

GENERAL NOTES

- THE RECORD OWNER OF THE PARCEL IS DOWNEAST VETERINARY EMERGENCY CLINIC, 739 WARREN AVENUE, PORTLAND, MAINE 04103, BY DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN IN BOOK 202, PG. 612.
- THE PROPERTY IS SHOWN AS CHART 318 BLOCK A LOT 005 ON THE CITY OF PORTLAND TAX MAP AND IS LOCATED IN THE I-M MODERATE IMPACT INDUSTRIAL ZONE.

AREAS WITHIN 250 FT OF THE PRESUMPSCOT RIVER ARE SUBJECT TO SHORELAND ZONING. SHORELAND ZONING REQUIREMENTS INCLUDE VARIOUS DEVELOPMENT LIMITATIONS FOR STRUCTURES, CLEARING AND IMPERVIOUS AREAS. STATE AND LOCAL REGULATIONS SHOULD BE REVIEWED FOR FURTHER INFORMATION.

SPACE AND BULK REQUIREMENTS: (I-M ZONE)
MIN. LOT SIZE: 10,000 SF.
MIN. FRONTAGE: 60 FT.

FRONT SETBACK: EACH STRUCTURE SHALL BE SETBACK 1 FOOT FROM THE FRONT PROPERTY LINE FOR EACH FOOT OF BUILDING HEIGHT.

SIDE SETBACK: EACH STRUCTURE SHALL BE SET BACK 1 FOOT FROM EACH SIDE PROPERTY LINE FOR EACH FOOT OF BUILDING HEIGHT UP TO 25 FEET, EXCEPT THAT THE MINIMUM SIDE YARD SHALL BE 35 FEET WHEN THE SIDE PROPERTY LINE ABUTS A RESIDENTIAL ZONE.

REAR SETBACK: EACH STRUCTURE SHALL BE SET BACK 1 FOOT FROM EACH REAR PROPERTY LINE FOR EACH FOOT OF BUILDING HEIGHT UP TO 25 FEET, EXCEPT THAT THE MINIMUM SIDE YARD SHALL BE 35 FEET WHEN THE SIDE PROPERTY LINE ABUTS A RESIDENTIAL ZONE.

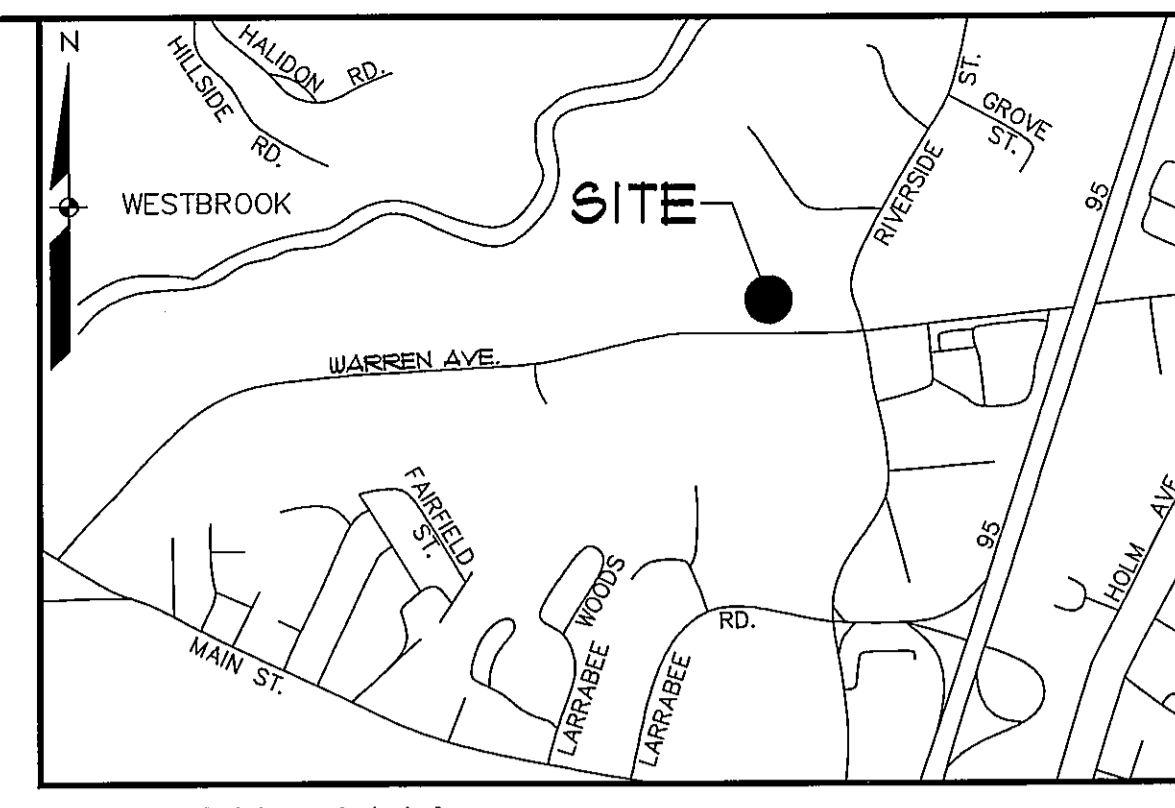
RESOURCE SETBACK: 15 FT (IN SHORELAND ZONE)
MAX. BUILDING HEIGHT: 15 FT.

MAX. IMPERVIOUS SURFACE RATIO: 15% (I-M ZONE) (SEE NOTE 10).
- SURVEY AND PLAN REFERENCES:
A. EXISTING CONDITIONS PLAN, SHEET 2 OF 16, FOR HAMMOND LUMBER COMPANY, BY SEBAGO TECHNICS, INC. LATEST REVISION 3-10-08.
B. UTILITY PLAN, SHEET 6 OF 16, FOR HAMMOND LUMBER COMPANY, BY SEBAGO TECHNICS, INC. LATEST REVISION 4/23/03.
C. FINAL SUBDIVISION RECORDING PLAT, FOR C4N ENTERPRISES, BY THE SHERIDAN CORPORATION, LATEST REVISION 9-26-01. RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 165, PAGE 61.
D. GRADING AND UTILITY PLAN, SHEET 8 OF 18, FOR BOULOS PROPERTY MANAGEMENT, BY SEBAGO TECHNICS, INC. LATEST REVISION 11/15/12.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK PERFORMED BY SEBAGO TECHNICS, INC. IN DECEMBER 2012. BENCHMARK: LIGHT POLE BASE SWLY TOP OF CONC. ELEV. +51.52 ON WARREN DEVELOPMENT II LLC 4 CHUNKY MONKEY LLC PARCEL (PLAN BK 23614 / PG 050).
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83, ELEVATIONS DEPICTED HEREON ARE NAVD83, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.

