

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 021210

This is to certify that Writt Frederick A &/n/a  
has permission to Drive thru coffee shop, no indoor seating  
AT 519 Warren Ave L 314 B047001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1210	Issue Date:	CBL: 48:55 314 B047001
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Location of Construction: 519 Warren Ave	Owner Name: Writt Frederick A &	Owner Address: 93 Mast Rd	Phone: 207-797-9241
Business Name: n/a	Contractor Name: n/a	Contractor Address: Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: <del>Additions</del> - Commercial	Zone: B-4

Past Use: Vacant / Single Family Residence	Proposed Use: Drive thru coffee shop (business) no interior seating.	Permit Fee: \$373.00	Cost of Work: \$50,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: SB 11/18/02 Signature: <i>[Signature]</i>	

Proposed Project Description: Drive thru coffee shop, no interior seating	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 10/22/2002	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>N/A Panels Zone X</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan #2002-6094</p> <p>Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK with conditions</i> Date: <i>11/5/02</i></p>	<p><b>Zoning Appeal</b></p> <p><input checked="" type="checkbox"/> Variance <i>(lot size)</i></p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation <i>4/4/2002</i></p> <p><input checked="" type="checkbox"/> Approved <i>10/3/02</i> <i>Extension Approval</i></p> <p><input type="checkbox"/> Denied <i>10/3/02</i></p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

Applicant: Craig RASMUSSEN

Date: 11/5/02

Address: 519 WARREN AVE

C-B-L: 314-B-04748

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - B-4

~~Interior~~ or corner lot - CORN and old fiske ST

Proposed Use/Work - construct drive thru coffee shop

Sevage Disposal - City

Lot Street Frontage - 60' min - 79' shown

Front Yard - 20' or Average Reg. - 43' scaled

Rear Yard - 20' min 41' scaled

Side Yard - 10' reg - 15' 39' scaled  
1-2 stories

Projections - just overhang

Width of Lot - 60' reg - 79' shown

Height - 65ft max - 14'3" shown

variance  
Appeal  
4/4/2002  
extended  
10/3/02

Lot Area - 10,000<sup>sq</sup> reg - 7,900<sup>sq</sup> shown OK per APPEALS

Lot Coverage/Impervious Surface - 80% max or 6320<sup>sq</sup> max = 5147<sup>sq</sup> given TOTAL

Area per Family - N/A

Off-street Parking - retail - none reg - under 2,000<sup>sq</sup> shown - 3 spaces shown

Loading Bays - N/A

Site Plan - # 2002-0094

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 6 zone

Max Floor Area Ratio = .55 max floor = 448<sup>sq</sup> / Land Area = 7,900<sup>sq</sup> = .057



CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

I, Elizabeth Bordowitz, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 4<sup>th</sup> day of April 2002, the following variance was granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

- 1. **Property Owner:** Fredrick A. Witt & Colleen R. Witt
- 2. **Property:** Cumberland County Registry of Book 15648, Page 186  
(Last recorded August 9, 2000 Deed in Chain of Title)  
517 Warren Avenue CBL: 314-B-047, 48 & 55
- 3. **Variance and Conditions of Variance:**  
To allow for relief from Section 14-229.13 of the Zoning Ordinance in regards to dimensional requirement to allow a reduction in lot size, from the required 10,000 s.f. to approximately 7,900 s.f.

IN WITNESS WHEREOF, I have hereto set my hand and seal this 25<sup>th</sup> day of April, 2002.

RECEIVED  
RECORDED REGISTRY OF DEEDS

2002 JUN 13 AM 10: 51

CUMBERLAND COUNTY

*John B. O'Brien*

*Elizabeth L. Bordowitz*, Chair  
Elizabeth L. Bordowitz

(Printed or Typed Name)

STATE OF MAINE  
Cumberland, ss.

Then personally appeared the above-named **Elizabeth Bordowitz** and acknowledged the above certificate to be her free act and deed in her capacity as Chairman of the Portland Board of Appeals.

*Deborah Lynn*

DEBORAH LYNN (Printed or Typed Name)  
Notary Public, Maine  
My Commission Expires April 7, 2003 Notary Public

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.

Site # 20020094 02 1510

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 519 WARREN AVENUE, PORTLAND, ME 04103

Total Square Footage of Proposed Structure 448 SF. Square Footage of Lot 7900 SF.

