

4 3"=1'-0" WALL TYPE 2 3 3"=1'-0" WALL TYPE 1

GENERAL ARCHITECTURAL NOTES

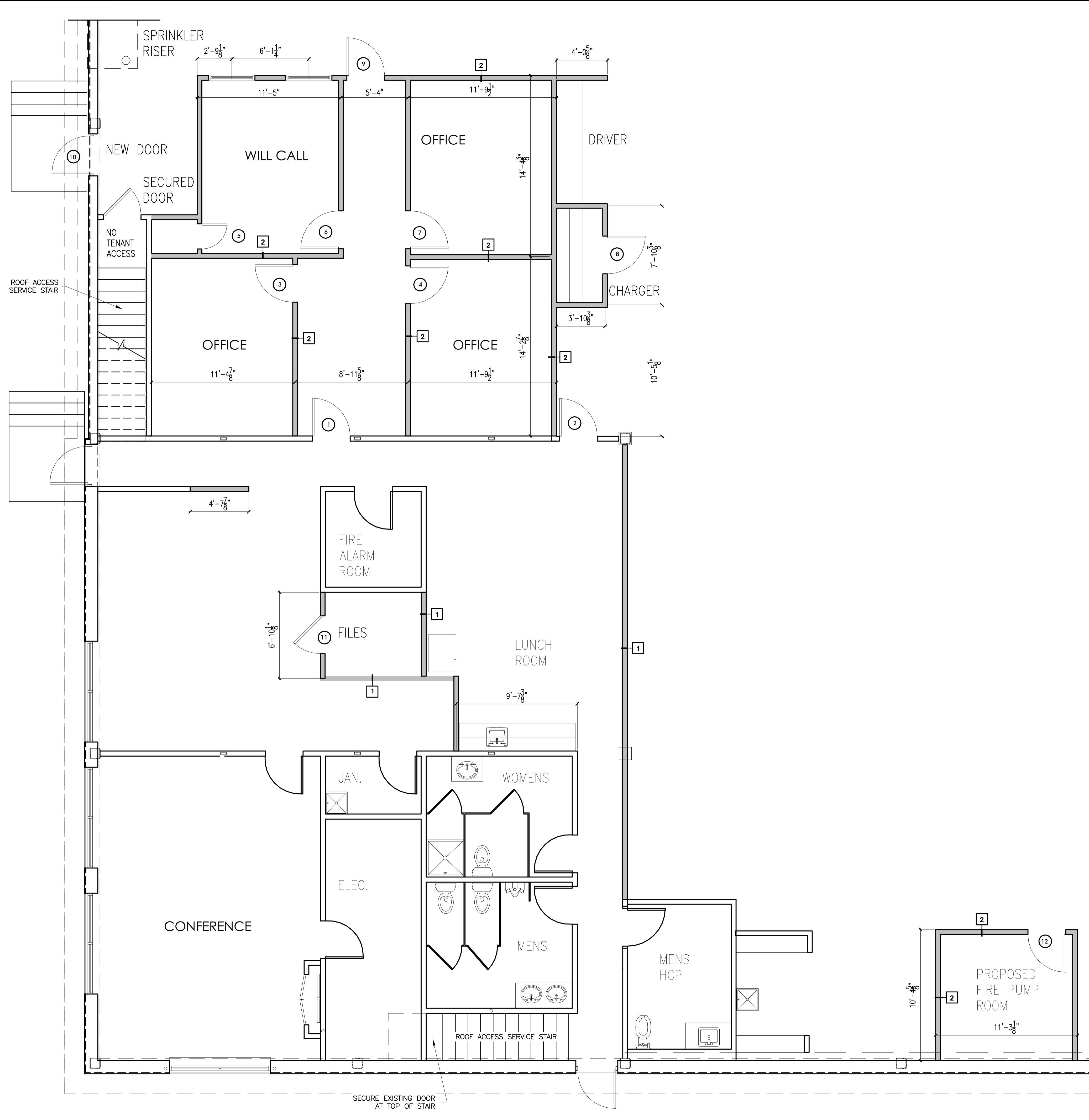
1. ALL DIMENSIONS SHOWN FROM EXISTING WALLS ARE GIVEN TO FACE OF EXISTING FINISH. ALL NEW WALLS ARE DIMENSIONED TO THE CENTER OF WALL UNLESS OTHERWISE NOTED.
2. SEE SITE PLAN DRAWINGS FOR ALL SITE RELATED CONSTRUCTION AND DETAILS
3. CONTRACTOR TO PROVIDE BLOCKING CONCEALED WITHIN PARTITION FOR SECURE ATTACHMENT OF MILLWORK CONSTRUCTION AND EQUIPMENT.
4. ALL DOOR OPENINGS TO BE PRE-FINISHED. OFFSET 6" FROM FINISH FACE OF PERPENDICULAR PARTITION, U.N.O.
5. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
6. RELOCATE EXISTING FIRE SAFETY, ELECTRICAL DEVICES TO ADJOINING OR ADJACENT WALL, U.N.O. NOTIFY NEW PLACEMENT W/ ARCHITECT PRIOR TO REINSTALLATION.

GENERAL HVAC & PLUMBING NOTES

1. HVAC TO BE DESIGN PROVIDE AS A DESIGN BUILD SERVICE. ALL DESIGN AND CONSTRUCTION IS TO MEET THE HVAC PERFORMANCE SPECIFICATION. ALL RETURNS TO BE LOCATED AFTER LIGHTING HAS BEEN INSTALLED. SUPPLY AND INSTALLATION OF ADDITIONAL DUCTWORK, DIFFUSERS AND RETURNS AS REQUIRED TO ACCOMMODATE NEW USE.
2. COMPLY WITH LOCAL HEATING CODES AND REGULATIONS.
3. CONTRACTOR TO PROVIDE A COMFORT-BALANCE REPORT AT OR NEAR DESIGN CONDITIONS DURING THE FIRST HEATING AND COOLING SEASONS.
4. INSTALLATION SHALL BE DONE TO GUARANTEE SATISFACTORY AIR CIRCULATION AND ACCEPTABLE NOISE LEVELS.
5. G.C. IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF EQUIPMENT.

GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL INSTALLATIONS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AS AMENDED, (nfpa 70) OR THE STANDARD BUILDING CODE OF NEW HAMPSHIRE, LATEST EDITION.
2. ALL EXPOSED WIRING SHALL BE INSTALL IN METAL CABLE AS REQUIRE BY STATE AND LOCAL ELECTRICAL CODE.
3. ELECTRICAL WORK FOR THE PROJECT INCLUDES REMOVAL OF EXISTING LIGHT FIXTURES AS WELL AS SUPPLYING AND INSTALLING NEW FIXTURES TO EXISTING AND NEW CIRCUITS; RELOCATING EXISTING CIRCUIT AND WIRING; TYING NEW DUPLEX OUTLETS TO EXISTING POWER AND/OR LIGHTING CIRCUITS, AND NEW LIGHTING, SWITCHING AND POWER FOR NEW SPACES AS REQUIRED.
4. ALL SWITCHES, RECEPTACLES AND OTHER ELECTRICAL LOCATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES.
5. ALL NEW SWITCHES CONTROLLING WIRING SHALL BE LOCATED TO MATCH EXISTING.
6. GROUNDING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, UTILITY COMPANY AND ALL AUTHORITIES HAVING JURISDICTION.
7. PROVIDE GROUND FAULT INTERRUPTION (GFI) RECEPTACLES AS PER NEC.
8. FURNISH ROUGH WIRING AND FINAL ACCEPTANCE CERTIFICATE FROM AUTHORITY PERFORMING INSPECTIONS.