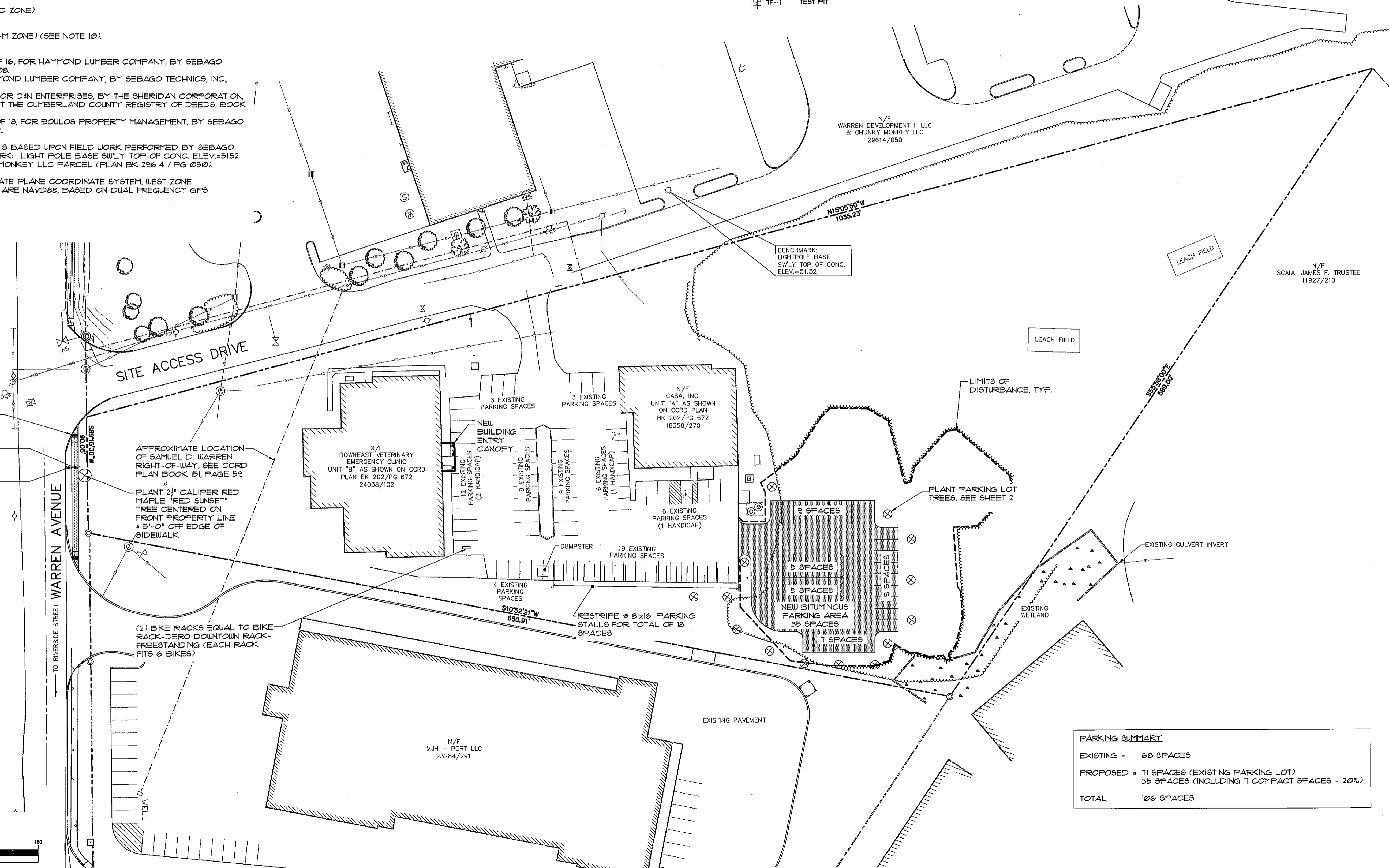
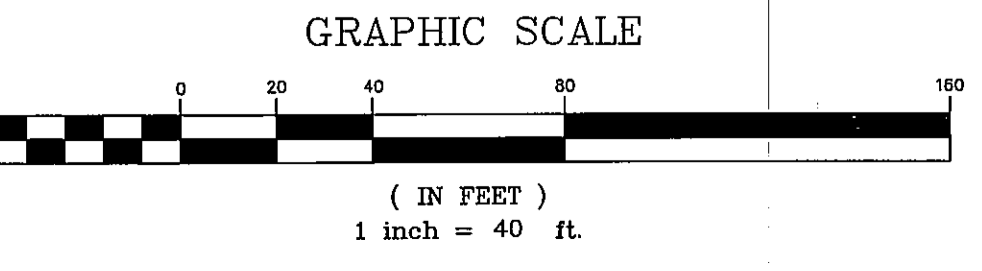
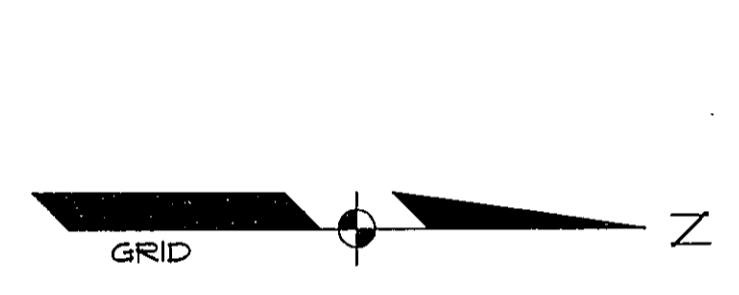
- NATURAL RESOURCES INVENTORY: A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE IN DECEMBER 2012 BY GARY FULLERTON, C98, LSE OF SEBAGO TECHNICS, INC. THIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1981 WETLANDS DELINEATION MANUAL AND REGIONAL SUPPLEMENT AUTHORED AND PUBLISHED BY THE U.S. ARMY CORPS OF ENGINEERS. ALL WETLAND FLAGS WERE LOCATED USING GLOBAL POSITIONING SYSTEMS (GPS) TECHNOLOGY. ALL GPS LOCATED POINTS HAVE A VARYING DEGREE OF ACCURACY AND MAY NOT REPRESENT THE ACTUAL FIELD LOCATION. WETLAND LIMITS SHALL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- UTILITY AND OTHER OFFSITE INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED DURING FIELD WORK PERFORMED BY SEBAGO TECHNICS, INC. IN DECEMBER 2012 AND PLAN REFERENCES A, B AND D. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL BMPs" MANUAL PUBLISHED BY BUREAU OF LAND AND WATER QUALITY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- SNOW STORAGE AREAS ARE PROVIDED AS SHOWN ON SHEET 2. SNOW SHALL NOT BE STORED ALONG THE NORTH SIDE OF THE PARKING LOT AND AREAS ADJACENT TO UNDERDRAINED SOIL FILTER #1.
- THE TOTAL PROPOSED IMPERVIOUS AREA IS 13,201 SF, AND THE EXISTING IMPERVIOUS AREA IS APPROXIMATELY 50,350 SF, RESULTING IN A 21.80% IMPERVIOUS SURFACE RATIO OVER THE 5.27 ACRE PROJECT PARCEL.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	EASEMENT	---
---	ABUTTER LINE/ROW	---
○	IRON PIPE/ROD	○
□	BENCHMARK	□
▭	BUILDING	▭
▨	WETLANDS	▨
▧	EDGE WETLAND	▧
▩	EDGE PAVEMENT	▩
▪	PAVEMENT PAINT	▪
▫	TREELINE	▫
▬	LIMITS OF DISTURBANCE	▬
○	CULVERTY STORMDRAIN	○
○	CATCH BASIN	○
○	DRAINAGE #1	○
○	LIGHT POLE/WALL	○
○	UTILITY POLE	○
○	SEWER #1	○
○	ELECTRICAL MANHOLE	○
○	TRANSFORMER PAD	○
○	WATER SHUT OFF	○
○	HYDRANT	○
○	POTABLE WELL	○
○	GAS GATE VALVE	○
○	TEST PIT	○



STATE OF MAINE
CRAIG A. BURGESS
No. 12838
PROFESSIONAL ENGINEER
9-3-13



PARKING SUMMARY

EXISTING =	68 SPACES
PROPOSED =	11 SPACES (EXISTING PARKING LOT) 35 SPACES (INCLUDING 7 COMPACT SPACES - 20%)
TOTAL	106 SPACES

REV.	DATE	BY	STATUS
D	06-05-13	CAB	ADDED BUILDING ENTRY CANOPY & RESUBMITTED
C	06-07-13	CAB	REVISED PER CITY COMMENTS
B	06-18-13	CAB	SUBMITTED FOR CITY REVIEW
A	02-21-13	CAB	SUBMITTED FOR CITY REVIEW & APPROVAL

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

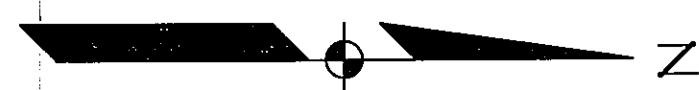
SEBAGO TECHNICS
WWW.SEAGOTECHNICS.COM
75 John Roberts Rd., Suite 1A
South Portland, ME 04106
Tel: 207.253.8600
Fax: 207.253.8600

PROJECT NO.: 12376
FIELD BOOK: []
DESIGN: []
ELECTRONIC: []
DRAWN: []
CAB: []

SITE PLAN
OF:
PARKING LOT EXPANSION
739 WARREN AVENUE
PORTLAND, ME 04103
FOR:
DOWNEAST VETERINARY EMERGENCY CLINIC
739 WARREN AVENUE
PORTLAND, ME 04103

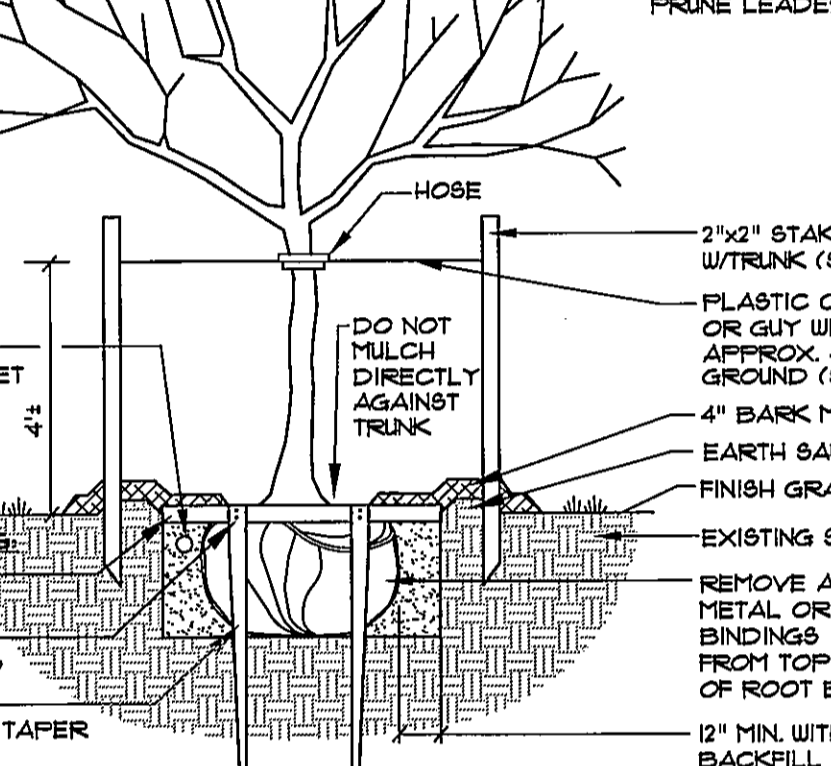
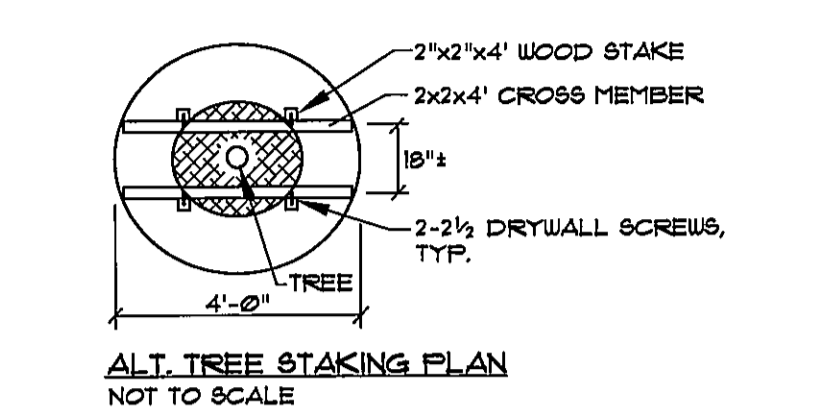
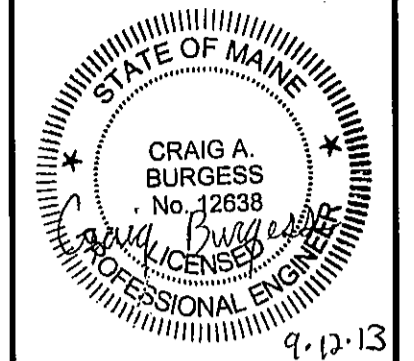
DATE: 02-21-13
SCALE: 1"=40'