Tax Assessor's Chart, Block & Lot Chart# 314 Block# 3 Lot# 47, 48 & 55 Owner: FRED & COLLEEN WRIGHT 93 MAST ROAD FALMOUTH, ME. 04105 Telephone: (207) 797-9241

Lessee/Buyer's Name (if Applicable) CRAIG RASMUSSEN 171 BROWN STREET WESTBROOK, ME. 04092 Applicant name, address & telephone: (207) 856-1600 Cost Of Work: \$ 50,000. - Fee: \$ 324. -

Current use: VACANT LOT Total \$ 373.00 If the location is currently vacant, what was prior use: SINGLE FAMILY RESIDENCE Approximately how long has it been vacant: Proposed use: DRIVE THRU COFFEE SHOP (BUSINESS) NO INTERIOR SEATING Project description: DRIVE THRU COFFEE SHOP w/ NO INTERIOR SEATING Variance Passed with Zoning

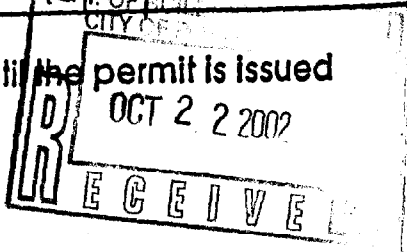
Contractor's name, address & telephone: Who should we contact when the permit is ready: CRAIG RASMUSSEN (207) 856-1600 Mailing address: 171 BROWN STREET WESTBROOK, ME. 04092 Phone:

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 10/2/02

This is not a permit, you may not commence ANY work until the permit is issued



Application ID Number: 2-1210

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Address: 519 Warren Ave

Approved Date: 11/05/2002

Start Date: 11/01/2002

OK to Issue Permit By: Marge Schmuckal Date: 11/05/2002

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Create Date: 10/23/2002 By: gg Update Date: 11/05/2002 By: mes

Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

*Jodie A.*  
Division Directors  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

September 27, 2002

Mr. Craig Rasmusson  
171 Brown Street #2  
Westbrook, ME 04092

RE: Coffee Shop Drive thru, 519 Warren Avenue  
ID #2002-0094, CBL #314-B-047

Dear Mr. Rasmusson:

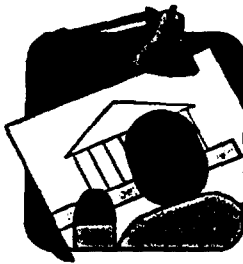
On September 27, 2002, the Portland Planning Authority granted minor site plan approval to allow a drive-thru coffee shop located at 519 Warren Avenue with the following conditions:

- i. that the applicant install a 12" pipe from the catch basin inlet to the catch basin; and
- ii. that the applicant provide an executed drainage maintenance agreement.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.



# CITY OF PORTLAND MAINE

389 Congress St., Rm 315  
Portland, ME 04101  
Tel. - 207-874-8704  
Fax - 207-874-8716

**TO:** Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

**FROM DESIGNER:** DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC  
1344 WASHINGTON AVE, PORTLAND, ME. 04103

**DATE:** 10/21/03

**Job Name:** DRIVE THRU COFFEE SHOP DBA BELLINGHAM COFFEE

**Address of Construction:** 519 WARREN AVENUE, PORTLAND, ME 04103

### THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA - 1999 Use Group Classification(s) B (BUSINESS)  
Type of Construction SB Bldg. Height 15'-4" Bldg. Sq. Footage 448 G.S.F.  
Seismic Zone Ar = 0.10 Group Class S.H.E.G = I  
Roof Snow Load Per Sq. Ft. 54 Dead Load Per Sq. Ft. 16  
Basic Wind Speed (mph) 90 Effective Velocity Pressure Per Sq. Ft. 25  
Floor Live Load Per Sq. Ft. 50 P.S.F.

Structure has full sprinkler system? Yes \_\_\_\_\_ No X Alarm System? Yes \_\_\_\_\_ No X  
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes X No \_\_\_\_\_

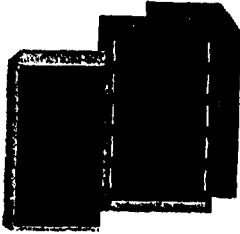
If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.

KITCHEN SPACE = 448 G.S.F @ 1/100 G.S.F = 4.48 OCCUPANTS

(Designers Stamp & Signature)





**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

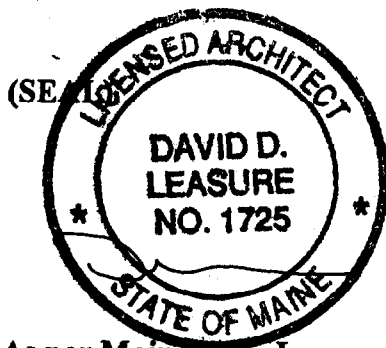
**RE:** Certificate of Design

**DATE:** 10/21/02

These plans and/or specifications covering construction work on:

DRIVE-THRU COFFEE SHOP DBA BELLINGHAM COFFEE  
519 WARREN AVENUE, PORTLAND, ME.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]

Title PRESIDENT

Firm ARCHITECTURAL ASSOC. INC.

