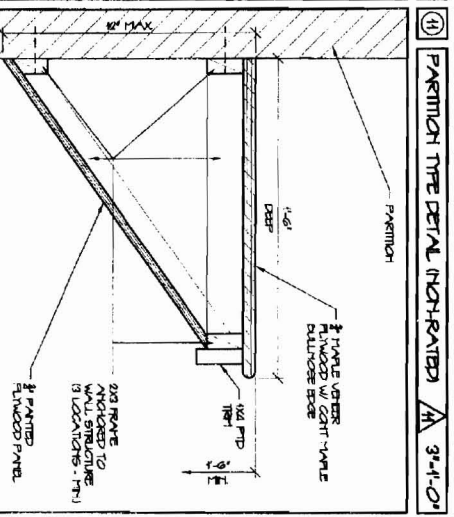
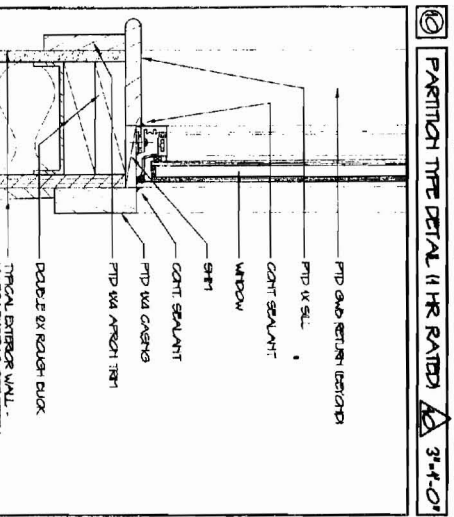
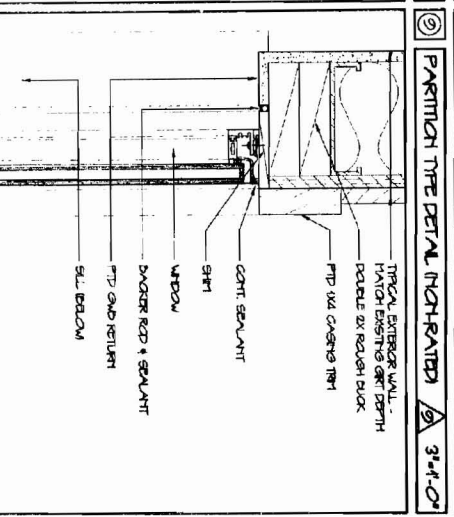
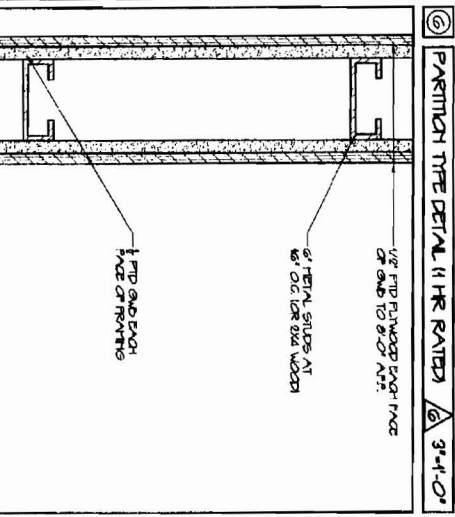
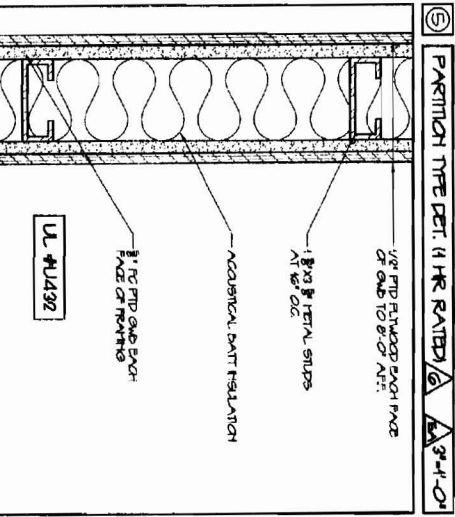
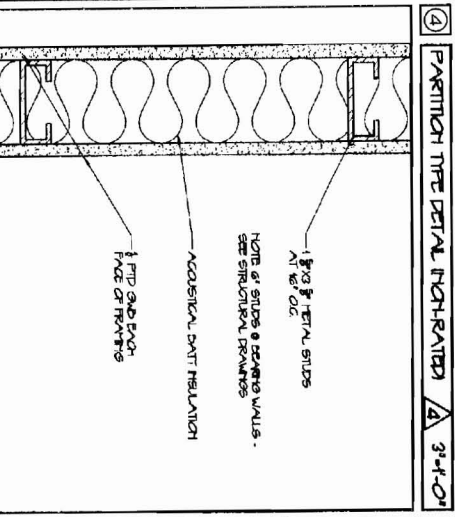
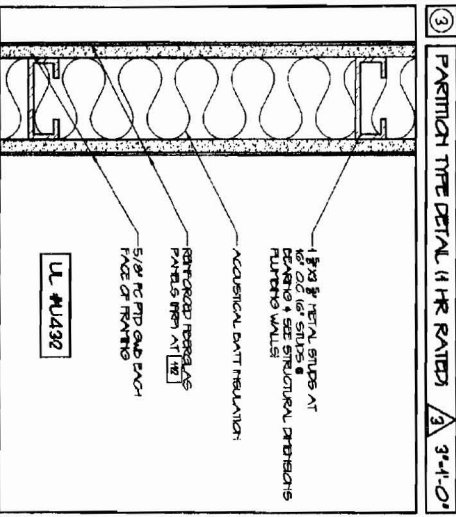
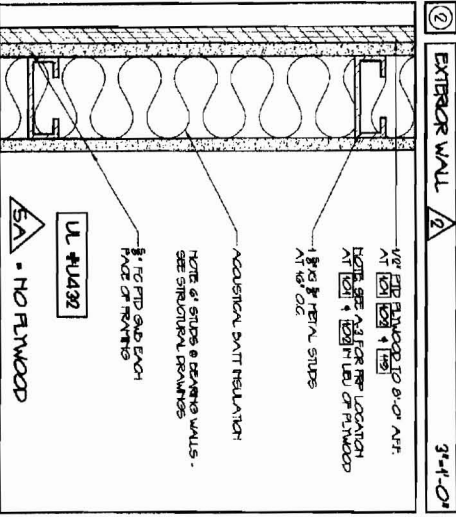
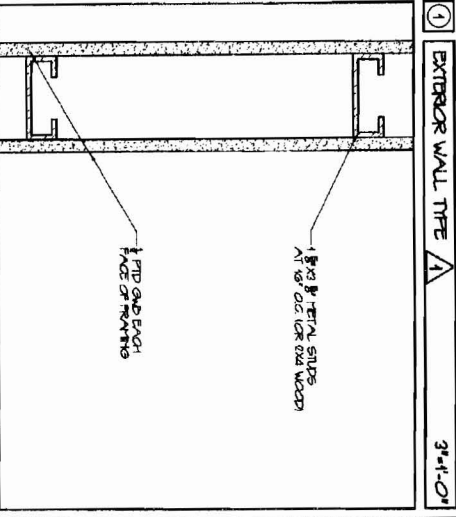
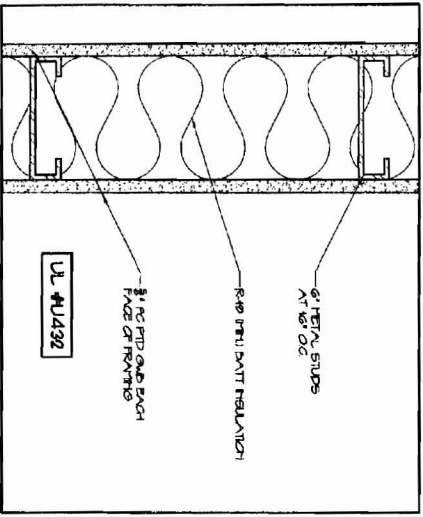
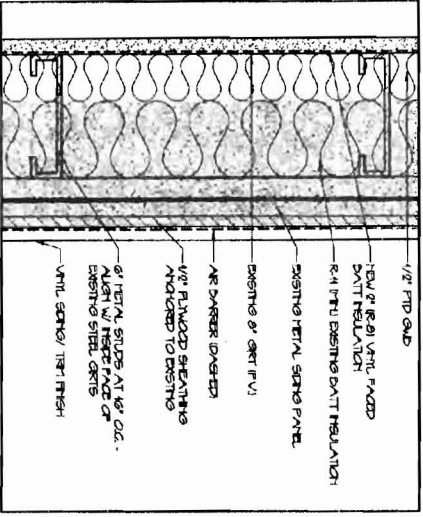
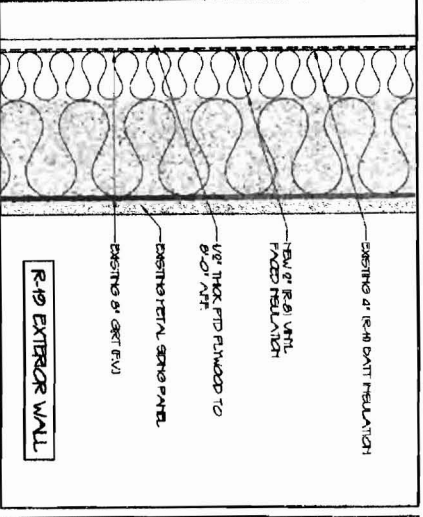
FRAME TYPES 1/4" = 1'-0"