SHEET 1 OF 6



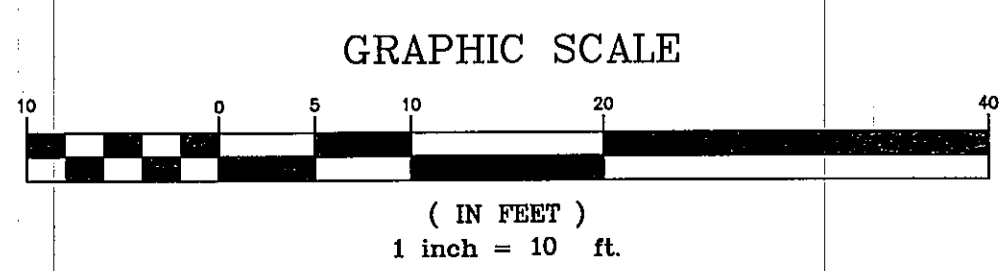
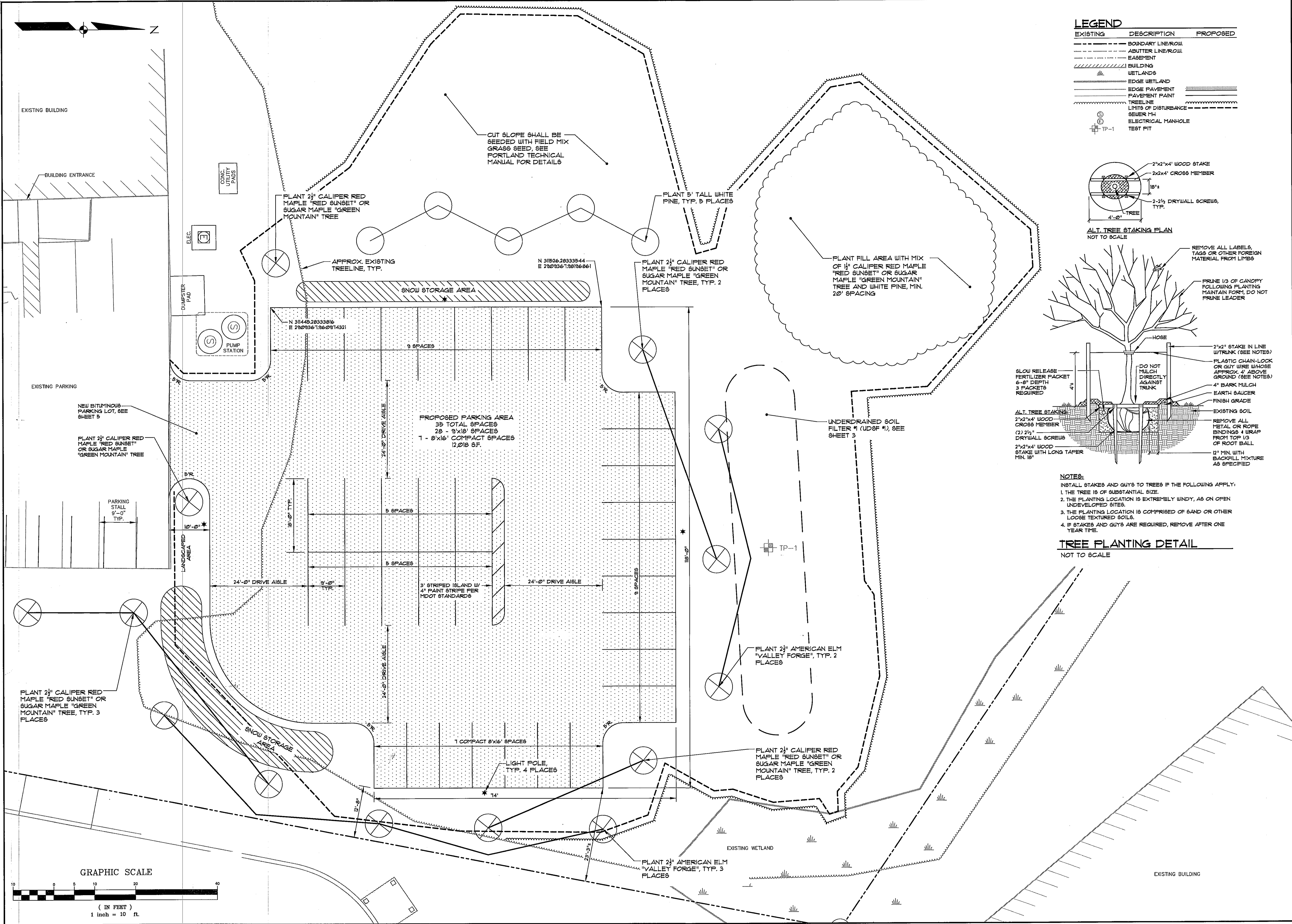
LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROLL	---
---	ADJUTER LINE/ROLL	---
---	EASEMENT	---
	BUILDING	
	WETLANDS	
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---	TREELINE	---
---	LIMITS OF DISTURBANCE	---
---	SEWER MH	---
---	ELECTRICAL MANHOLE	---
---	TEST PIT	---



- NOTES:**
1. THE TREE IS OF SUBSTANTIAL SIZE.
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

TREE PLANTING DETAIL
NOT TO SCALE



REV.	DATE	BY	STATUS
D	08-12-13	CAB	REVISED PER CITY COMMENTS & RESUBMITTED
C	08-07-13	CAB	REVISED PER CITY COMMENTS
B	08-13-13	CAB	SUBMITTED FOR CITY REVIEW
A	02-21-13	CAB	SUBMITTED FOR CITY REVIEW & APPROVAL

SEBAGO
T E C H N I C I A N S
WWW.SEBOGOTECHNICALS.COM
75 John Deere Road, South Portland, ME 04106
Tel: 207-280-2100

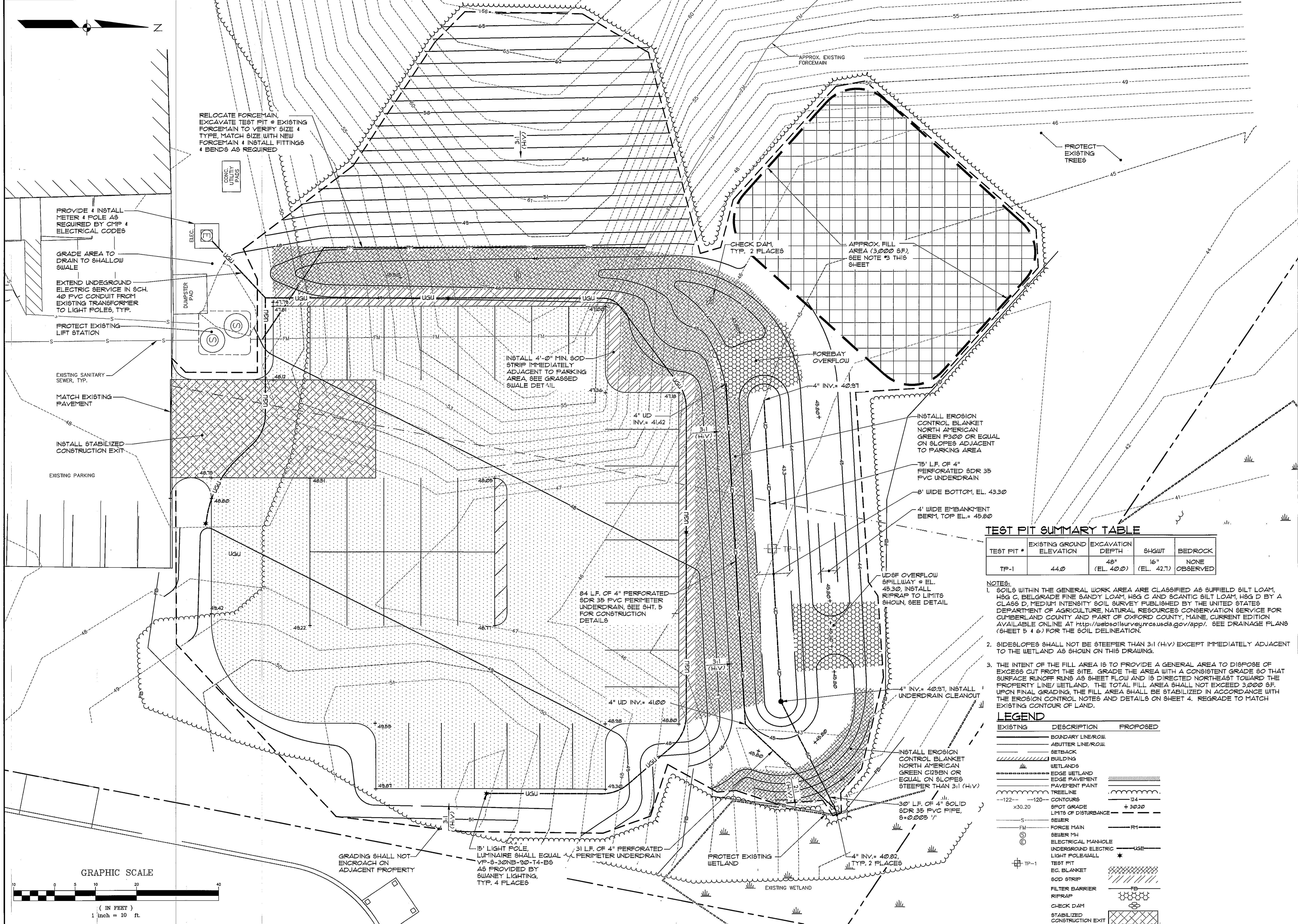
PROJECT NO.	12376
FIELD BOOK	
DESIGN	CHKD
ELECTRONIC DAM/CAB	CAB
DRAWN	CAB

SITE PLAN
OF: **PARKING LOT EXPANSION**
739 WARREN AVENUE
PORTLAND, ME 04103
FOR: **DOWNEAST VETERINARY EMERGENCY CLINIC**
739 WARREN AVENUE
PORTLAND, ME 04103

DATE	SCALE
02-21-13	1"=10'

SHEET 2 OF 6

12376S.dwg, TAB: S2



RELOCATE FORCEMAIN
EXCAVATE TEST PIT @ EXISTING
FORCEMAIN TO VERIFY SIZE &
TYPE. MATCH SIZE WITH NEW
FORCEMAIN & INSTALL FITTINGS
& BENDS AS REQUIRED

PROVIDE & INSTALL
METER & POLE AS
REQUIRED BY CMP &
ELECTRICAL CODES

GRADE AREA TO
DRAIN TO SHALLOW
SWALE

EXTEND UNDERGROUND
ELECTRIC SERVICE IN SCH.
40 PVC CONDUIT FROM
EXISTING TRANSFORMER
TO LIGHT POLES, TYP.

PROTECT EXISTING
LIFT STATION

EXISTING SANITARY
SEWER, TYP.