Address 1344 WASHINGTON AVENUE  
PORTLAND, ME. 04103

**As per Maine State Law:**

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



# City of Portland, Maine

389 Congress St., Rm 315  
Portland, ME 04101

## ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

FROM: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

RE: Certificate of Design, HANDICAP ACCESSIBILITY

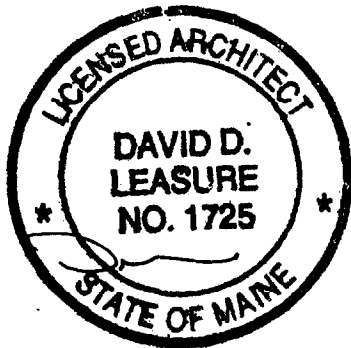
DATE: 10/21/02

These plans and/or specifications covering construction work on:

DRIVE-THRU COFFEE SHOP DBA BELLINGHAM COFFEE  
519 WARREN AVENUE  
PORTLAND, MAINE 04103

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)



Signature [Signature]

Title PRESIDENT

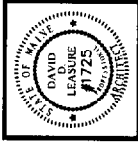
Firm ARCHITECTURAL ASSOC. INC.

Address 1344 WASHINGTON AVENUE  
PORTLAND, ME. 04103









1	PROPOSED DRIVE-THRU COFFEE SHOP
2	PROPOSED DRIVE-THRU COFFEE SHOP
3	PROPOSED DRIVE-THRU COFFEE SHOP
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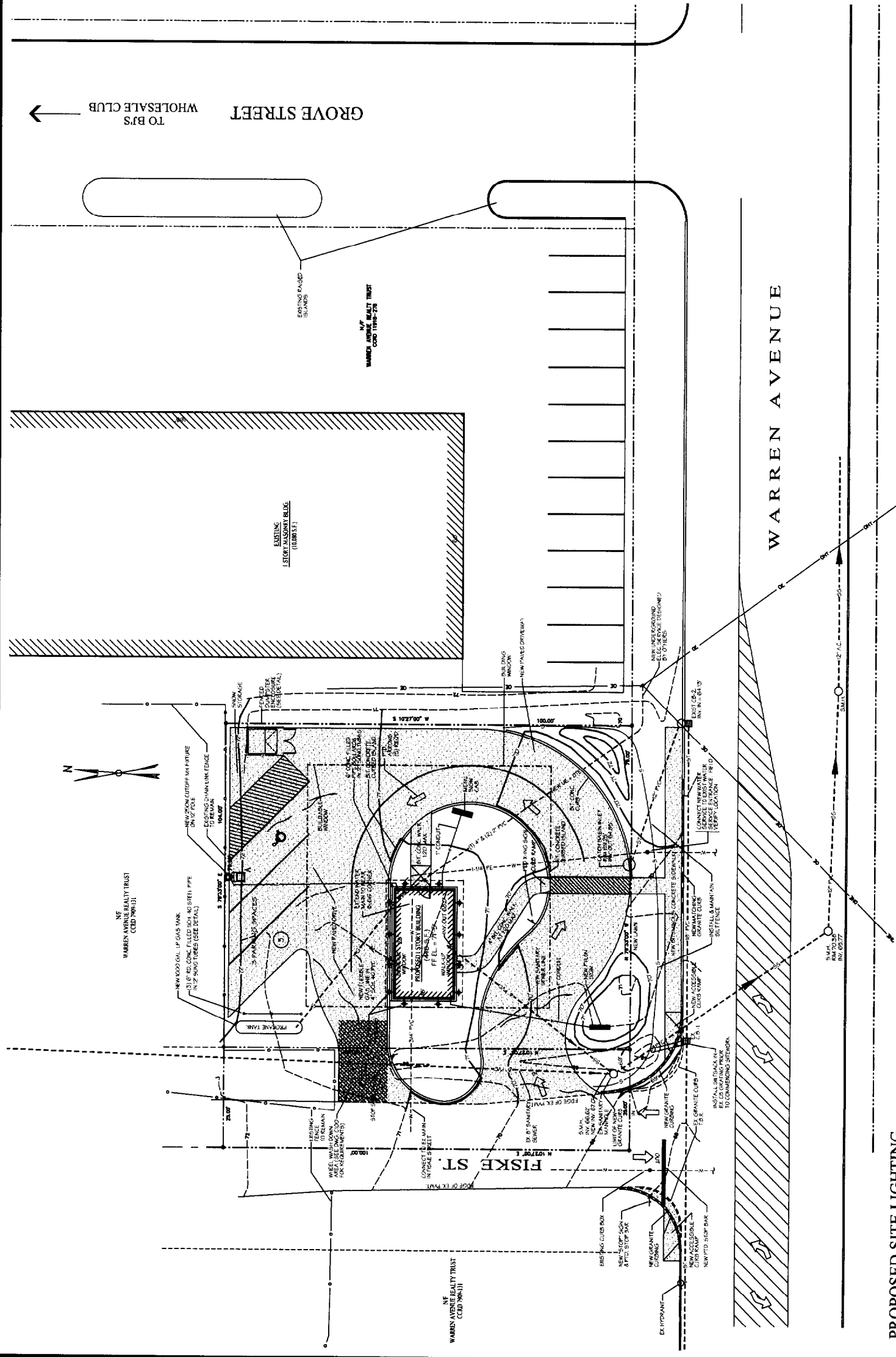
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533  
 PROJECT NO. 013002 PROJECT TITLE: DRIVE-THRU COFFEE SHOP  
 SCALE: 1" = 10'-0" SHEET TITLE: SITE UTILITY & EROSION CONTROL PLAN