1 1/4"=1'-0" PROPOSED PLAN

2 NTS GENERAL NOTES

GENERAL CONTRACTOR
STRUCTURAL ENGINEER
MEP ENGINEER
CLIENT
CBRE Boulos Asset Management 1 Canal Plaza Portland, ME 04101

PROJECT
Existing Warehouse Office Expansion
 765 Warren Avenue
 Portland, ME 04101
 CBL: 316 A003001



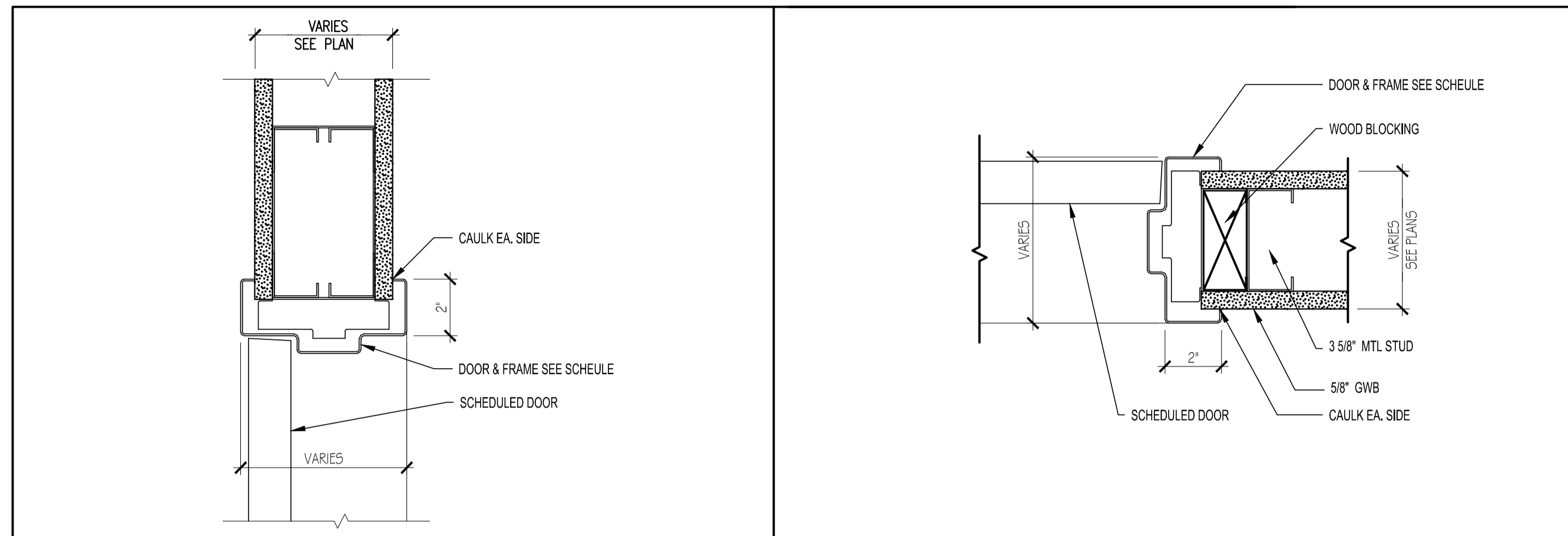
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INFORMATION
Path: M:/boulos/warren
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Drawn By: dijg
Checked By:
Revision:
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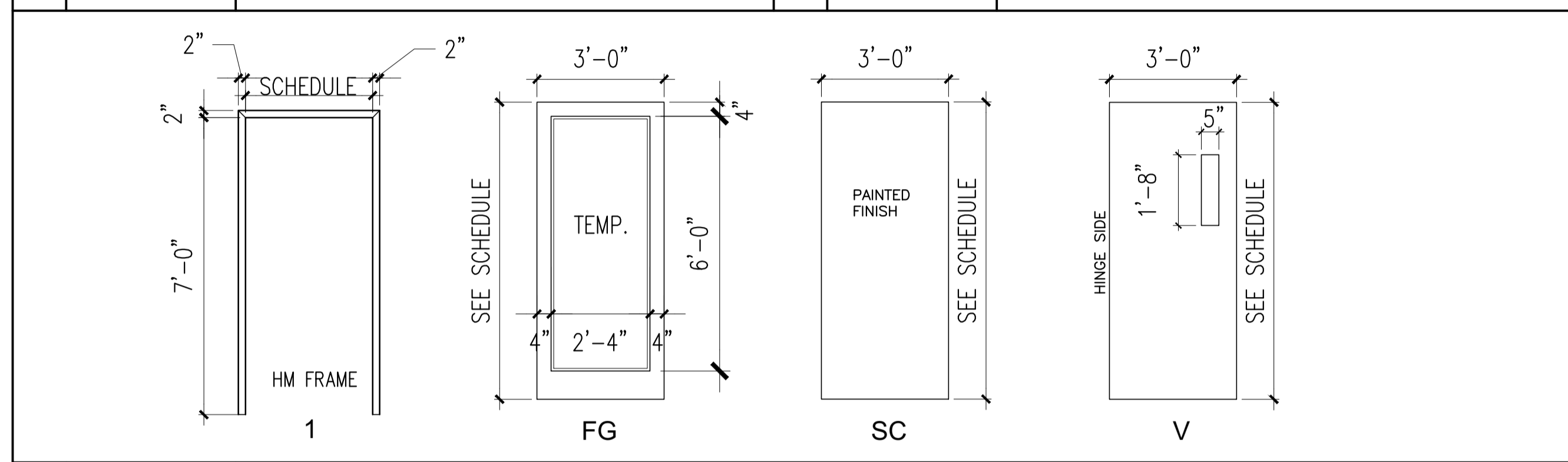
TITLE
PROPOSED PLAN

SCALE
 1/4"=1'-0"

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7 NTS HEAD DETAIL 6 NTS JAMB DETAIL