MATCH EXISTING
PAVEMENT

INSTALL STABILIZED
CONSTRUCTION EXIT

EXISTING PARKING

CONC.
UTILITY
PILES

DUMPSTER
PAD

INSTALL 4'-0" MIN SOD
STRIP IMMEDIATELY
ADJACENT TO PARKING
AREA. SEE GRASSED
SWALE DETAIL

84 LF. OF 4" PERFORATED
SDR 35 PVC PERIMETER
UNDERDRAIN. SEE SHT. 5
FOR CONSTRUCTION
DETAILS

INSTALL EROSION
CONTROL BLANKET
NORTH AMERICAN
GREEN P300 OR EQUAL
ON SLOPES ADJACENT
TO PARKING AREA

75' LF. OF 4" PERFORATED
SDR 35 PVC UNDERDRAIN

8' WIDE BOTTOM, EL. 43.30

4' WIDE EMBANKMENT
BERM, TOP EL. = 45.80

UD&F OVERFLOW
SPILLWAY @ EL.
45.30, INSTALL
RIFRAP TO LIMITS
SHOWN, SEE DETAIL

INSTALL EROSION
CONTROL BLANKET
NORTH AMERICAN
GREEN C125B OR
EQUAL ON SLOPES
STEEPER THAN 3:1 (H:V)

30' LF. OF 4" SOLID
SDR 35 PVC PIPE,
5-0.005 1/1"

PROTECT EXISTING
WETLAND

15' LIGHT POLE,
LUMINAIRE SHALL EQUAL
VF-S-32NB-30-T4-B5
AS PROVIDED BY
SUANEY LIGHTING,
TYP. 4 PLACES

31 LF. OF 4" PERFORATED
PERIMETER UNDERDRAIN

PROTECT EXISTING
WETLAND

EXISTING WETLAND

GRADING SHALL NOT
ENCROACH ON
ADJACENT PROPERTY

APPROX. EXISTING
FORCEMAIN

CHECK DAM,
TYP. 2 PLACES

APPROX. FILL
AREA (3,000 SF),
SEE NOTE #3 THIS
SHEET

PROTECT
EXISTING
TREES

TEST PIT SUMMARY TABLE

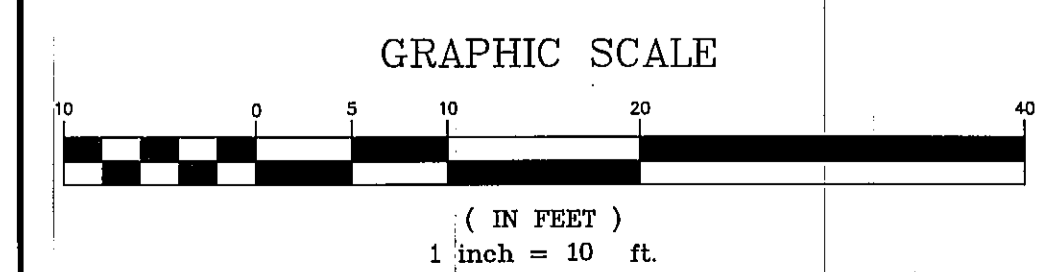
TEST PIT #	EXISTING GROUND ELEVATION	EXCAVATION DEPTH	SH&WT	BEDROCK
TP-1	44.0	48" (EL. 40.0)	16" (EL. 42.7)	NONE OBSERVED

NOTES:

- SOILS WITHIN THE GENERAL WORK AREA ARE CLASSIFIED AS SUFFIELD SILT LOAM, H&G C, BELGRADE FINE SANDY LOAM, H&G C AND SCANTIC SILT LOAM, H&G D BY A CLASS D, MEDIUM INTENSITY SOIL SURVEY PUBLISHED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE FOR CUMBERLAND COUNTY AND PART OF OXFORD COUNTY, MAINE, CURRENT EDITION. AVAILABLE ONLINE AT <http://websoilsurvey.scrs.usda.gov/app/>. SEE DRAINAGE PLANS (SHEET 5 & 6) FOR THE SOIL DELINEATION.
- SIDESLOPES SHALL NOT BE STEEPER THAN 3:1 (H:V) EXCEPT IMMEDIATELY ADJACENT TO THE WETLAND AS SHOWN ON THIS DRAWING.
- THE INTENT OF THE FILL AREA IS TO PROVIDE A GENERAL AREA TO DISPOSE OF EXCESS CUT FROM THE SITE. GRADE THE AREA WITH A CONSISTENT GRADE SO THAT SURFACE RUNOFF RUNS AS SHEET FLOW AND IS DIRECTED NORTHEAST TOWARD THE PROPERTY LINE/ WETLAND. THE TOTAL FILL AREA SHALL NOT EXCEED 3,000 SF. UPON FINAL GRADING, THE FILL AREA SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL NOTES AND DETAILS ON SHEET 4. REGRADE TO MATCH EXISTING CONTOUR OF LAND.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	PAVEMENT PAINT	---
---	TREELINE	---
---	CONTOURS	---
---	SPOT GRADE	---
---	LIMITS OF DISTURBANCE	---
---	SEWER	---
---	FORCE MAIN	---
---	SEWER MH	---
---	ELECTRICAL MANHOLE	---
---	UNDERGROUND ELECTRIC	---
---	LIGHT POLE/WALL	---
---	TEST PIT	---
---	EC BLANKET	---
---	SOD STRIP	---
---	FILTER BARRIER	---
---	RIFRAP	---
---	CHECK DAM	---
---	STABILIZED CONSTRUCTION EXIT	---



STATE OF MAINE
CRAIG A. BURGESS
No. 12838
LICENSED PROFESSIONAL ENGINEER
2-6-13

REV.	BY:	DATE:	STATUS:
E	CAB	09-06-13	REVISED LIGHTING & RESUBMITTED
D	CAB	09-03-13	ADDED LIGHT POLES, REVISED ELECTRICAL SERVICES & RESUBMITTED
C	CAB	08-07-13	REVISED PER CITY COMMENTS
B	CAB	06-13-13	SUBMITTED FOR CITY REVIEW
A	CAB	02-21-13	SUBMITTED FOR CITY REVIEW & APPROVAL

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SEBAGO
TECHNIQS
75 John Robards Rd., Suite 1A
South Portland, ME 04106
Tel. 207-262-1101

PROJECT NO. 12376
FIELD BOOK
DESIGN
ELECTRONIC DAM/CAB
DRAWN
CAB
CAB
CAB

GRADING & UTILITY PLAN
OF:
PARKING LOT EXPANSION
739 WARREN AVENUE
PORTLAND, ME 04103
FOR:
DOWNEAST VETERINARY EMERGENCY CLINIC
739 WARREN AVENUE
PORTLAND, ME 04103

DATE: 02-21-13
SCALE: 1"=10'

SHEET 3 OF 6

12376GU.dwg, TAB: GU1

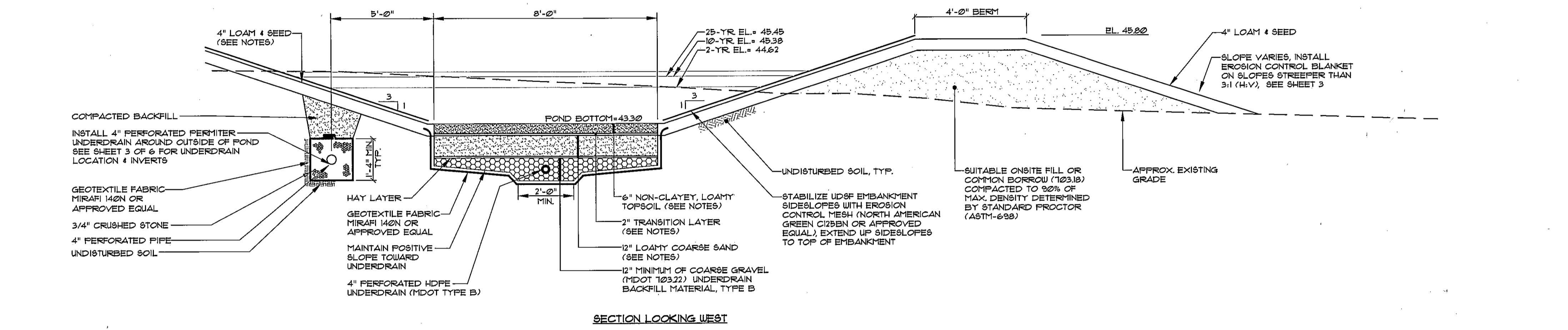
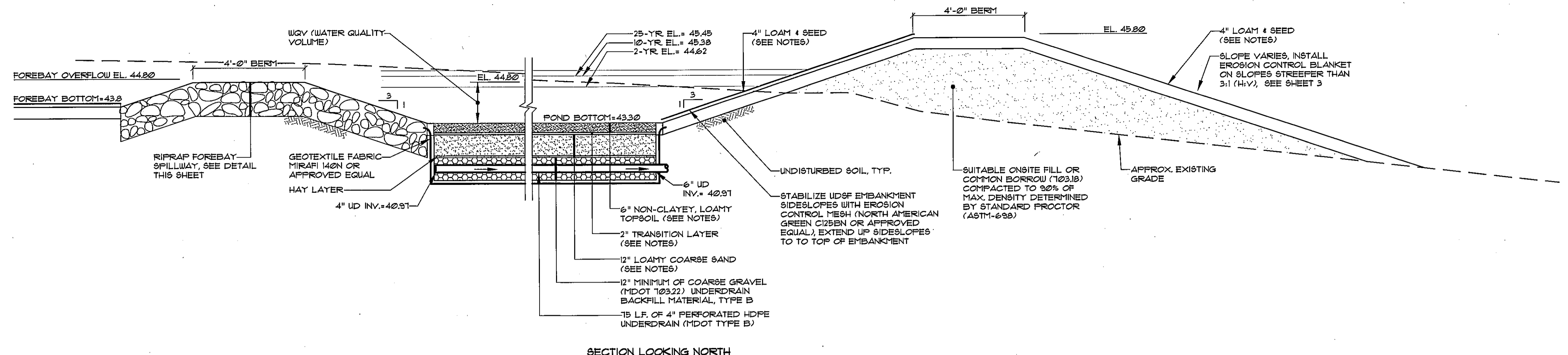
UNDERDRAINED SOIL FILTER INSPECTION & MAINTENANCE