# FINISH SCHEDULE

ACCELERATIONS  
 1.0  
 2.0  
 3.0  
 4.0  
 5.0  
 6.0  
 7.0  
 8.0  
 9.0  
 10.0  
 11.0  
 12.0  
 13.0  
 14.0  
 15.0  
 16.0  
 17.0  
 18.0  
 19.0  
 20.0  
 21.0  
 22.0  
 23.0  
 24.0  
 25.0  
 26.0  
 27.0  
 28.0  
 29.0  
 30.0  
 31.0  
 32.0  
 33.0  
 34.0  
 35.0  
 36.0  
 37.0  
 38.0  
 39.0  
 40.0  
 41.0  
 42.0  
 43.0  
 44.0  
 45.0  
 46.0  
 47.0  
 48.0  
 49.0  
 50.0  
 51.0  
 52.0  
 53.0  
 54.0  
 55.0  
 56.0  
 57.0  
 58.0  
 59.0  
 60.0  
 61.0  
 62.0  
 63.0  
 64.0  
 65.0  
 66.0  
 67.0  
 68.0  
 69.0  
 70.0  
 71.0  
 72.0  
 73.0  
 74.0  
 75.0  
 76.0  
 77.0  
 78.0  
 79.0  
 80.0  
 81.0  
 82.0  
 83.0  
 84.0  
 85.0  
 86.0  
 87.0  
 88.0  
 89.0  
 90.0  
 91.0  
 92.0  
 93.0  
 94.0  
 95.0  
 96.0  
 97.0  
 98.0  
 99.0  
 100.0