5 NTS DOOR TYPES AND DOOR FRAMES

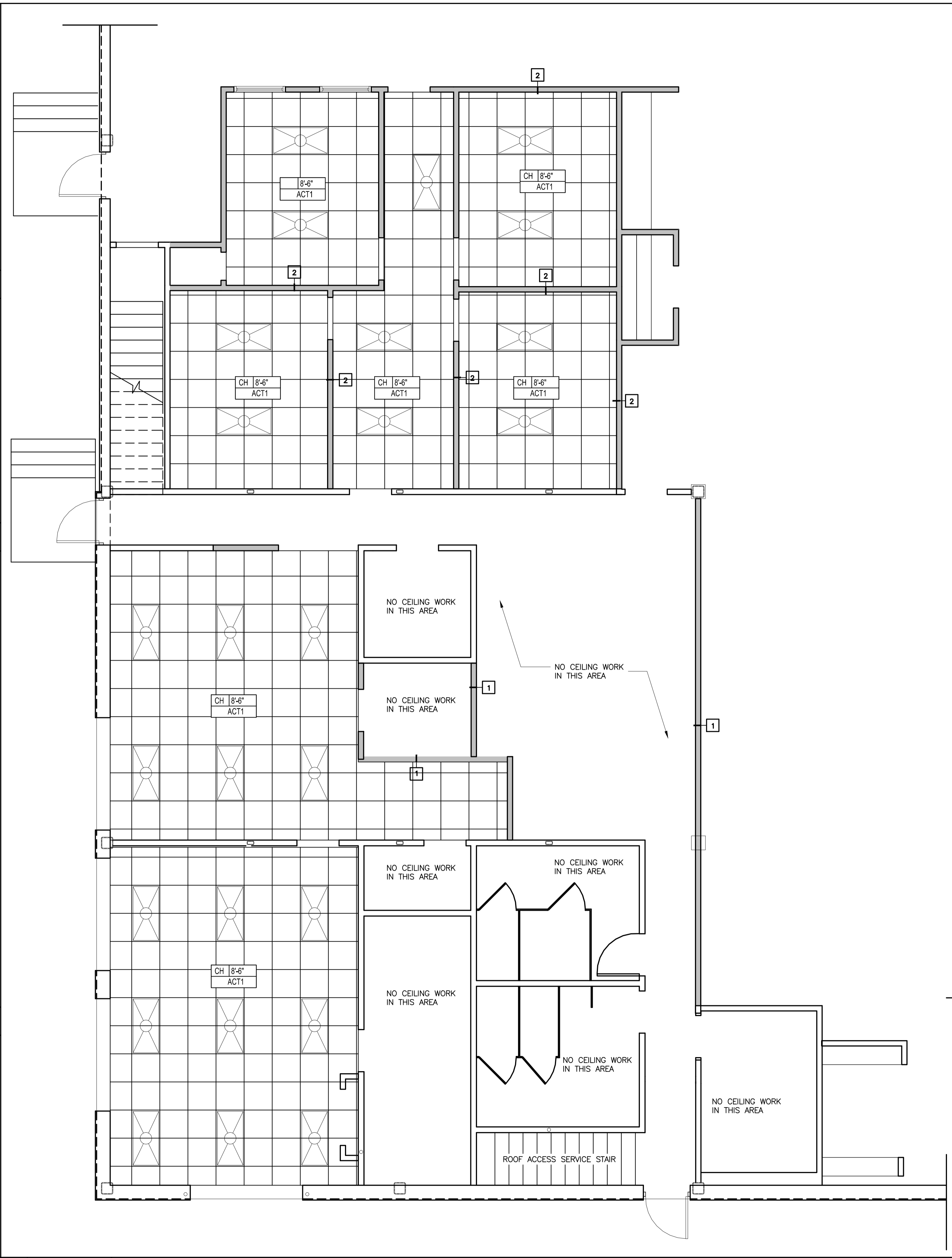
DOOR SCHEDULE													
DOOR NUMBER	DOOR				GLAZING	FRAME					HWS	FIRE RATING (MIN.)	REMARKS
	SIZE	MATERIAL	ELEVATION			MATERIAL	ELEVATION	HEAD	JAMB	SILL			
01	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	2	20MIN	CLOSER	
02	3'-0" x 7'-0" x 1-3/4"	STL	SC	-	HM	1	7/A2	6/A2	-	1.6	45MIN		
03	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	2	20MIN		
04	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	2	20MIN		
05	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	2	20MIN		
06	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	2	20MIN		
07	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	2	20MIN		
08	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	2	20MIN		
09	3'-0" x 7'-0" x 1-3/4"	STL	SC	-	HM	1	7/A2	6/A2	-	1.6	45MIN	CLOSER	
10	3'-0" x 7'-0" x 1-3/4"	STL	V	TEMP.	HM	1	7/A2	6/A2	-	1.6	-	CLOSER, EGRESS HARDWARE	
11	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	7/A2	6/A2	-	1.6	-	CLOSER	
12	3'-0" x 7'-0" x 1-3/4"	STL	SC	-	HM	1	7/A2	6/A2	-	1.2.6	45MIN	CLOSER	

- SYMBOL "✓" SHOWN ON SCHEDULE INDICATES A REPEAT OF A PREVIOUS REFERENCE ON THE SCHEDULE.
- ALL DOORS ARE 1-3/4" THICK UNLESS OTHERWISE NOTED
- DOOR CONSTRUCTION: TYPICAL - SC - SOLID CORE HC - HOLLOW CORE HM - HOLLOW METAL AL - ALUMINUM & GLASS
- FINISH: TYPICAL - WV - WOOD VENEER PL - PLASTIC LAMINATE MP - METAL PAINTED AP - ALUMINUM PAINTED PT - PAINTED
- GLASS: TYPICAL - CW - CLEAR WIRE CP - CLEAR PLATE TP - TEMPERED LG - LEADED GLASS
- FRAME: TYPICAL - FF - FLUSH FRAME AL - ALUMINUM HM - HOLLOW METAL WD - WOOD AP - ALUMINUM PAINTED
- MAXIMUM GLASS AREA FOR 45 MIN. AND 20 MIN. DOOR SHALL NOT EXCEED 1296 SQ.IN. AND HAVE A MAX. LITE DIMENSION OF 54". MAXIMUM GLASS AREA FOR 90 MIN. DOOR SHALL BE 100 SQ.IN.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS OF ALL PROPOSED MASONRY OPENINGS PRIOR TO CUTTING MASONRY. ARCHITECT IS TO BE NOTIFIED SHOULD ANY OPENINGS REQUIRE ADJUSTMENT.

4 NTS DOOR SCHEDULE AND NOTES

- GENERAL REFLECTED CEILING NOTES**
- CONTRACTOR TO REMOVE AND DISPOSE OF ALL CEILING TILES AND TRACK.
 - COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON THE CONTRACT DOCUMENTS.
 - SUPPLY AND INSTALL ALL SUSPENDED TRACK AND MATERIAL REQUIRED TO COMPLETE THE WORK AS INDICATED ON THE DRAWINGS. PROVIDE ALL TIES FOR LIGHT FIXTURES, EXIT SIGNS AND OTHER CEILING/ SOFFIT ELEMENTS FOR SECURE ATTACHMENT OF GENERAL CONSTRUCTION.
 - LIGHTING TO BE LOCATED AS BEST AS POSSIBLE WITH PROPOSED LAYOUT.
 - CEILING TILES TO BE ARMSTRONG CIRRUS SECOND LOOK - II, 513.
- HARDWARE NOTES**
- ALL HARDWARE SHALL COMPLY WITH A.D.A REQUIREMENTS AND STANDARDS.
 - G.C. TO REPLACE ALL EXISTING HARDWARE TO MATCH.
 - G.C. TO PROVIDE CLOSURE ON ALL EXISTING DOORS WHERE REQUIRED. VERIFY WITH ARCHITECT.
 - HARDWARE FINISH - "US26D DULL CHROME". VERIFY WITH OWNER.
- LOCK SET, KEY TO CLIENT SYSTEM
 - PASSAGE SET
 - PRIVACY SET
 - FIXED LEVER
 - PEENED FOR ADA COMPLIANCE
 - CLOSER

3 NTS CEILING NOTES 2 NTS HARDWARE



1 1/4"=1'-0" REFLECTED CEILING PLAN

DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR

STRUCTURAL ENGINEER

MEP ENGINEER

CLIENT

CBRE | Boulos Asset Management
 1 Canal Plaza
 Portland, ME 04101

PROJECT
Existing Warehouse Office Expansion
 765 Warren Avenue
 Portland, ME 04101
 CBL: 316 A003001