1. ECOMAINE SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE UNDERDRAINED SOIL FILTER.
2. DURING THE FIRST YEAR, THE BASIN SHALL BE INSPECTED SEMI-ANNUALLY AND FOLLOWING MAJOR STORM EVENTS.
3. DEBRIS AND SEDIMENT BUILDUP SHALL BE REMOVED FROM THE FOREBAY AND BASIN AS NEEDED. MOUING OF A GRASSSED BASIN CAN OCCUR SEMI-ANNUALLY TO A HEIGHT NO LESS THAN 6 INCHES. ANY BARE AREA OR EROSION RILLS SHALL BE REPAIRED WITH NEW FILTER MEDIA OR SANDY LOAM THEN SEEDED AND MULCHED. MAINTAINING GOOD GRASS COVER WILL MINIMIZE CLOGGING WITH FINE SEDIMENTS AND IF FONDING EXCEEDS 48 HOURS, THE TOP OF THE FILTER BED MUST BE ROTOTILLED TO REESTABLISH THE SOIL'S FILTRATION CAPACITY.
4. THE SOIL FILTER SHOULD BE INSPECTED AFTER EVERY MAJOR STORM IN THE FIRST YEAR TO BE SURE IT IS FUNCTIONING PROPERLY. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST ONCE EVERY SIX MONTHS TO ENSURE THAT IT IS DRAINING WITHIN 48 HOURS FOLLOWING A ONE INCH STORM OR GREATER, AND THAT FOLLOWING A STORM THAT FILL THE SYSTEM TO OVERFLOW, IT DRAINS IN NO LESS THAN 36 TO 60 HOURS. IF THE SYSTEM DRAINS TOO FAST, AN ORIFICE MAY NEED TO BE ADDED ON THE UNDERDRAIN OUTLET OR, IF ALREADY PRESENT, IT MAY NEED TO BE MODIFIED.
5. SOIL FILTER REPLACEMENT: THE TOP SEVERAL INCHES OF THE FILTER SHALL BE REPLACED WITH FRESH MATERIAL WHEN WATER PONDS ON THE SURFACE OF THE BED FOR MORE THAN 12 HOURS. THE REMOVED SEDIMENTS SHOULD BE DISPOSED OF IN AN ACCEPTABLE MANNER.
6. SEDIMENT REMOVAL: SEDIMENT AND PLANT DEBRIS SHOULD BE REMOVED FROM THE PRETREATMENT STRUCTURE AT LEAST ANNUALLY.
7. MOUING: IF MOUING IS DESIRED, ONLY HAND-HELD STRING TRIMMERS OR PUSH-MOUERS ARE ALLOWED ON THE FILTER (NO TRACTOR) AND THE GRASS BED SHOULD BE MOUED NO MORE THAN 2 TIMES PER GROWING SEASON TO MAINTAIN GRASS HEIGHTS OF NO LESS THAN 6 INCHES.
8. FERTILIZATION: FERTILIZATION OF THE UNDERDRAINED FILTER AREA SHOULD BE AVOIDED UNLESS ABSOLUTELY NECESSARY TO ESTABLISH VEGETATION.
9. HARVESTING AND WEEDING: HARVESTING AND PRUNING OF EXCESSIVE GROWTH WILL NEED TO BE DONE OCCASIONALLY. WEEDING TO CONTROL UNWANTED OR INVASIVE PLANTS MAY ALSO BE NECESSARY.

UNDERDRAINED SOIL FILTER MATERIAL NOTES:

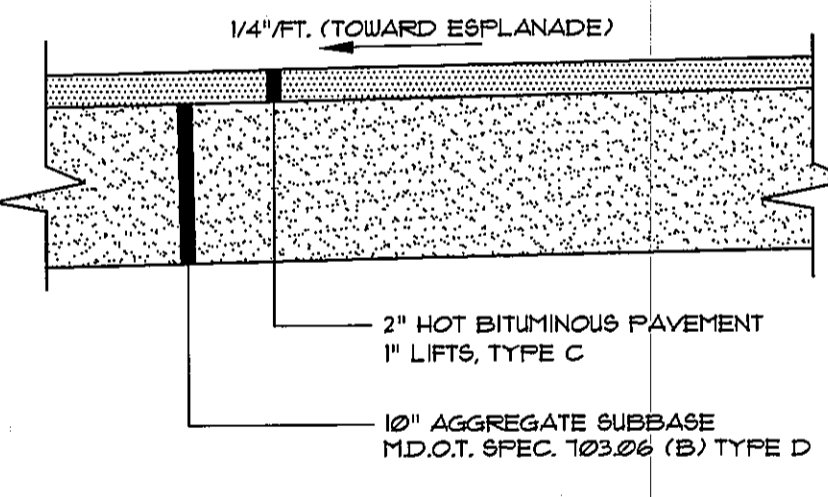
1. USE THE FOLLOWING SEED MIX TOLERANT OF FREQUENT INUNDATION AND WELL-DRAINED SOILS ACROSS THE ENTIRE FILTER AREA AND SIDESLOPES OF THE UNDERDRAINED SOIL FILTER. AN EQUIVALENT SEED MIX SHALL BE APPROVED BY THE ENGINEER.

CREeping RED FESCUE	20	LBs/ ACRE	LBs/ 1000 FT.
ENDFOOT TREFOL	5		0.16
TALL FESCUE	20		0.46
TOTAL	45		1.08
2. THE TOP 6" SHALL BE NON-CLAYEY, LOAMY TOPSOIL, SUCH AS A USDA SANDY LOAM TOPSOIL WITH 5-8% HUMIFIED ORGANIC MATTER. SCREENED TOPSOIL FROM THE DEVELOPMENT MAY BE APPROPRIATE BUT SHALL BE TESTED FOR ORGANIC MATTER AND IN ACCORDANCE WITH THE TESTING AND SUBMITTALS NOTES.
3. A 2" TRANSITION LAYER OF THE NON-CLAYEY, LOAMY TOPSOIL SHALL BE ROTOTILLED INTO THE LOAMY COARSE SAND LAYER BELOW.
4. THE 12" LOAMY COARSE SAND LAYER SHALL BE TESTED IN ACCORDANCE WITH THE TESTING AND SUBMITTALS NOTES.
5. A LAYER OF HAY SHALL BE PLACED BETWEEN 12" LOAMY COARSE LAYER AND UNDERDRAIN STONE BEDDING TO HELP PREVENT SUBSIDENCE OR PLUGGING OF THE SAND/GRAVEL/STONE LAYER AND/OR PIPE.
6. UNDERDRAIN STONE BEDDING MATERIAL MUST CONSIST OF CRUSHED STONE MEETING THE MEDOT SPECIFICATION 103.22 UNDERDRAIN TYPE B FOR UNDERDRAIN BACKFILL MATERIAL. THE STONE BEDDING MATERIAL MUST HAVE NO MORE THAN 5% PASSING THE 200 SIEVE.
7. MATERIAL LAYERS ABOVE THE UNDERDRAIN BACKFILL LAYER SHALL BE A UNIFORM MIX FREE OF STONES, STUMPS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS CAN BE MIXED WITHIN THE FILTER. DURING CONSTRUCTION, CARE SHOULD BE TAKEN TO AVOID COMPACTION OF BOTH THE GRAVEL AND SOIL FILTER.
8. COMPACTION OF THE SOIL BED MATERIAL SHALL BE AVOIDED. IF COMPACTION OCCURS, ROTOTILL AGAIN PRIOR TO SEEDING OR SOUDDING.
9. CONSTRUCTION SEQUENCE: THE SOIL FILTER MEDIA AND VEGETATION MUST NOT BE INSTALLED UNTIL THE AREA THAT DRAINS TO THE FILTER HAS BEEN PERMANENTLY STABILIZED WITH PAVEMENT OR OTHER STRUCTURE, 90% VEGETATION COVER, OR OTHER PERMANENT STABILIZATION UNLESS THE RUNOFF FROM THE CONTRIBUTING DRAINAGE AREA IS DIVERTED AROUND THE FILTER UNTIL STABILIZATION IS COMPLETED.