NO.	NAME	WALLS			FLOOR			Q&B A		Q&B D		REMARKS
		H	E	S	W	HALL	BASE	HALL	TYPE	HT	TYPE	
101	DOOR SHAP	P	P	P	P	CONC	VOB	-	-	E	VANES	
102	DOOR SHAP	P	P	P	P	CONC	VOB	-	-	E	VANES	
103	RECORDING	P	P	P	P	CONC	VOB	-	-	E	VANES	
104	VESTIBULE	P	P	P	P	CONC	VOB	-	-	E	VANES	
105	STAIR	P	P	P	P	CONC	VOB	-	-	E	VANES	
106	NOT USED	-	-	-	-	-	-	-	-	-	-	
107	WANTON	P	P	P	P	CONC	VOB	-	-	E	VANES	
108	RECEPTION	P	P	P	P	CONC	VOB	-	-	E	VANES	
109	CLUBSET	P	P	P	P	CONC	VOB	-	-	E	VANES	
110	LOBBY	P	P	P	P	CONC	VOB	-	-	E	VANES	
111	TOILET	P	P	P	P	CONC	VOB	-	-	E	VANES	
112	TOILET	P	P	P	P	CONC	VOB	-	-	E	VANES	
113	HALL	P	P	P	P	CONC	VOB	-	-	E	VANES	
114	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
115	HALL	P	P	P	P	CONC	VOB	-	-	E	VANES	
116	HALL	P	P	P	P	CONC	VOB	-	-	E	VANES	
117	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
118	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
119	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
120	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
121	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
122	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
123	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
124	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
125	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
126	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
127	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
128	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
129	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
130	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
131	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
132	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
133	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
134	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
135	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
136	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
137	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
138	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
139	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
140	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
141	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
142	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
143	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
144	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
145	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
146	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
147	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
148	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
149	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
150	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
151	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
152	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
153	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
154	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
155	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
156	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
157	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
158	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
159	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
160	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
161	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
162	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
163	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
164	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
165	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
166	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
167	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
168	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
169	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
170	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
171	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
172	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
173	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
174	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
175	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
176	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
177	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
178	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
179	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
180	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
181	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
182	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
183	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
184	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
185	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
186	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
187	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
188	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
189	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
190	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
191	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
192	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
193	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
194	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
195	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
196	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
197	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
198	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
199	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	
200	DMH	P	P	P	P	CONC	VOB	-	-	E	VANES	

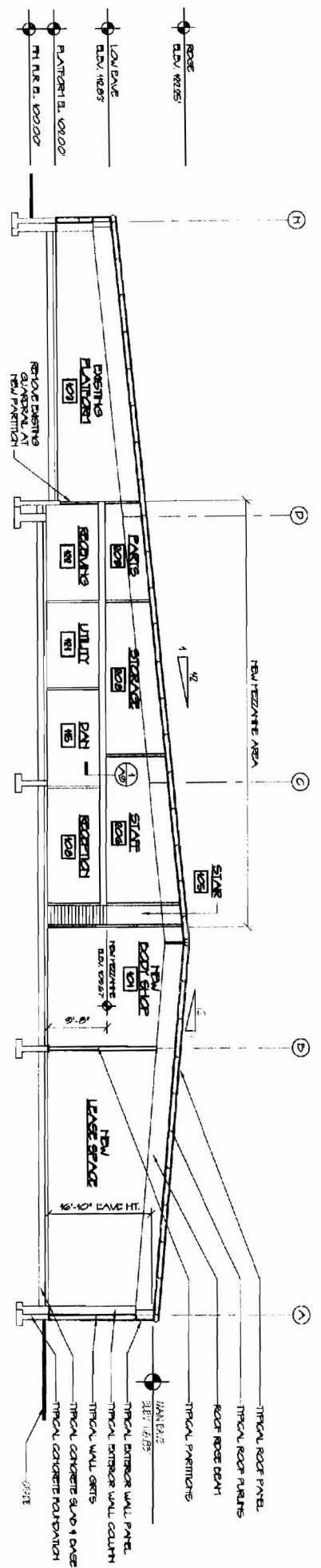
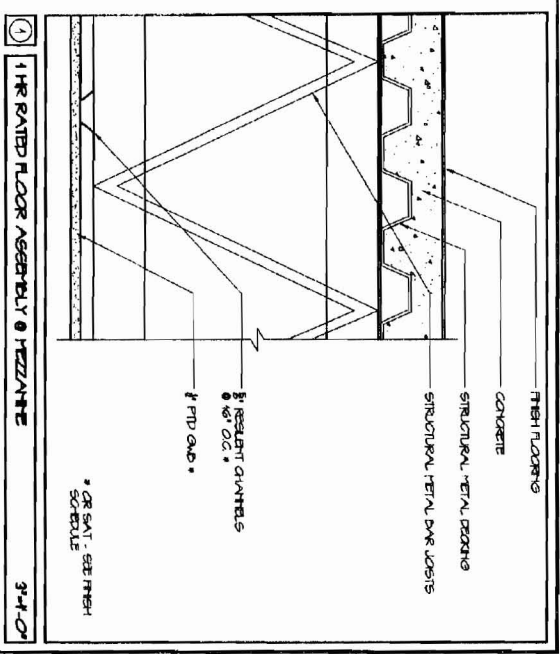


**GRANT HAYS ASSOCIATES**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6179 FALMOUTH, MAINE 04105  
 (207) 871-6000 (207) 871-9308