LICENSED ARCHITECT
 DAVID J. GRAHAM
 No. 3113
 STATE OF MAINE

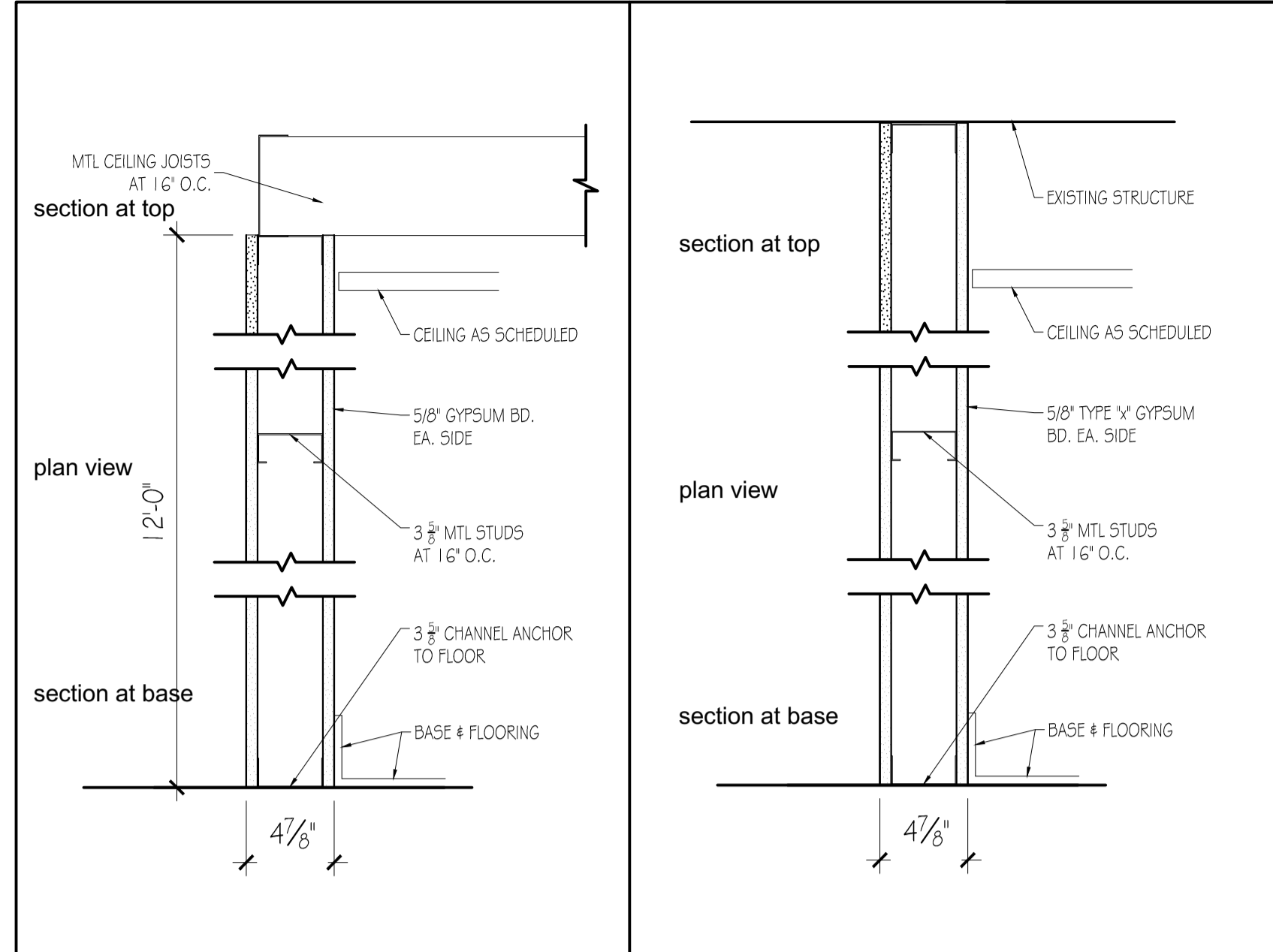
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 Drawn By: djg
 Checked By:
 Revision:
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 2.
 3.
 4.

TITLE
 REFLECTED CEILING PLAN & DOOR SCHEDULE

SCALE
 1/4"=1'-0"

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5	3"=1'-0"	WALL TYPE 2	4	3"=1'-0"	WALL TYPE 1
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OCCUPANT LOAD:

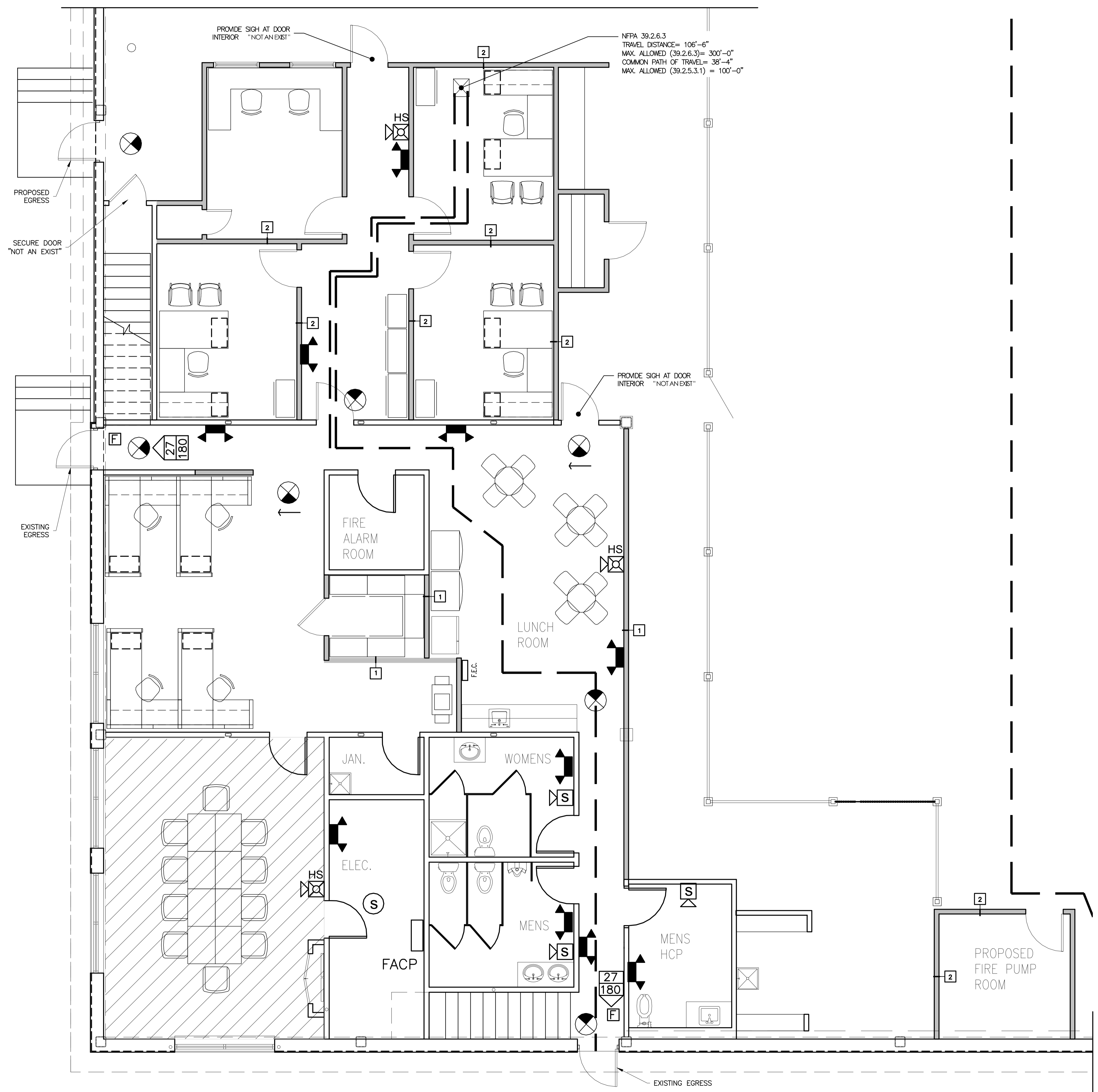
USE	FLOOR AREA	OCC. LOAD FACTOR (SF/OCC)	OCC. LOAD
OFFICE	2,570	100 GROSS	26
CONFERENCE	422	15 NET	28
TOTAL = 54			