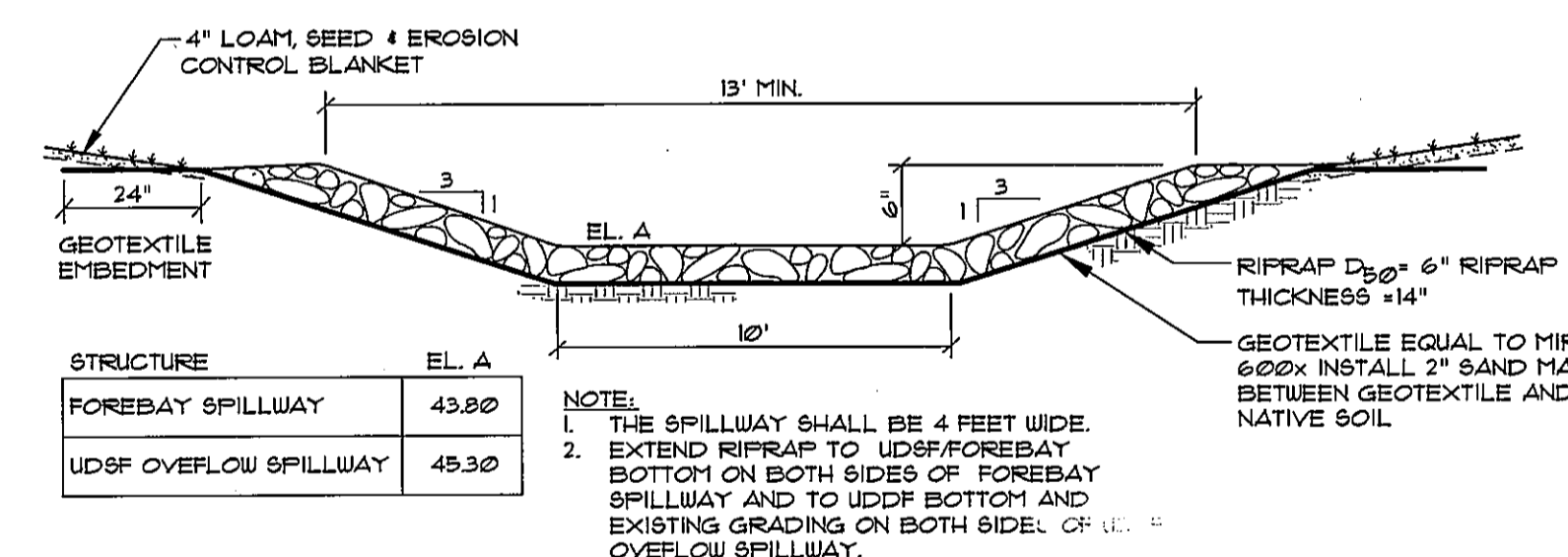
UNDERDRAINED SOIL FILTER SECTION

NOT TO SCALE



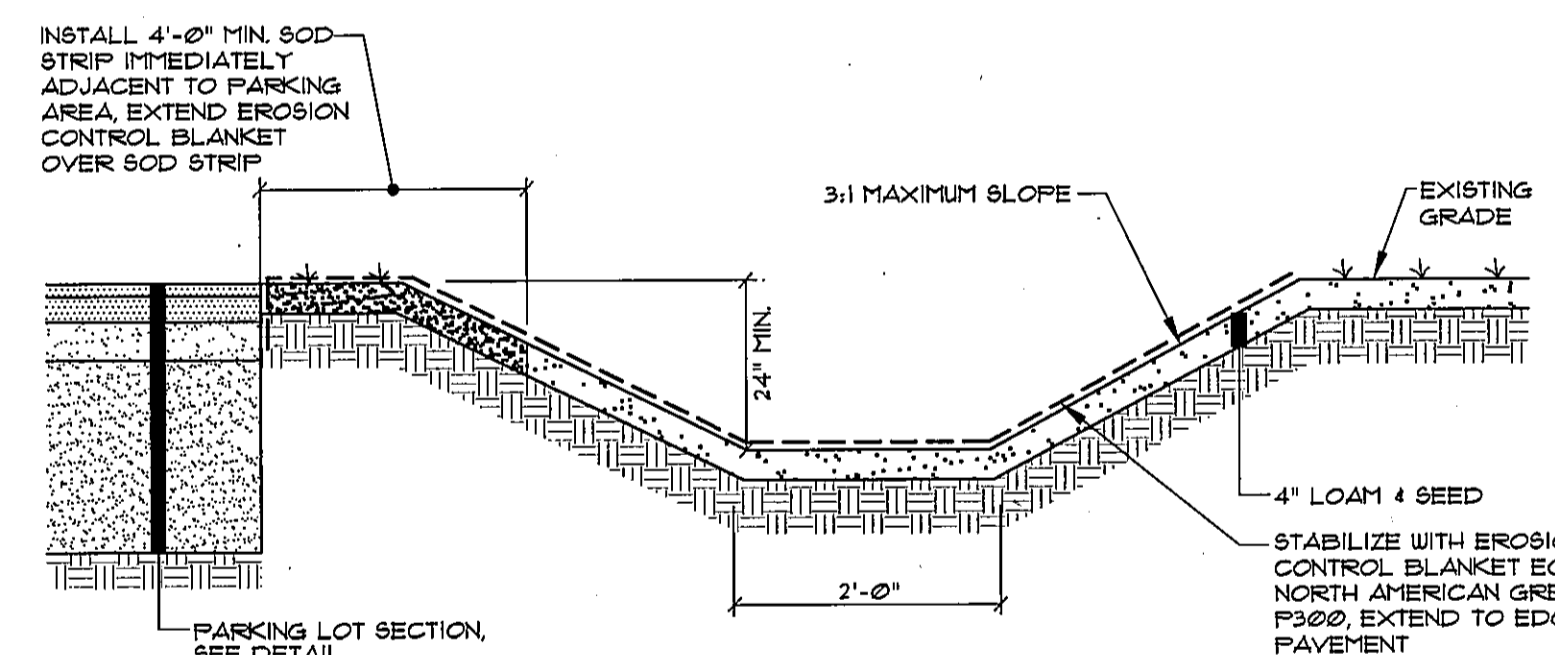
BITUMINOUS SIDEWALK

NOT TO SCALE



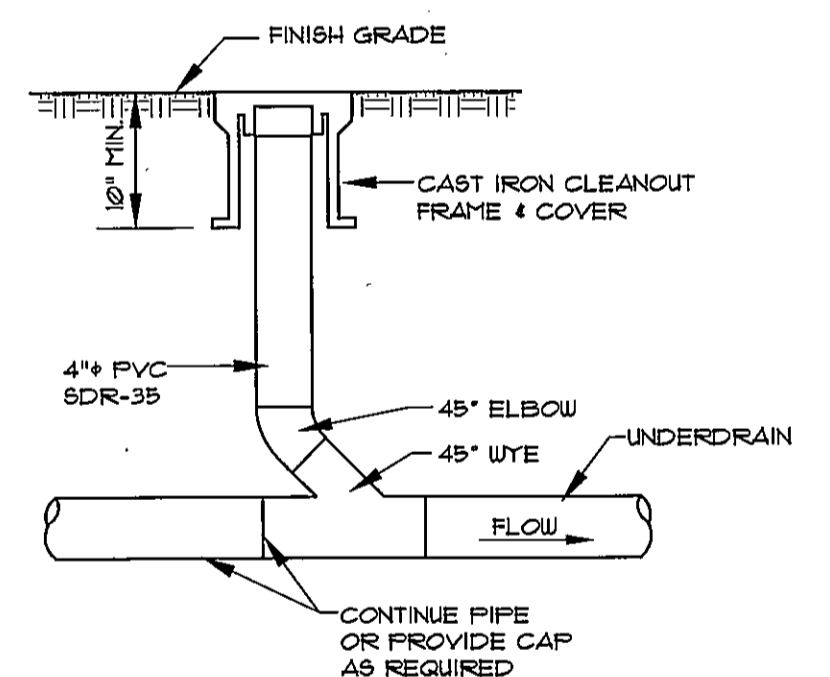
UDSF OVERFLOW/ FOREBAY SPILLWAY CROSS-SECTION