REL. FOR CONSTRUCTION - OCTOBER 21, 2002

DRIVE-THRU COFFEE SHOP FOR  
 BELLINGHAM COFFEE  
 519 WARREN AVENUE  
 PORTLAND, MAINE

C-202 R2



GENERAL NOTES

1. SEE DRAWING C-202 FOR SITE DESIGN DATA, GENERAL NOTES AND OTHER REQUIREMENTS.

SITE UTILITY & EROSION CONTROL PLAN

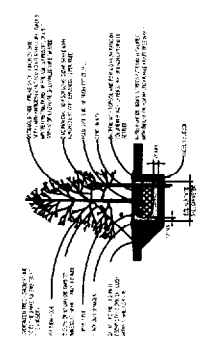
1" = 10'-0"

PROPOSED SITE LIGHTING

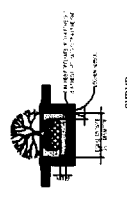
- A 2' WEDGE AREA OUTLET, FORWARD THROW AREA LIGHT - R100 250 W/ METAL HALIDE CAT. NO. W44044M250MH - 1REQD CAT. NO. T54544C-2 - 1REQD INCLUDE ALL LAMPS & ACCESSORIES
- B RECESSED MOUNTED 2' 6" AREA LIGHT, R100 250 W/ METAL HALIDE RECESSED MOUNTED MOUNTED POLY CARBONATE VANDAL RESISTANT DIFFUSER, CAT. NO. W4407100Y INCLUDE ALL LAMPS & ACCESSORIES - 12 REQUIRED

SITE LEGEND

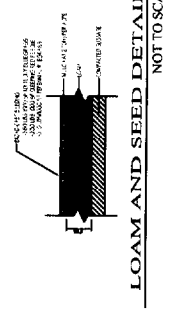
	WATER VALVE		NEW LAWN SEED
	TRANSFORMER PAD		NEW PAVED AREA
	EXISTING TREE		OVERHEAD UTILITY LINE
	PROPOSED TREE		DIRECTIONAL TELEPHONE
	CONCRETE WALKWAY		PROPRIETARY
	CONCRETE PAD		INTERLOCKING BLOCK
	CONCRETE SLAB		INTERLOCKING TILE
	CONCRETE FOUNDATION		INTERLOCKING CLAY
	CONCRETE FOOTING		STORM DRAIN
	CONCRETE WALL		STORM SEWER
	CONCRETE SLAB ON GRADE		WATER SERVICE
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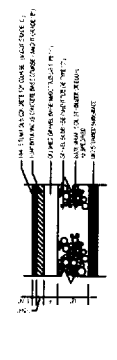
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NOT TO SCALE