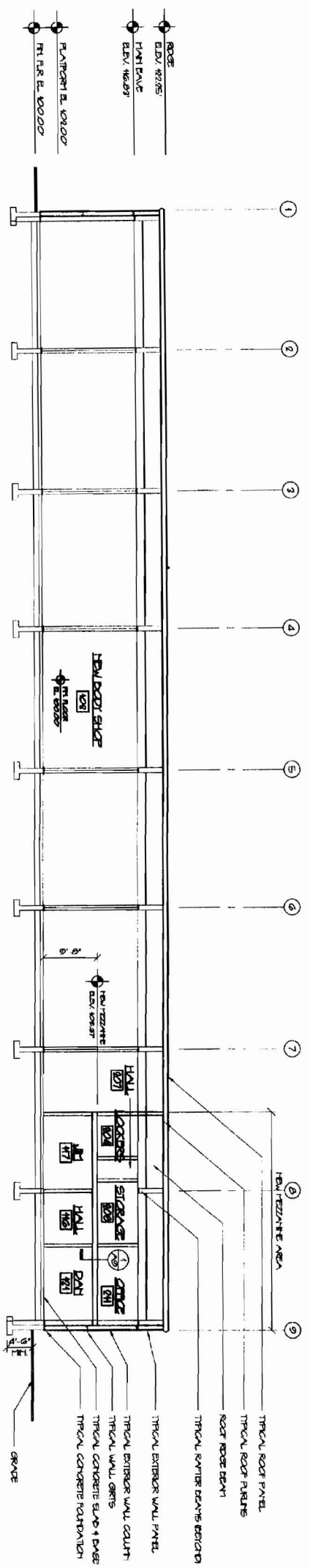
**LOCKARD'S COLLISION CENTER**  
 235 RIVERSIDE STREET PORTLAND, MAINE

REVISIONS  
 DATE: 09 APRIL 09  
 DRAWN BY: PPH/SMT  
 JOB NO: 090401  
 DRAWING NO: **A-8**

FINISHES & DETAILS

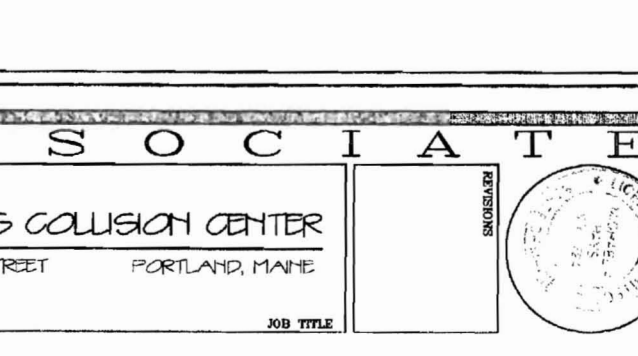
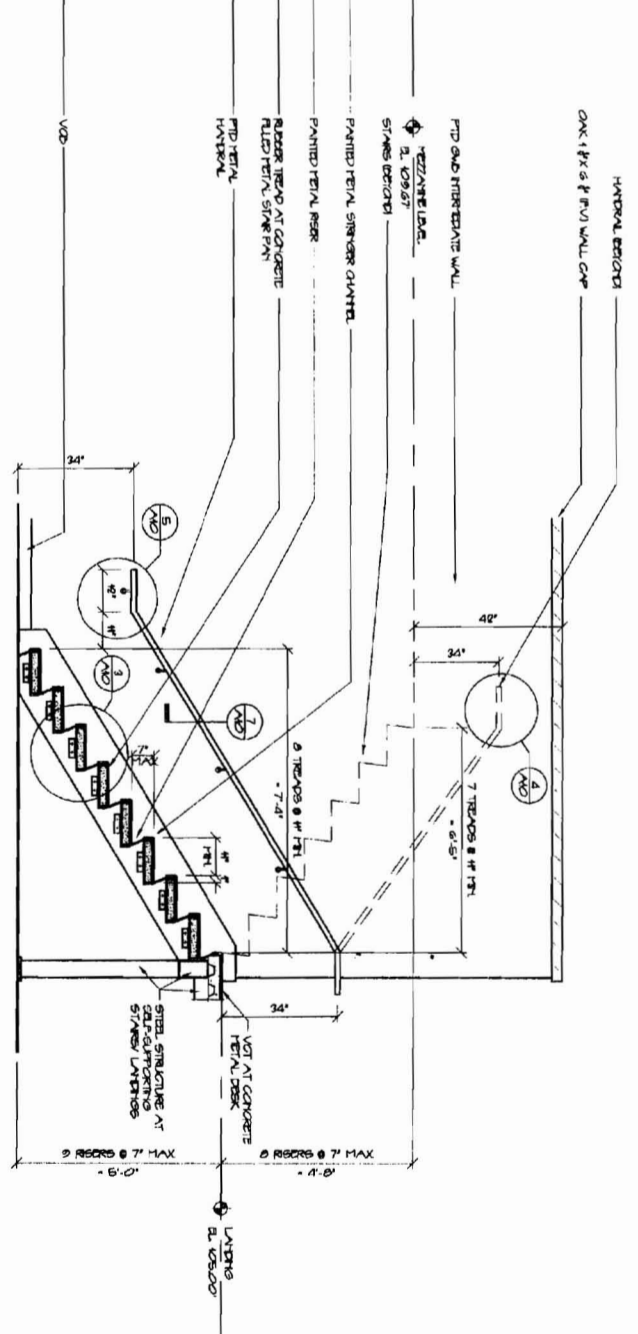
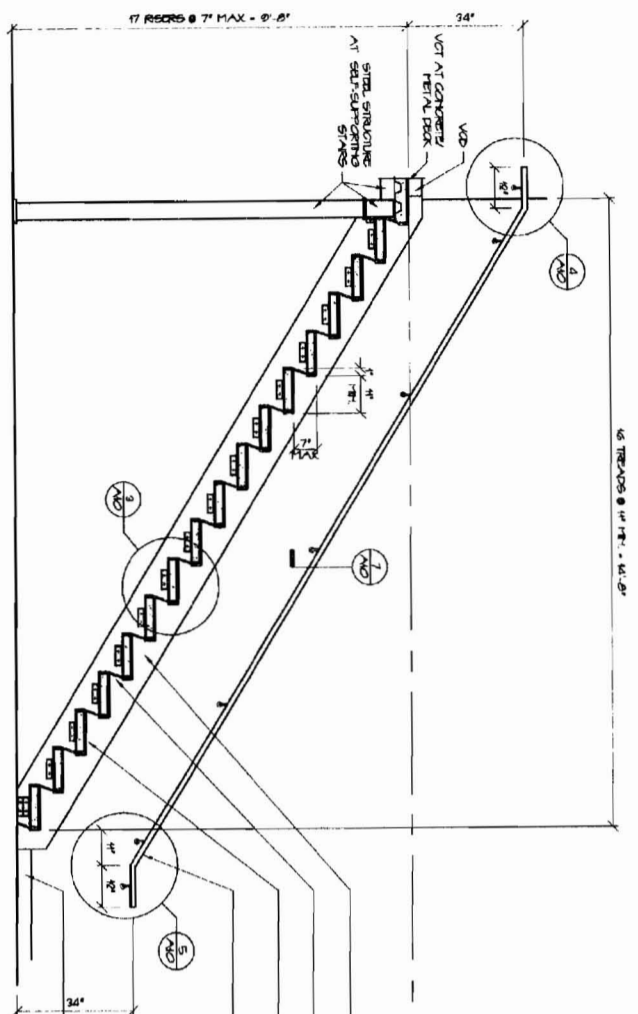