NOT TO SCALE



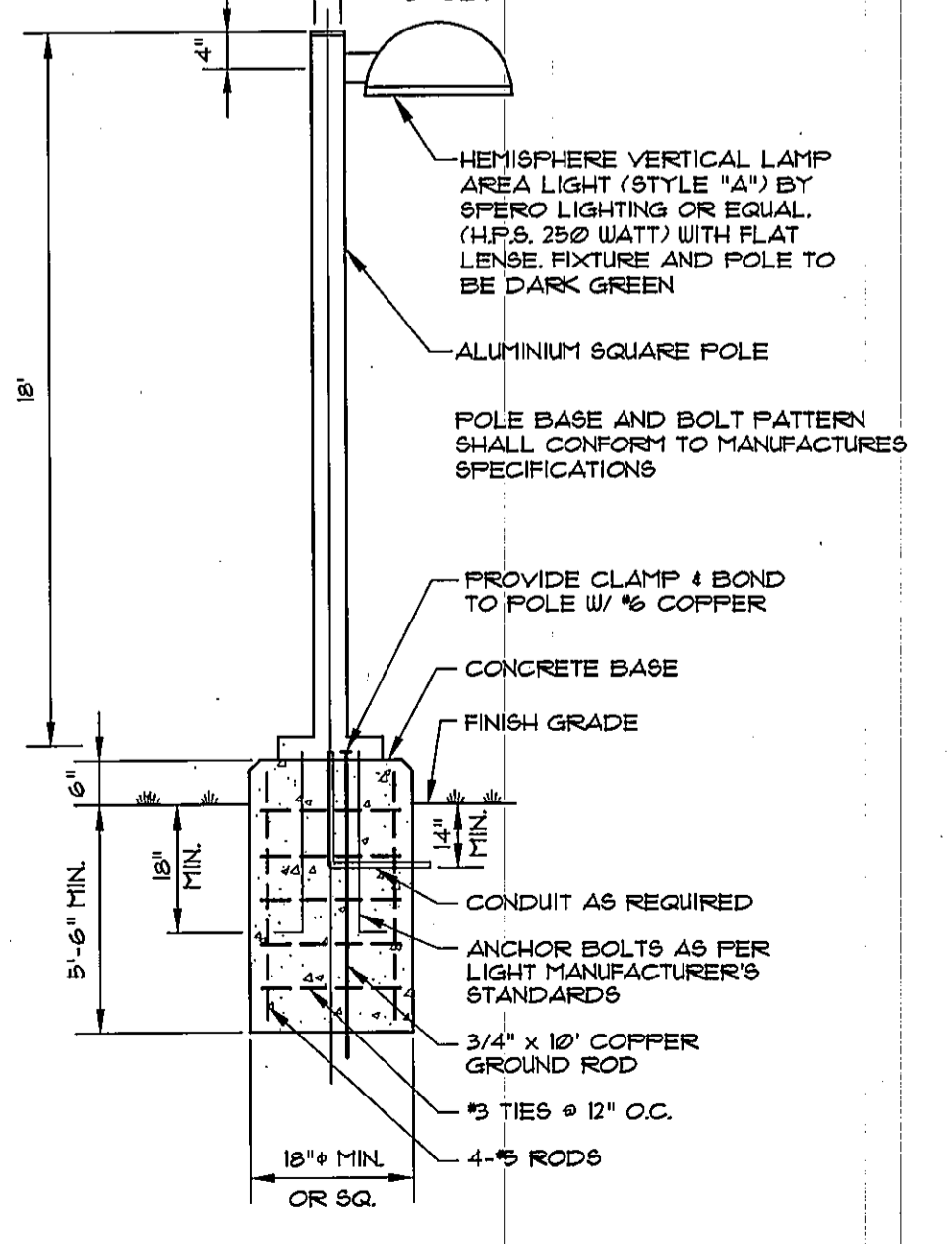
GRASSSED SWALE

NOT TO SCALE



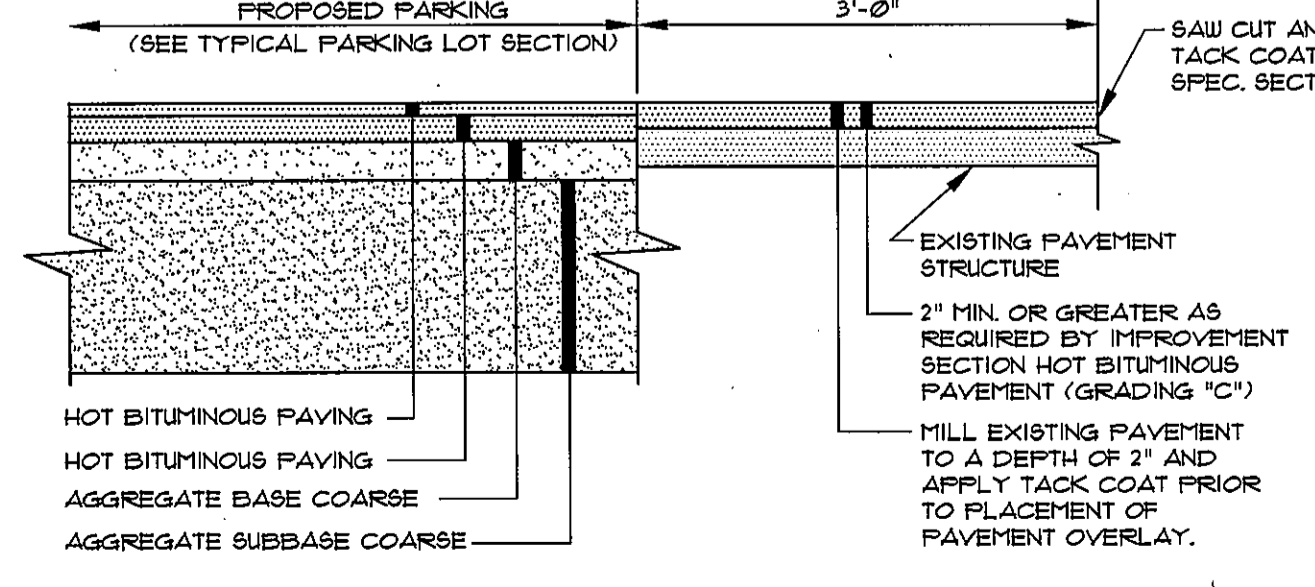
UNDERDRAIN CLEANOUT

NOT TO SCALE



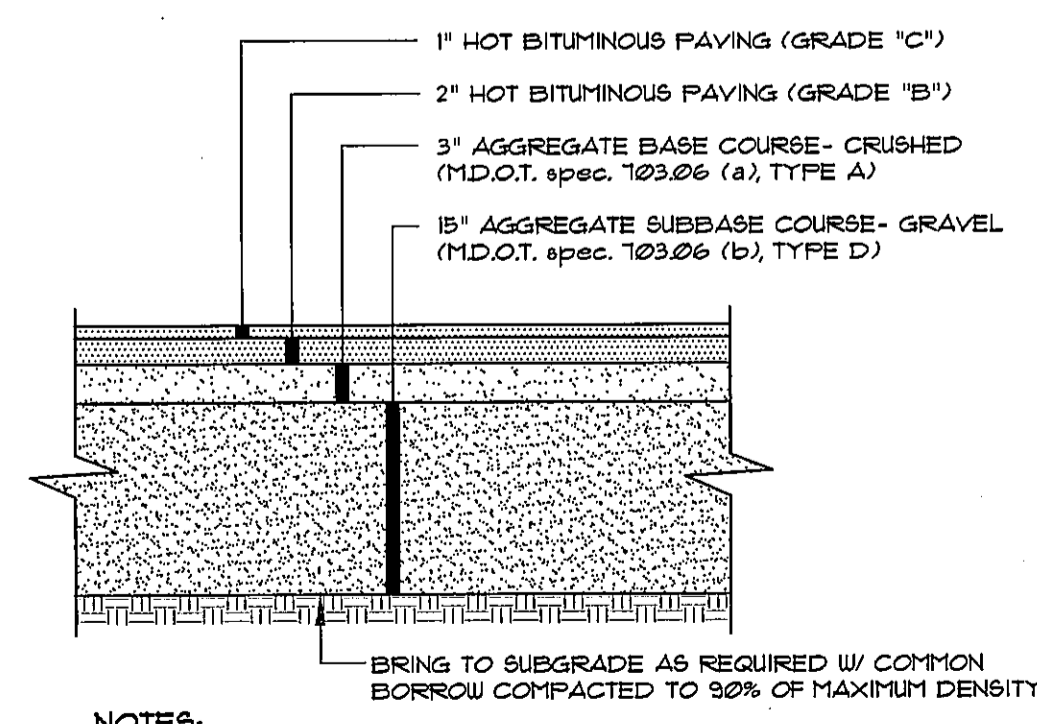
TYPICAL LIGHT POLE DETAIL

NOT TO SCALE



TYPICAL PAVEMENT JOINT DETAIL

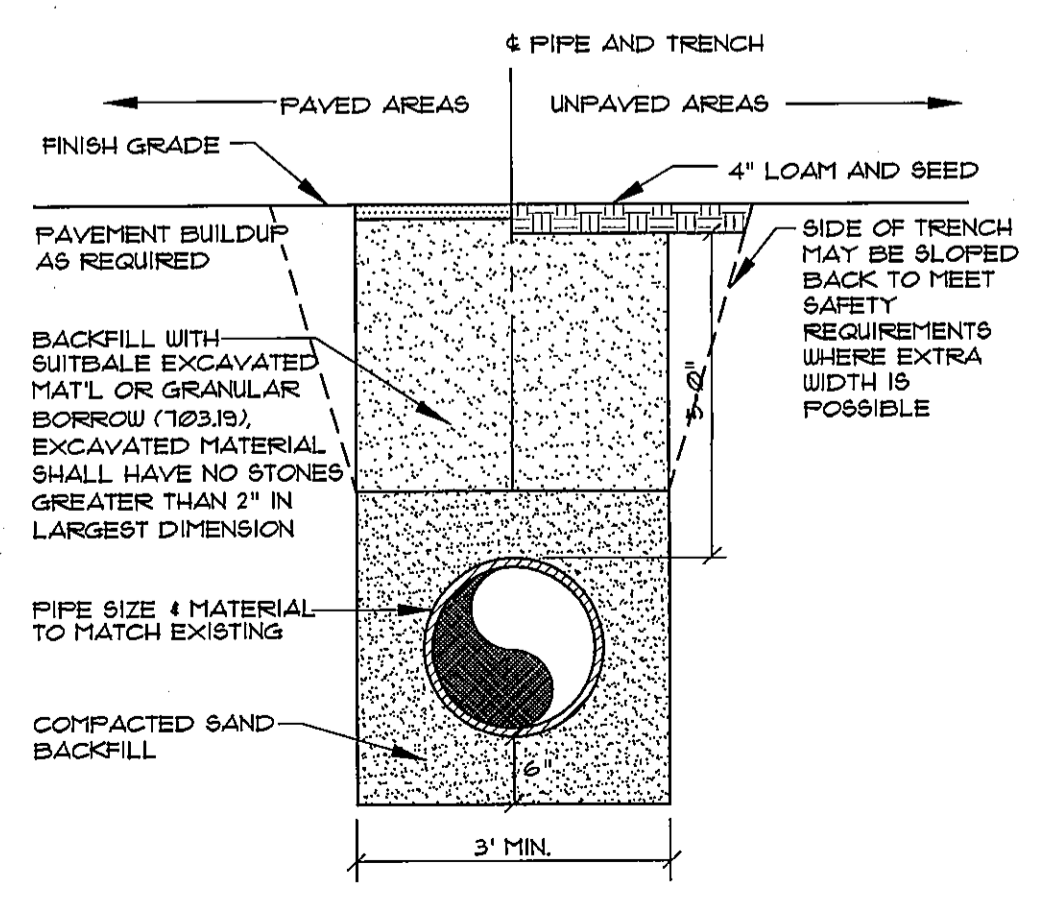
NOT TO SCALE



- NOTES:**
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 90% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

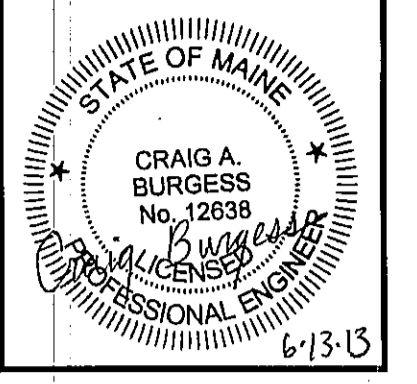
TYP. PAVED PARKING LOT SECTION

NOT TO SCALE



FORCEMAIN TRENCH SECTION

NOT TO SCALE



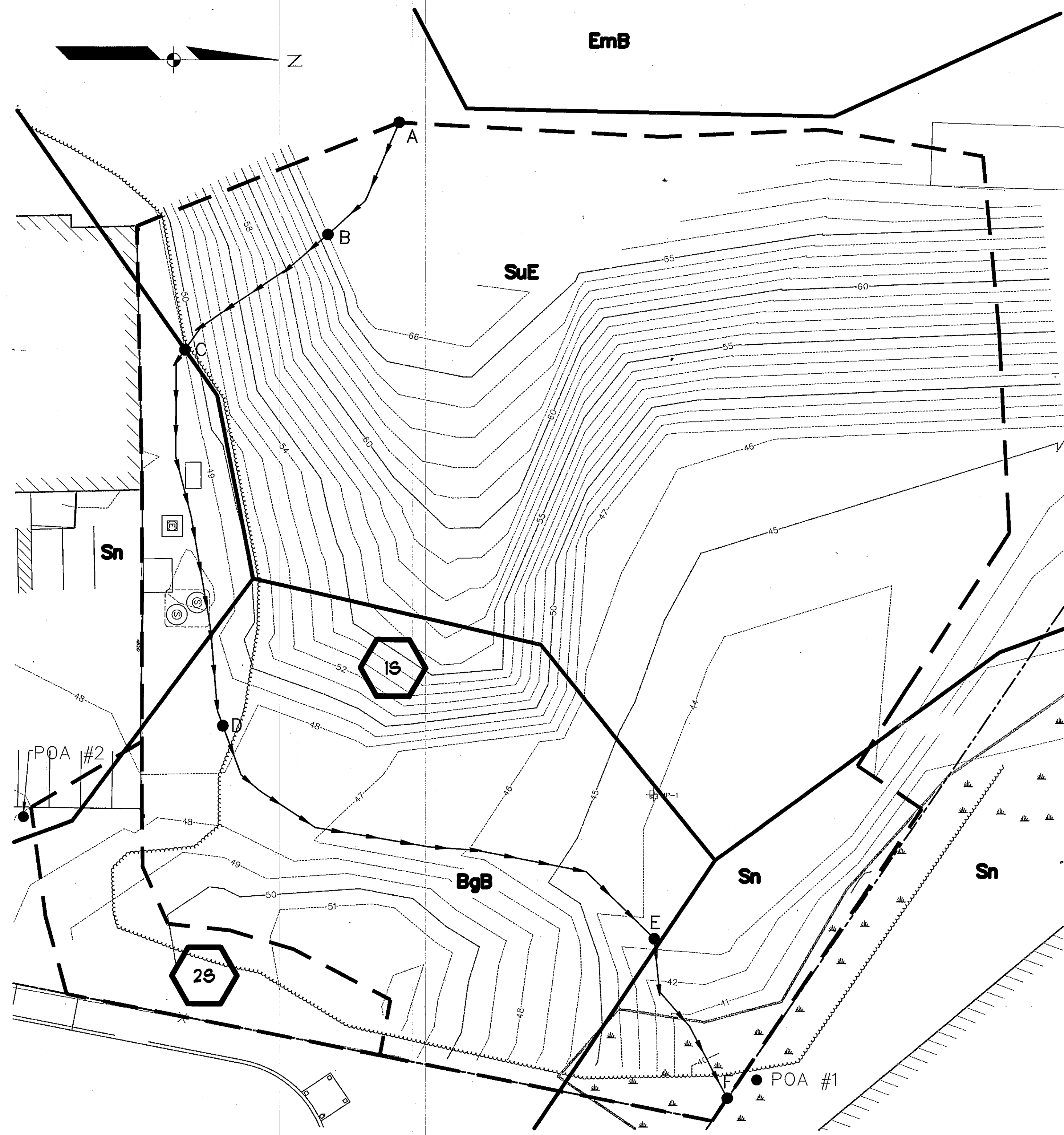
DATE	06-13-13	FOR REVIEW	STATUS
BY	CAB	FOR REVIEW	DATE
REV.	A	DATE	02-21-13
PROJECT NO.	12376	DESIGN	CHKD
		DRAWN	CAB
		QAM/CAB	CAB

SEBAGO TECHNICALS
 WWW.SEBAGOTECHNICALS.COM
 75 John Roberts Rd., Suite 1A
 South Portland, ME 04106
 Tel: 207-262-0100
 Fax: 207-262-5550