3	NTS	LEGEND
---	-----	--------

LIFE SAFETY SYMBOLS:

- NTS → TRAVEL DISTANCE (FROM FURTHEST POINT)
- OCCUPANCY LOAD
- OCCUPANT LOAD EGRESS CAPACITY
- OFFICE USE
- CONFERENCE USE
- DIRECTIONAL EXIT SIGN WALL MOUNT & CEILING MOUNT
- FULLY-RECESSED FIRE EXTINGUISHER CABINET
- EMERGENCY LIGHTS, SEE ELECTRICAL DRAWINGS
- FIRE ALARM AUDIO/VISUAL ALARM, 6'-8" AFF, WITH "C" CEILING MOUNTED
- FIRE ALARM VISUAL ALARM, 6'-8" AFF, WITH "C" CEILING MOUNTED
- FIRE ALARM MANUAL PULL STATION
- FIRE ALARM CONTROL PANEL

2	NTS	LEGEND
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1	1/4"=1'-0"	EGRESS DIAGRAM - WAREHOUSE OFFICE SPACE
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DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR
STRUCTURAL ENGINEER
MEP ENGINEER
CLIENT
CBRE Boulos Asset Management 1 Canal Plaza Portland, ME 04101
PROJECT Existing Warehouse Office Expansion 765 Warren Avenue Portland, ME 04101 CBL: 316 A003001
ISSUED FOR PERMIT
INFORMATION Path: M:/boulos/warren Issue Date: 12/17/14 Drawn By: dijg Checked By: Revision: 1. 2. 3. 4.
TITLE LIFE SAFETY & EGRESS PLAN
SCALE AS NOTED
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GENERAL CONTRACTOR

STRUCTURAL ENGINEER

MEP ENGINEER

CLIENT

CBRE | Boulos Asset Management
 1 Canal Plaza
 Portland, ME 04101

PROJECT
**Existing Warehouse
 Office Expansion**
 765 Warren Avenue
 Portland, ME 04101
CBL: 316 A003001



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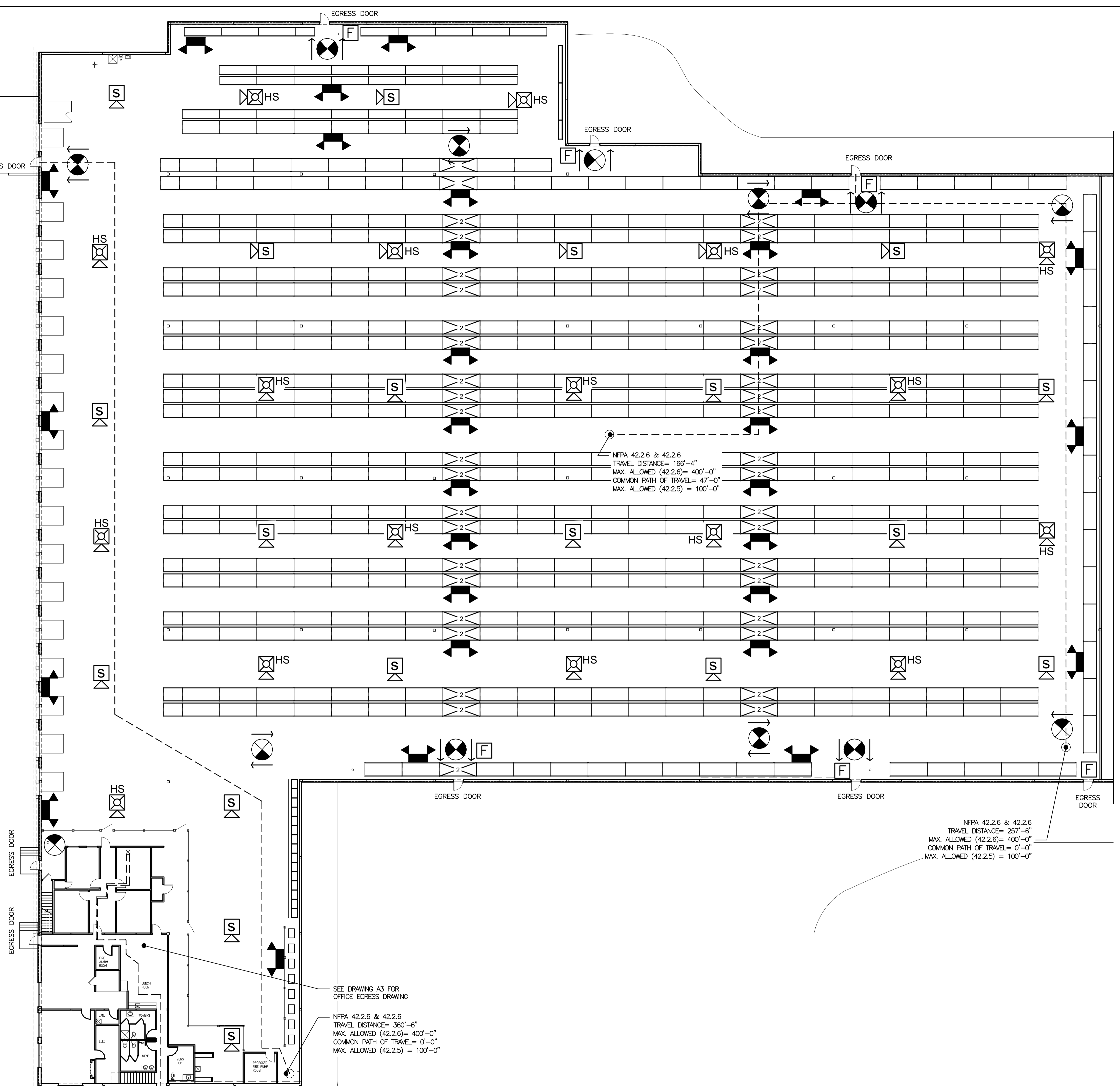
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 Issue Date: 12/17/14
 Drawn By: dig
 Checked By:
 Revision:
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 2.
 3.
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TITLE
**PROPOSED WAREHOUSE
 RACK PLAN & LIFE SAFETY
 PLAN**

SCALE
1/16"=1'-0"

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A-4



LIFE SAFETY SYMBOLS:

- TRAVEL DISTANCE (FROM FURTHEST POINT)
- OCCUPANCY LOAD**
- OCCUPANT LOAD
EGRESS CAPACITY
- OFFICE USE
- CONFERENCE USE
- DIRECTIONAL EXIT SIGN WALL MOUNT & CEILING MOUNT
- FULLY-RECESSED FIRE EXTINGUISHER CABINET
- EMERGENCY LIGHTS, SEE ELECTRICAL DRAWINGS
- FIRE ALARM AUDIO/VISUAL ALARM, 6'-8" AFF,
WITH "C" CEILING MOUNTED
- FIRE ALARM VISUAL ALARM, 6'-8" AFF,
WITH "C" CEILING MOUNTED
- FIRE ALARM MANUAL PULL STATION
- FIRE ALARM CONTROL PANEL

2	NTS	LEGEND	1	1/16"=1'-0"	EGRESS DIAGRAM - WAREHOUSE
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DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR
STRUCTURAL ENGINEER
MEP ENGINEER
CLIENT
CBRE Boulos Asset Management 1 Canal Plaza Portland, ME 04101

PROJECT
**Existing Warehouse
 Office Expansion**
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 CBL: 316 A003001



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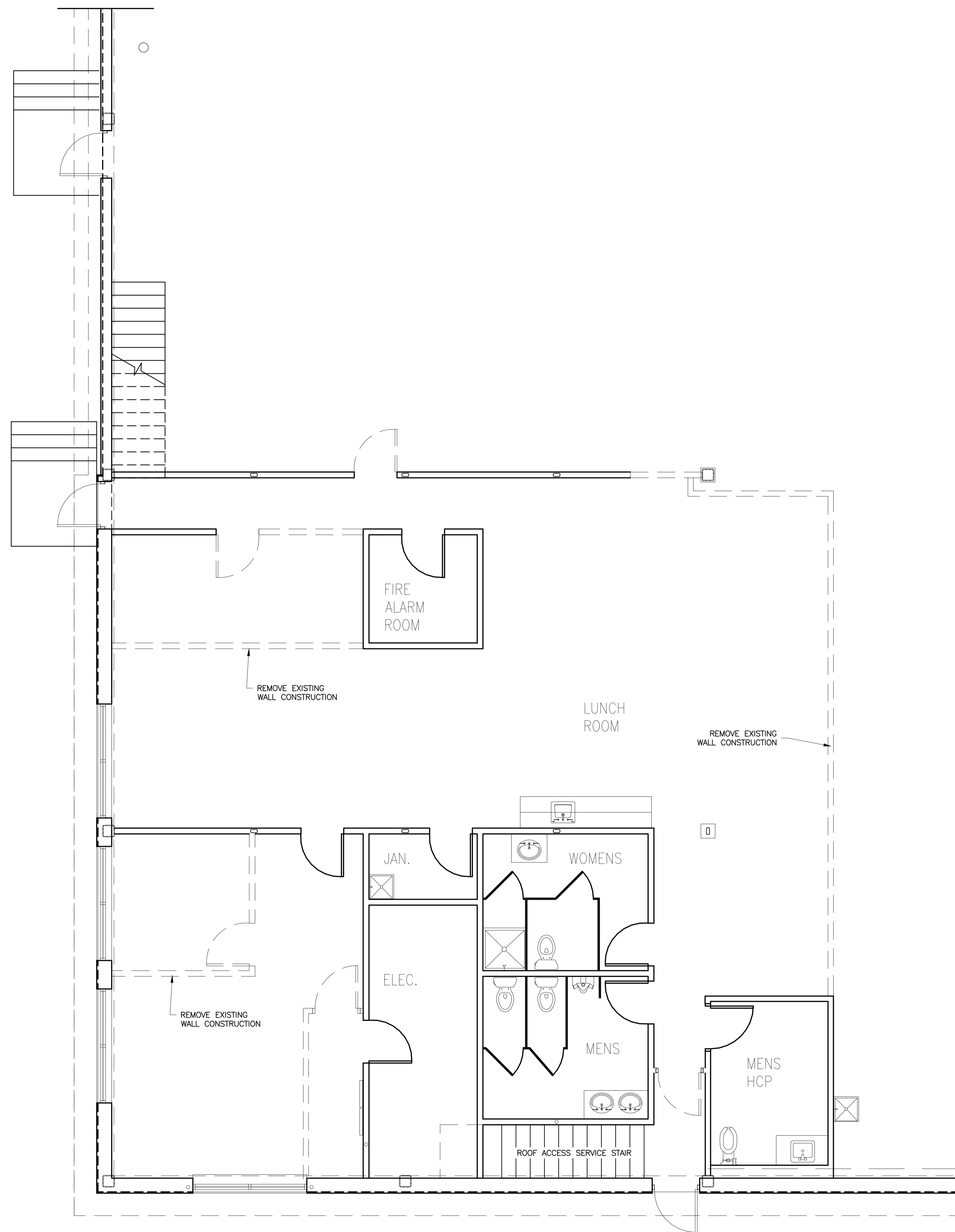
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Issue Date:	12/17/14
Drawn By:	djg
Checked By:	
Revision:	
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TITLE
DEMOLITION PLAN

SCALE
 1/4"=1'-0"

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D-1



GENERAL DEMOLITIONS NOTES

1. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE CONSTRUCTION PHASING.
2. IN AREA OF WORK, G.C. SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING CONSTRUCTION WHICH IS TO REMAIN.
3. GENERAL CONTRACTOR SHALL NOTIFY OWNER OF ANY HAZARDOUS MATERIALS DISCOVERED DURING DEMOLITION OR RE-CONSTRUCTION. G.C. SHALL REMOVE AND DISPOSE OF ALL HAZARDOUS MATERIALS IN ACCORDANCE WITH STATE AND LOCAL LAWS. ALL WORK SHALL BE PERFORMED BY A LICENSED ABATEMENT PROFESSIONAL. G.C. SHALL PROVIDE THE OWNER WITH ALL DOCUMENTS CERTIFYING THAT THE REMOVAL AND DISPOSAL MEETS ALL STATE AND LOCAL LAWS.
4. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT WITH THE ARCHITECT BEFORE PROCEEDING.
5. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. CONTRACTOR TO REMOVE AND DISPOSE OF ALL CARPET AND VCT IN ACCORDANCE WITH STATE AND LOCAL LAWS.
7. CONTRACTOR TO PREPARE EXISTING SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
8. ANY/ ALL EXISTING FIREPROOFING FOUND ON EXISTING STRUCTURE (COLUMNS, BEAMS, SLAB) SHALL BE PROTECTED & REMAIN INTACT.
9. IN PARTITIONS TO BE REMOVED - REMOVE AND CAP ALL ELECTRICAL OUTLETS, SWITCHES, THERMOSTATS, WIRES, ETC. TO THEIR SOURCE AS REQUIRED.
10. CONTRACTOR TO STORE AND REMOVE ALL DEBRIS FROM SITE.
11. CONTRACTOR IS RESPONSIBLE TO CHECK WITH THE BUILDING OWNER OF ANY ITEMS TO BE SAVED AND RETURNED TO THE BUILDING OWNER PRIOR TO REMOVAL.
12. ALL WIRING, SWITCHING AND OUTLETS TO BE REMOVED A TERMINATED AT THE PANEL.
13. ALL ELECTRICAL WIRE MOLDING TO BE REMOVED AND SURFACES TO BE CLEAR OF ALL FASTENERS.