- NOTES:**
1. SECTIONS ARE SUPPLEMENTARY IN NATURE.
  2. SEE SITE DRAWINGS FOR GRADES.
  3. SEE STRUCTURAL DRAWINGS FOR DIMENSIONS.
  4. SEE THE EXISTING BUILDING DRAWINGS FOR DIMENSIONS.
  5. PROVIDE FOR ALL SLAB STRUCTURE.



**G R A N T H A Y S A S S O C I A T E S**

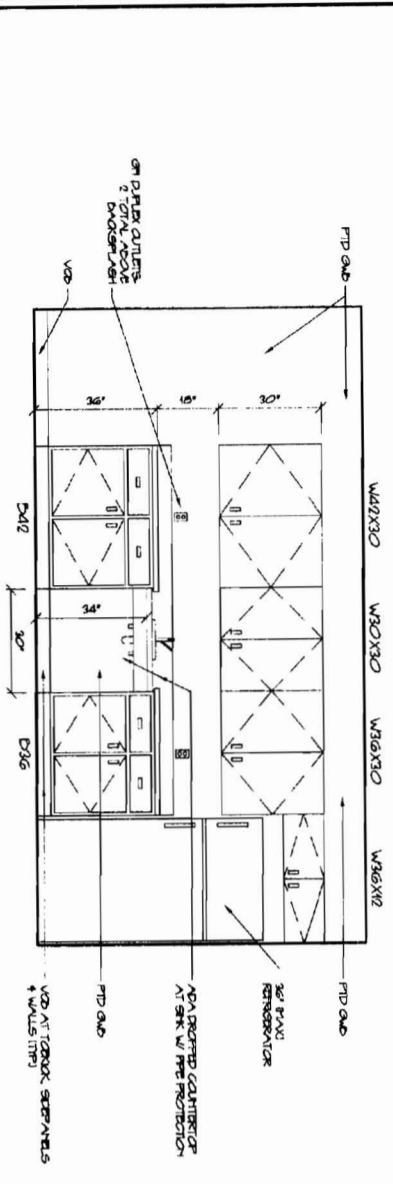
<p>DRAWING NO. <b>A-9</b></p>	<p>DATE 29 APRIL 09 SCALE AS NOTED DRAWN BY SMT/THH JOB NO. 290401</p>	<p><b>ARCHITECTURE INTERIOR DESIGN</b> P.O. BOX 6178 FALMOUTH, MAINE 04105 (207) 871-8900</p>	<p><b>LOCKARD'S COLLISION CENTER</b> 235 RIVERSIDE STREET PORTLAND, MAINE (207) 871-8908</p>	<p>REVISIONS</p>	<p><b>PROFESSIONAL SEAL</b> S. M. TAYLOR ARCHITECT MAINE</p>
<p>BUILDING SECTIONS</p>		<p>JOB TITLE</p>			