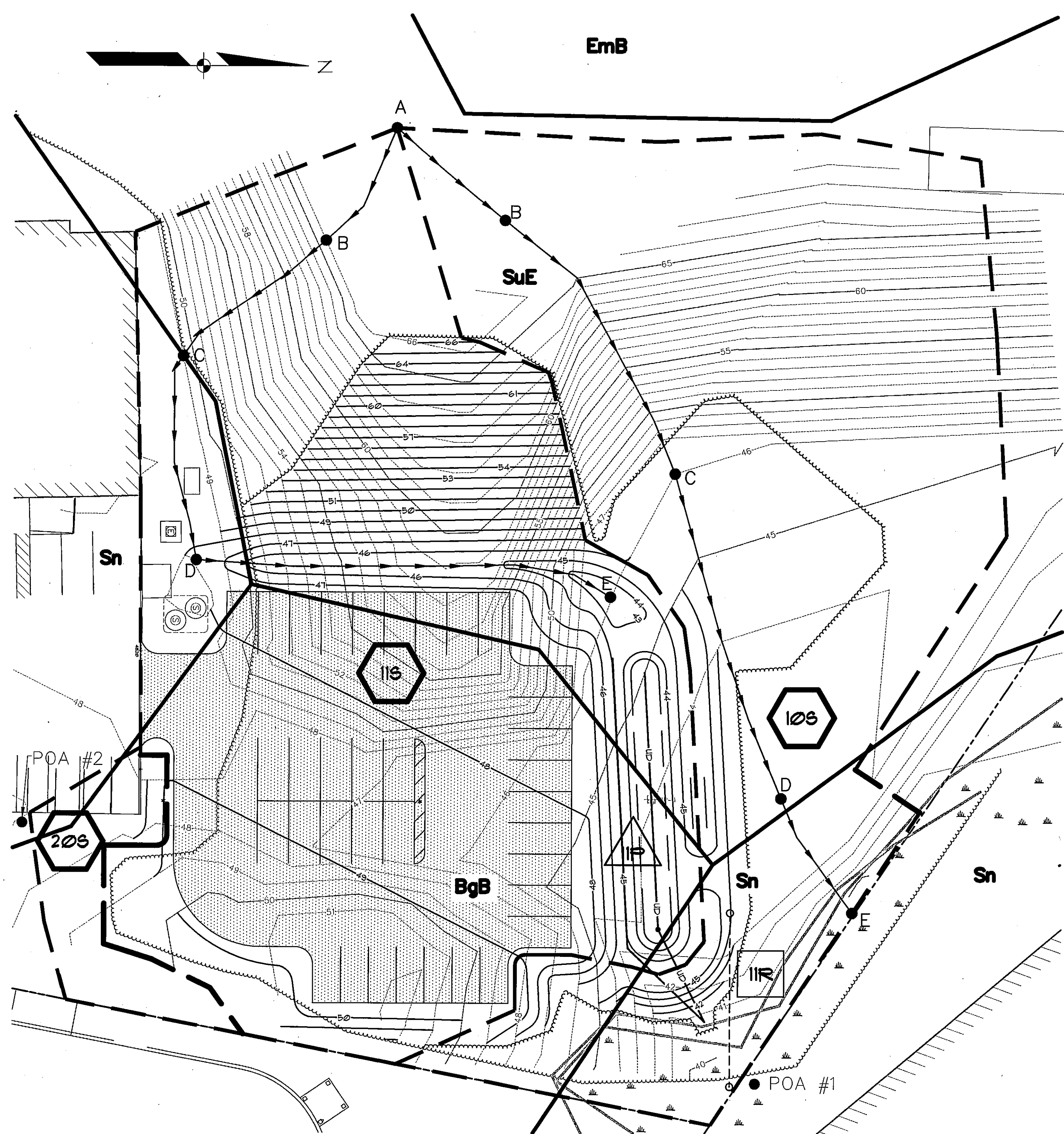
DOWNEAST VETERINARY EMERGENCY CLINIC
 739 WARREN AVENUE
 PORTLAND, ME 04103

DATE	02-21-13	SCALE	NTS
SHEET 5 OF 6			

12376D02.dwg, TAB:D2



PRE-DEVELOPMENT DRAINAGE PLAN
SCALE: 1"=20'



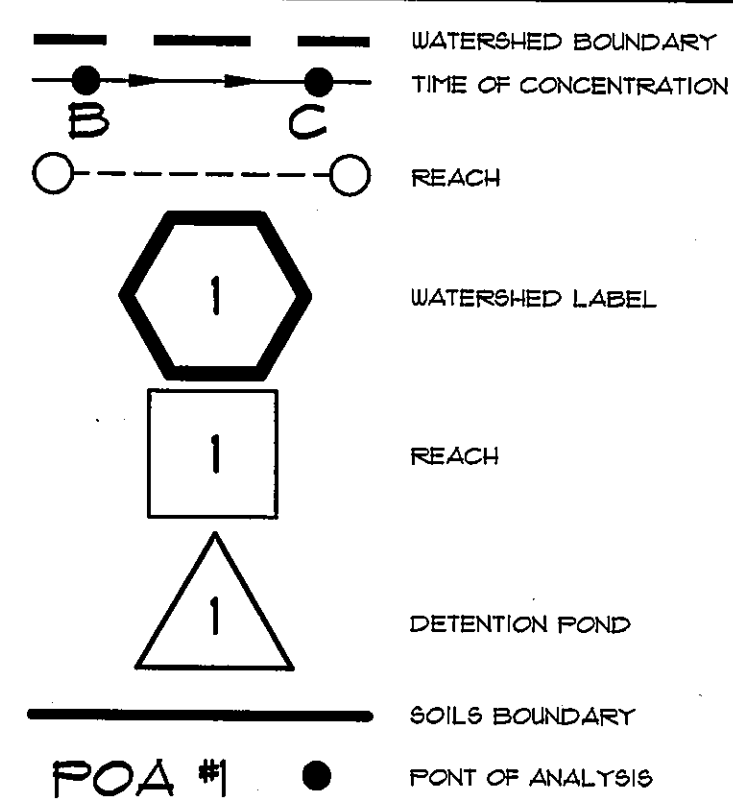
POST-DEVELOPMENT DRAINAGE PLAN
SCALE: 1"=20'

SOIL TYPES

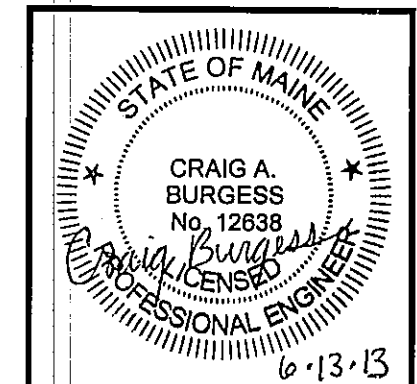
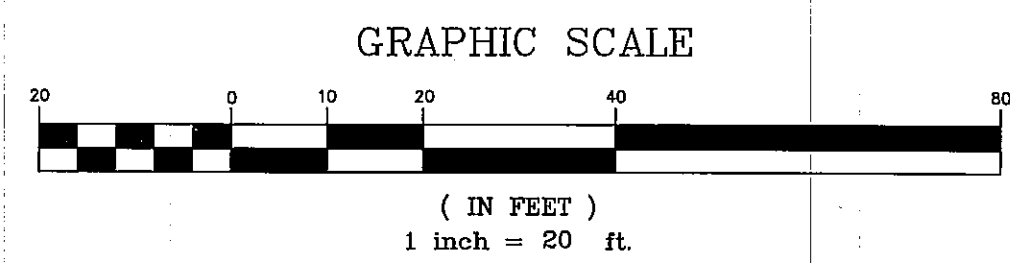
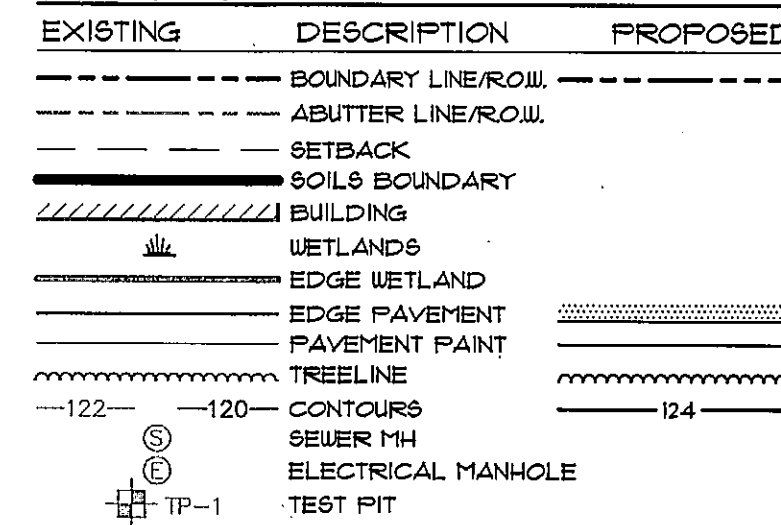
SYMBOL	SOIL SERIES	PHASE	SLOPE	HSG	DRAINAGE CLASS
BgB	BELGRADE	FINE SANDY LOAM	0-8%	HSG C	MODERATELY WELL DRAINED
EmB	ELMWOOD	FINE SANDY LOAM	0-8%	HSG C	MODERATELY WELL DRAINED
Sc	SCANTIC	SILT LOAM	N/A	HSG D	POORLY DRAINED
SuE2	SUFFIELD	SILT LOAM	25-45%	HSG C	MODERATELY WELL DRAINED

SOIL NOTE:
1. SOILS ARE FROM A MEDIUM INTENSITY SOIL SURVEY PUBLISHED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE FOR CUMBERLAND COUNTY AND PART OF OXFORD COUNTY, MAINE, CURRENT EDITION AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/app/>.

DRAINAGE LEGEND



LEGEND



REV.	BY:	DATE:	STATUS:
B	CAB	06-13-13	SUBMITTED FOR CITY REVIEW
A	CAB	02-21-13	SUBMITTED FOR CITY REVIEW & APPROVAL

SEBAGO TECHNICS
75 John Roberts Rd., Suite 101
Levenson, ME 04203
Tel: 207-208-2100

PROJECT NO. 12236
FIELD BOOK DESIGN CHK DRAWN CAB
ELECTRONIC (AM/CAB) CAB

DRAINAGE PLAN
OF
PARKING LOT EXPANSION
735 WARREN AVENUE
PORTLAND, ME 04103
FOR:
DOWNEAST VETERINARY EMERGENCY CLINIC
735 WARREN AVENUE
PORTLAND, ME 04103

2376SWP.dwg, TAB: SWP1