2	NTS	DEMOLITIONS NOTES
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1	1/4"=1'-0"	DEMOLITION PLAN
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DO NOT SCALE DRAWINGS



GENERAL CONTRACTOR

STRUCTURAL ENGINEER

MEP ENGINEER

CLIENT

CBRE | Boulos Asset Management
 1 Canal Plaza
 Portland, ME 04101

PROJECT
**Existing Warehouse
 Office Expansion**
 765 Warren Avenue
 Portland, ME 04101
CBL: 316 A003001



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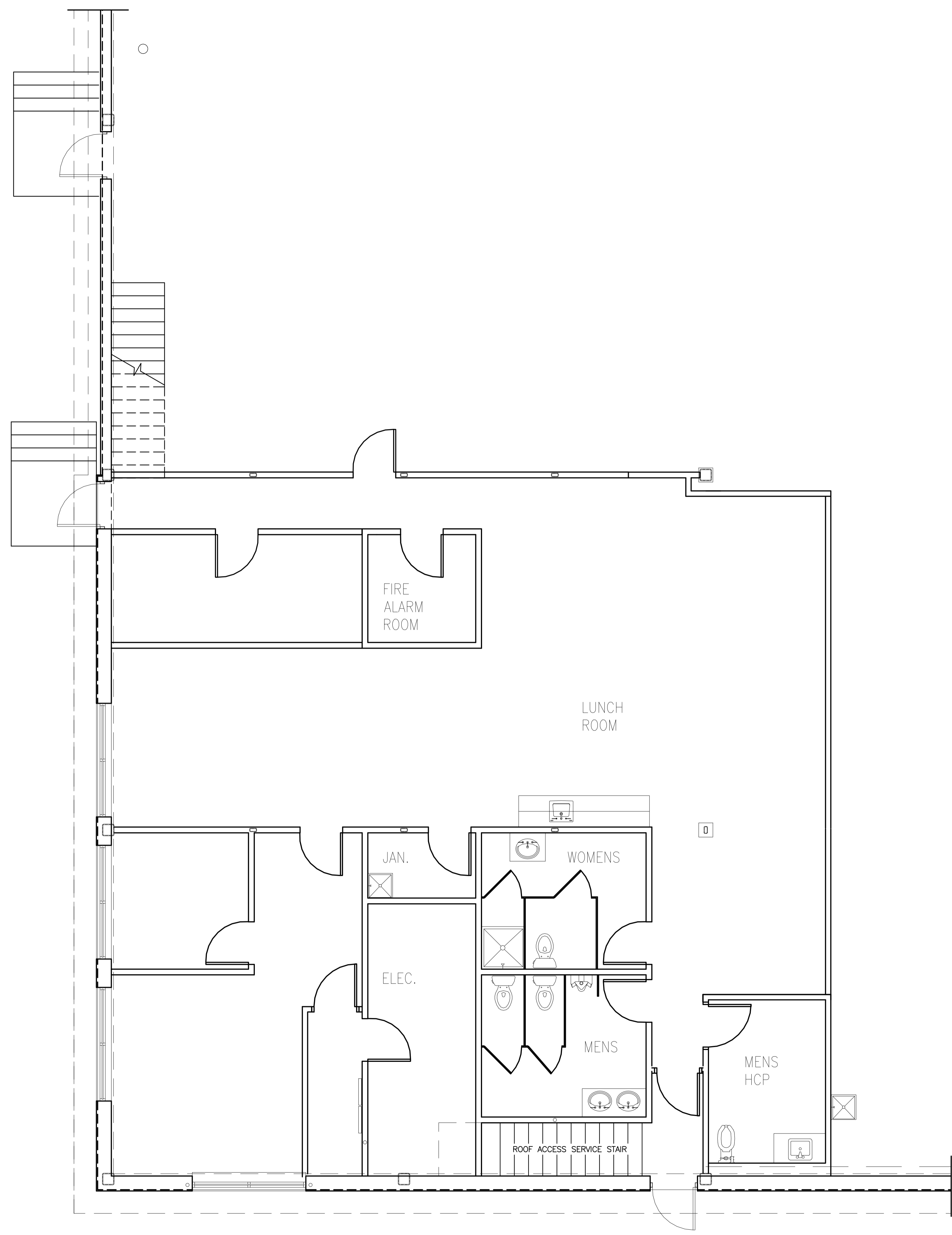
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TITLE
**EXISTING CONDITIONS
 PLAN**

SCALE
1/4"=1'-0"

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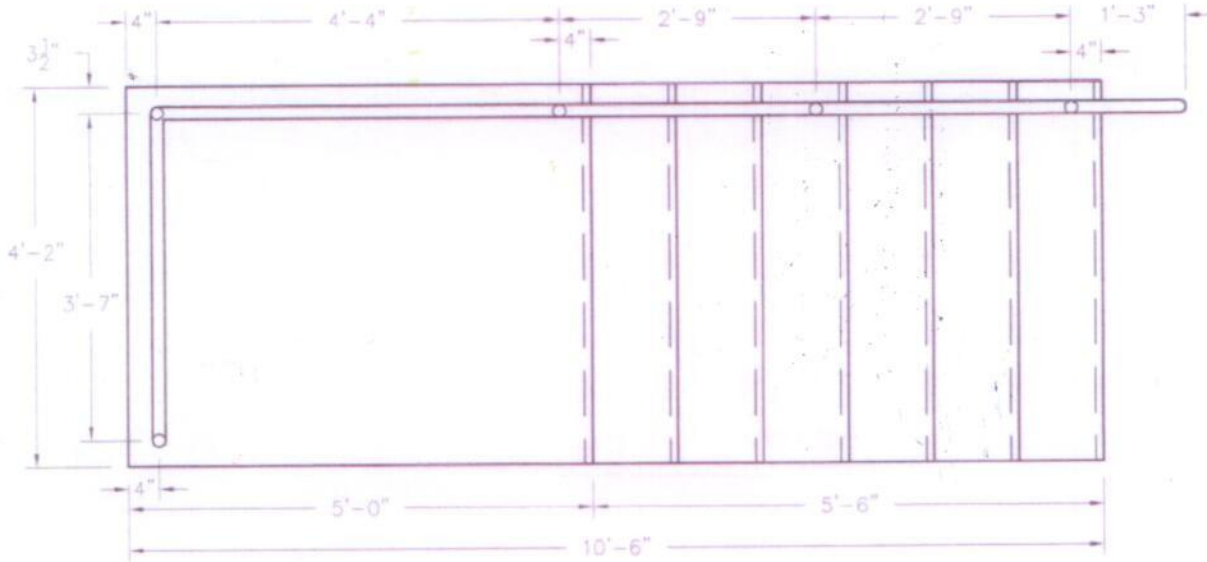
1 1/4"=1'-0" PARTIAL PLAN - EXISTING CONDITIONS