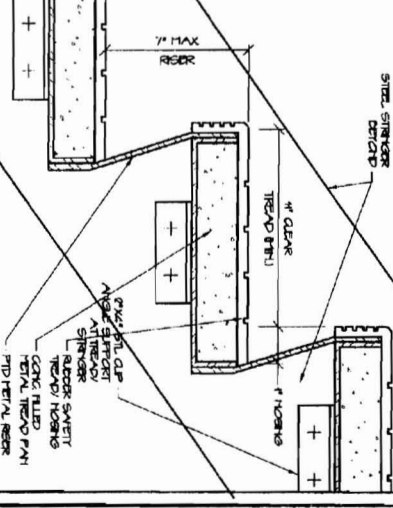
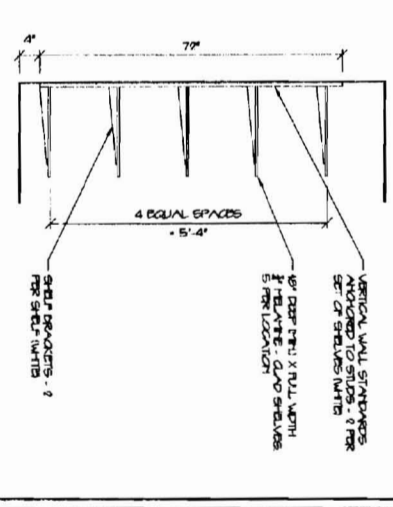
STAR KITCHEN SECTION

STAR KITCHEN SECTION

STAR KITCHEN SECTION



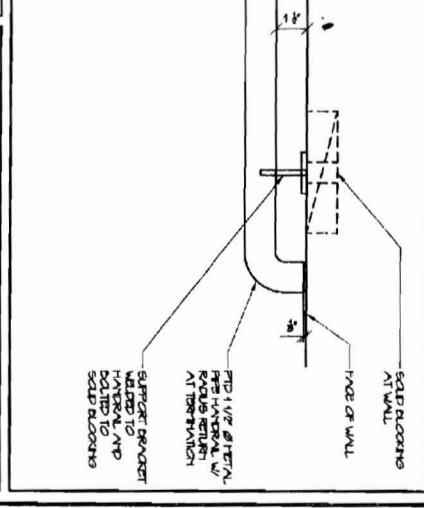
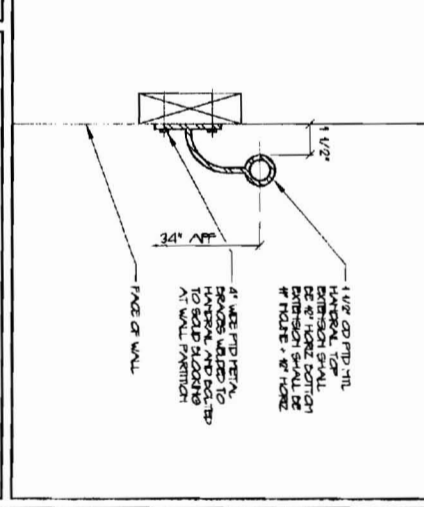
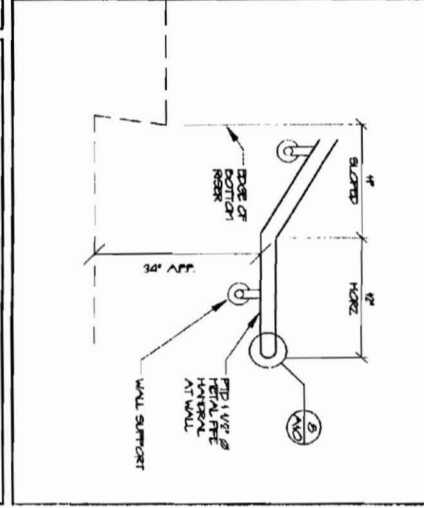
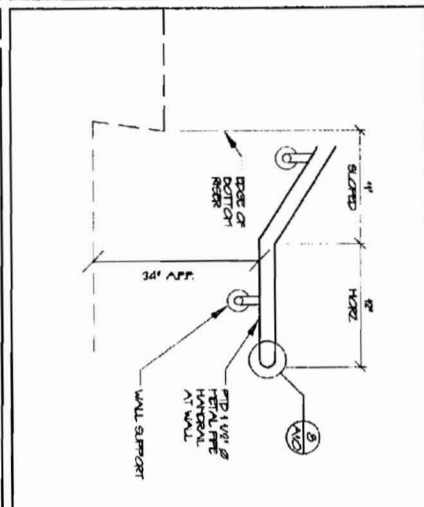
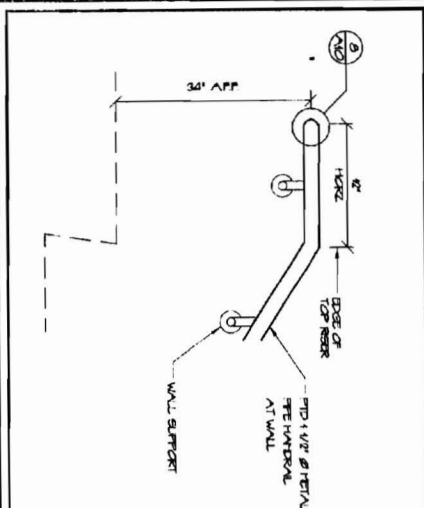
- NOTES:
- CABINETS SHALL BE PAINTED WHITE AND WOOD TRIM SHALL BE PAINTED WHITE.
  - COUNTERTOP & BACKSPLASH SHALL BE POLISHED GRANITE.
  - SEE TO SHEET FOR APPLICABLE REQUIREMENTS.



KITCHEN CABINETS ELEVATION

SHelves DETAIL

STAR DETAIL



HORIZONTAL EXTENSION DETAIL - TOP

HORIZONTAL EXTENSION - BOTTOM

HORIZONTAL/QUADRANT EXTENSION

WALL MOUNTED HORIZONTAL DETAIL

HAND RETURN WALL

GRANT HAYS ASSOCIATES

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 6179 FALMOUTH, MAINE 04105

LOCKARD'S COLLISION CENTER  
235 RIVERSIDE STREET PORTLAND, MAINE

STARS

DRAWING TITLE

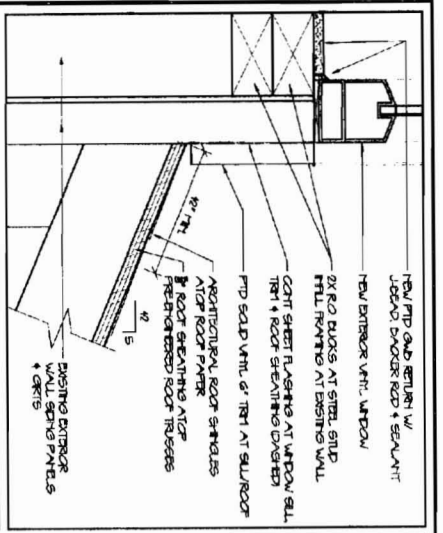
DATE: 09 APR 09  
SCALE: AS NOTED  
DRAWN BY: PTH/SAM  
JOB NO.: 090401

DRAWING NO.: A-10

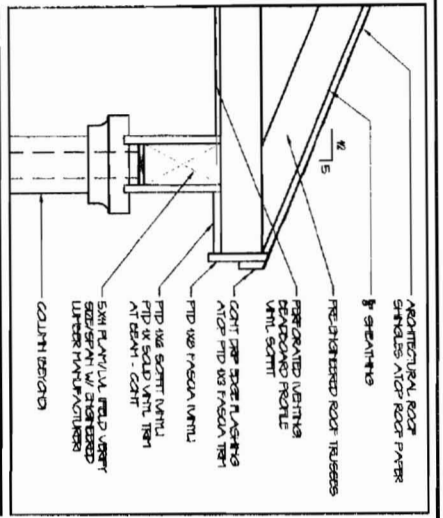
REVISIONS

JOB TITLE

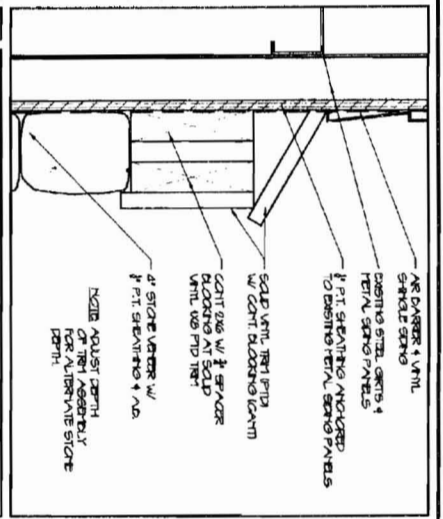




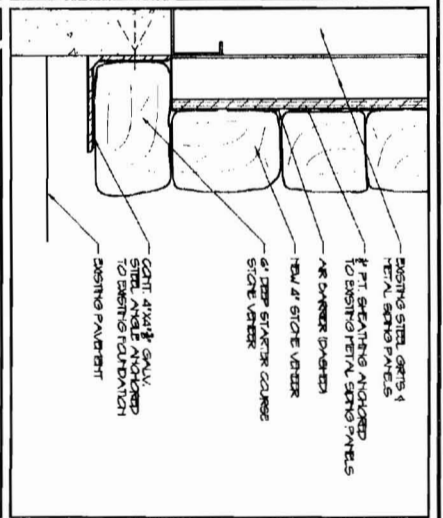
1 CANTON DETAIL @ WINDOW 3'-4"-0"



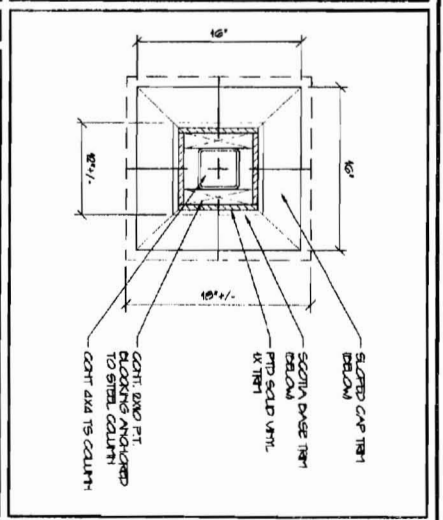
2 CANTON FACADA DETAIL 1'-0"-0"



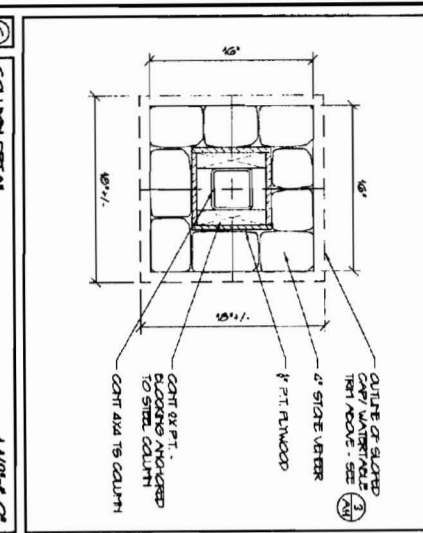
3 WATERTABLE TRIM DETAIL 3'-4"-0"