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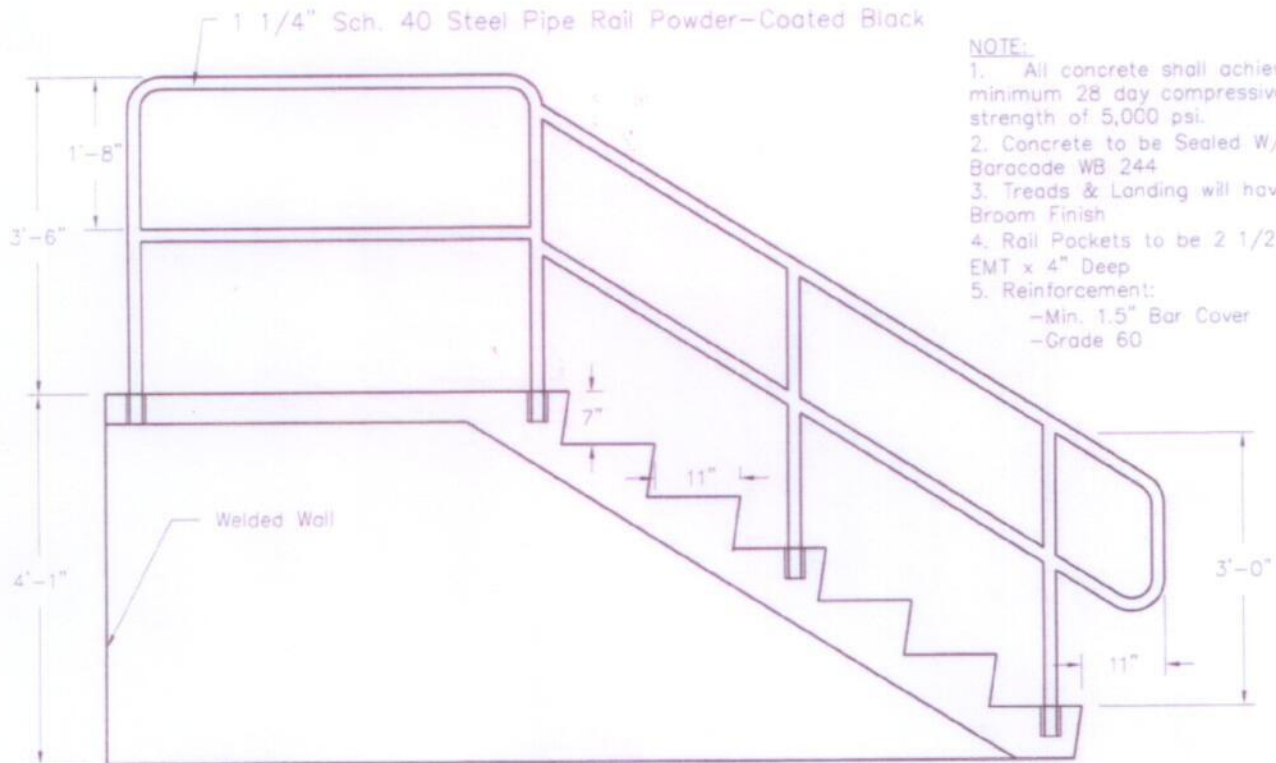
EX-1



50" Wide, 7 Riser, 60" Platform 7/11 Step Sideway



Plan View



NOTE:

1. All concrete shall achieve a minimum 28 day compressive strength of 5,000 psi.
2. Concrete to be Sealed W/ Baracade WB 244
3. Treads & Landing will have Broom Finish
4. Rail Pockets to be 2 1/2" EMT x 4" Deep
5. Reinforcement:
 - Min. 1.5" Bar Cover
 - Grade 60

Elevation View



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges, Date: 02/03/15
within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: 765 WARREN AVE PORTLAND ME.		
Total Square Footage of Proposed Structure: 960 +/- SF.		EXISTING BLDG.
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 318 A 002	Applicant Name: WARREN AVE DEVELOPMENT LLC & CHUNKY MONKEY LLC C/O CBRE BOULOS Address: 1 CANAL PLAZA City, State & Zip PORTLAND ME.	Telephone: 207 871 1290 Email: PURENECK@BOULOS.COM
Lessee/Owner Name : (if different than applicant) Address: SAME City, State & Zip: Telephone & E-mail:	Contractor Name: SAME (if different from Applicant) Address: City, State & Zip: Telephone & E-mail:	Cost Of Work: \$ <u>\$316,716.00</u> C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) <u> WAREHOUSE </u> If vacant, what was the previous use? <u> WAREHOUSE </u> Proposed Specific use: <u> WAREHOUSE </u> Is property part of a subdivision? <u> </u> If yes, please name _____ Project description: WAREHOUSE TO REMAIN AS IS, ESFR SPRINKLER UPGRADE , OFFICE AREA TO BE EXPANDED +/- 960 SF; PLANS ATTACHED		
Who should we contact when the permit is ready:		PAUL URENECK
Address: CBRE BOULOS ASSET MGMT		
City, State & Zip: 1 CANAL PLAZA PORTLAND ME		
E-mail Address: PURENECK@BOULOS.COM		
Telephone: OFFICE 871 1290 CELL 233 1172		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Paul Ureneck* Date: **12.22.14**

This is not a permit; you may not commence ANY work until the permit is issued.



Certificate of Design Application

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

From Designer: David Graham, ARC 3113 Date: 02/03/15
 Date: December 17, 2014
 Job Name: American Tire Distribution
 Address of Construction: 765 Warren Avenue

2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 Use Group Classification (s) STORAGE (S-1) & Business (B)
 Type of Construction 2 (B)
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IBC YES
 Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) separated
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NA

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
 _____ Basic wind speed (1809.3)
 _____ Building category and wind importance Factor, I_w
 (table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
 _____ Seismic use group ("Category")
 _____ Spectral response coefficients, S_D & S_I (1615.1)
 _____ Site class (1615.1.5)

_____ Live load reduction
 _____ Roof *live* loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
 _____ If $P_g > 10$ psf, flat-roof snow load I_f
 _____ If $P_g > 10$ psf, snow exposure factor, G
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_t (1608.4)
 _____ Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R , and
 deflection amplification factor C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
 _____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
 _____ Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)



Reviewed for Code Compliance
Inspections Division
Approved with Conditions



Accessibility Building Code Certificate

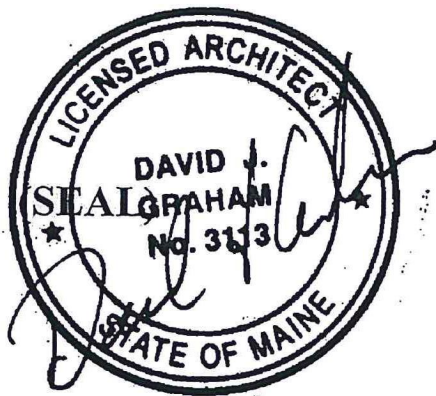
Date: 02/03/15

Designer: David Graham, ARC 3113

Address of Project: 765 Warren Avenue

Nature of Project: Renovate and expand existing warehouse office space
Install new ESFR sorinkler system in existing warehouse.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: DAVID J. GRAHAM

Title: Architect

Firm: Graham Architects

Address: 59 Mills Road

Kennebunkport ME

Phone: 207-967-8850

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Date: 02/03/15



Certificate of Design

Date: December 17, 2014

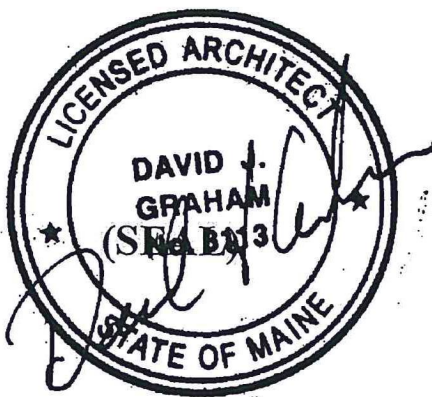
From: David Graham

These plans and / or specifications covering construction work on:

Proposed warehouse office renovation

at 765 Warren Avenue, Portland Maine

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.



Signature: DAVID J. GRAHAM

Title: Architect

Firm: Graham Architects

Address: 59 Mills Road

Kennebunkport ME

Phone: 207-967-8850

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