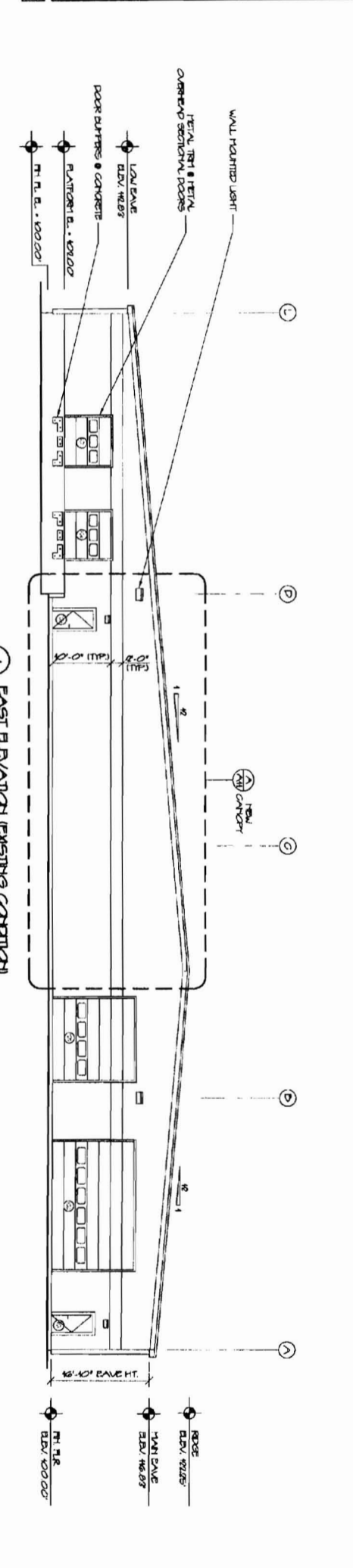
4 STORE VENTURE BASE DETAIL 3'-4"-0"



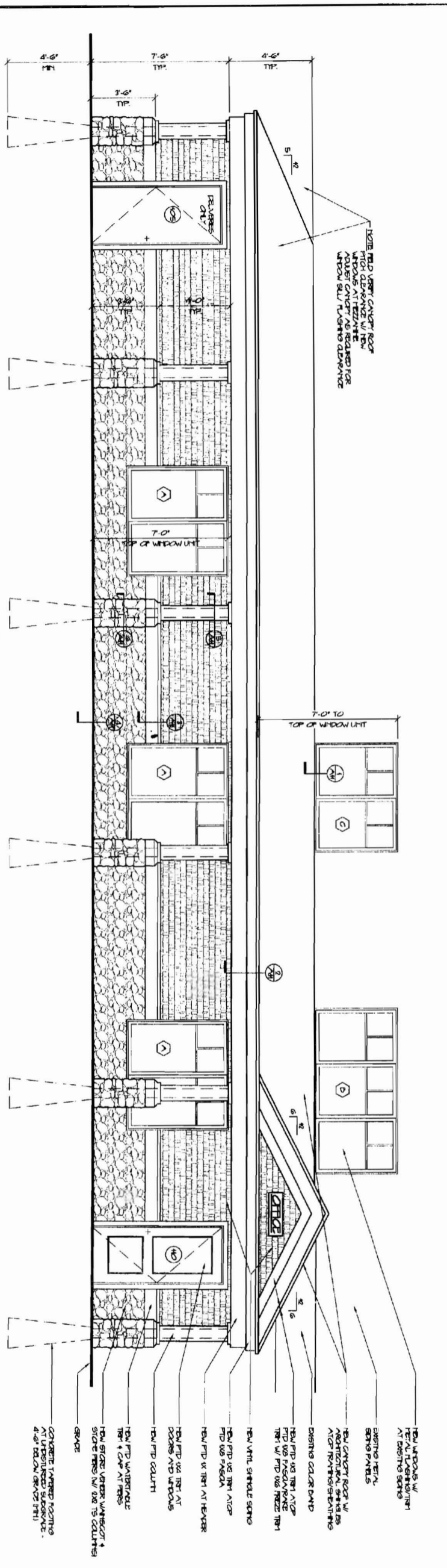
5 COLUMN DETAIL 1'-0"-0"



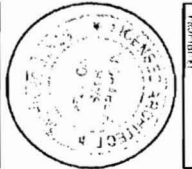
6 COLUMN DETAIL 1'-0"-0"



7 EAST ELEVATION EXISTING CONDITION SCALE 3/8" = 1'-0"



8 CANTON AREA ELEVATION SCALE 3/8" = 1'-0"



A-11

DATE 29 APRIL 08  
DRAWN BY S.M./M.H.  
JOB NO. 090401  
SCALE AS NOTED  
EXTERIOR ELEVATIONS

ARCHITECTURE  
INTERIOR DESIGN  
P.O. BOX 6170 FALMOUTH, MAINE 04105  
(207) 871-6900 (207) 871-9308

LOCKARD'S COLLISION CENTER  
235 RIVERSIDE STREET PORTLAND, MAINE

CONSTRUCTION OR VIOLATION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM GRANT BASS ASSOCIATES IS PROHIBITED.



REVISIONS

--	--

ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6179 FALMOUTH, MAINE 04106  
 (207) 871-9900

LOOKARD'S COLLISION CENTER  
 235 RIVERSIDE STREET  
 PORTLAND, MAINE  
 JOB TITLE

ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6179 FALMOUTH, MAINE 04106  
 (207) 871-9900

ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6179 FALMOUTH, MAINE 04106  
 (207) 871-9900

ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6179 FALMOUTH, MAINE 04106  
 (207) 871-9900

ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6179 FALMOUTH, MAINE 04106  
 (207) 871-9900

SCALE AS NOTED  
 DATE 29 APRIL 09  
 DRAWN BY SAN/MTM  
 JOB NO. 090401  
 DRAWING NO.  
**A-12**