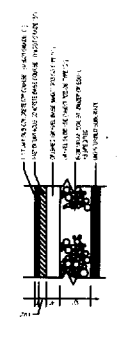
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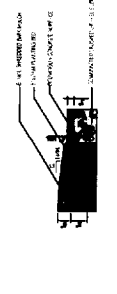
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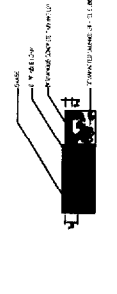
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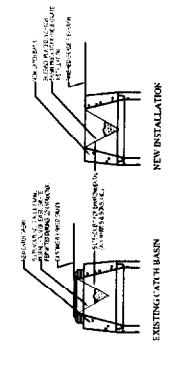
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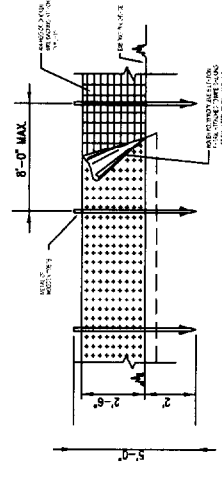
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SECTION THRU EDGE OF PAVEMENT AT GRASS  
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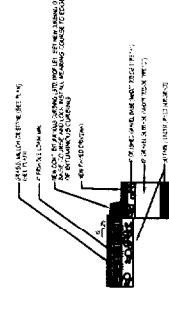


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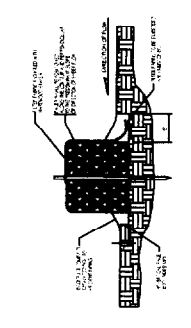


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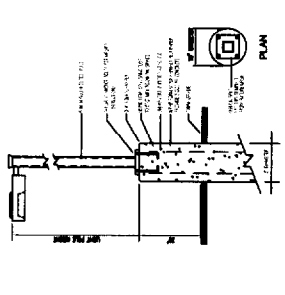
NOTE: ALL DIMENSIONS SHOWN ARE APPROXIMATE. FIELD ADJUSTMENTS MAY BE REQUIRED.



SECTION THRU CURB ED ISLAND  
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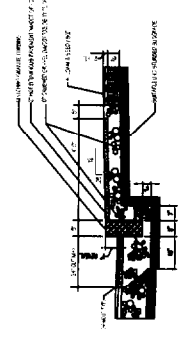
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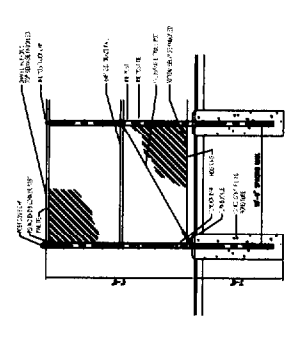
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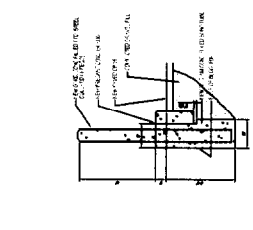
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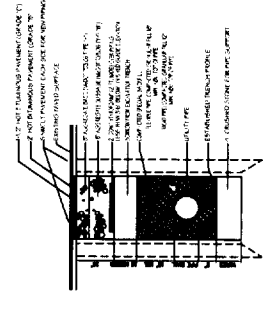
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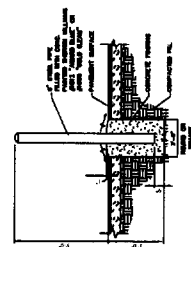
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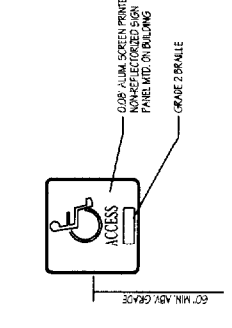
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PUBLIC RIGHT OF WAY TRENCH DETAIL  
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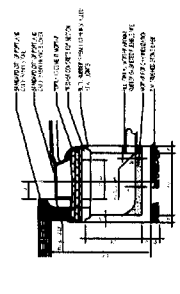


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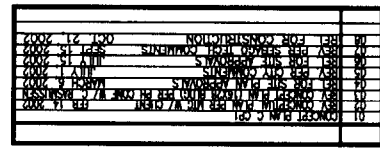
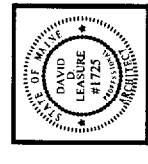


SIGN "A"  
SIGN "A1"  
SIGN "B"

TYPICAL ACCESSIBLE SIGNAGE DETAILS  
NOT TO SCALE



CATCH BASIN INLET DETAIL  
NOT TO SCALE



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE PORTLAND, MAINE  
PH. (207) 797-8661 FAX (207) 797-8533  
PROJECT NO. 013002 PROJECT TITLE: DRIVE-THRU COFFEE SHOP  
SCALE: AS NOTED SHEET TITLE: SITE DETAILS



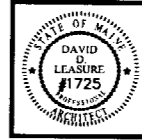
REL. FOR CONSTRUCTION - OCTOBER 21, 2002

DRIVE-THRU COFFEE SHOP FOR  
BELLINGHAM COFFEE  
519 WARREN AVENUE  
PORTLAND, MAINE

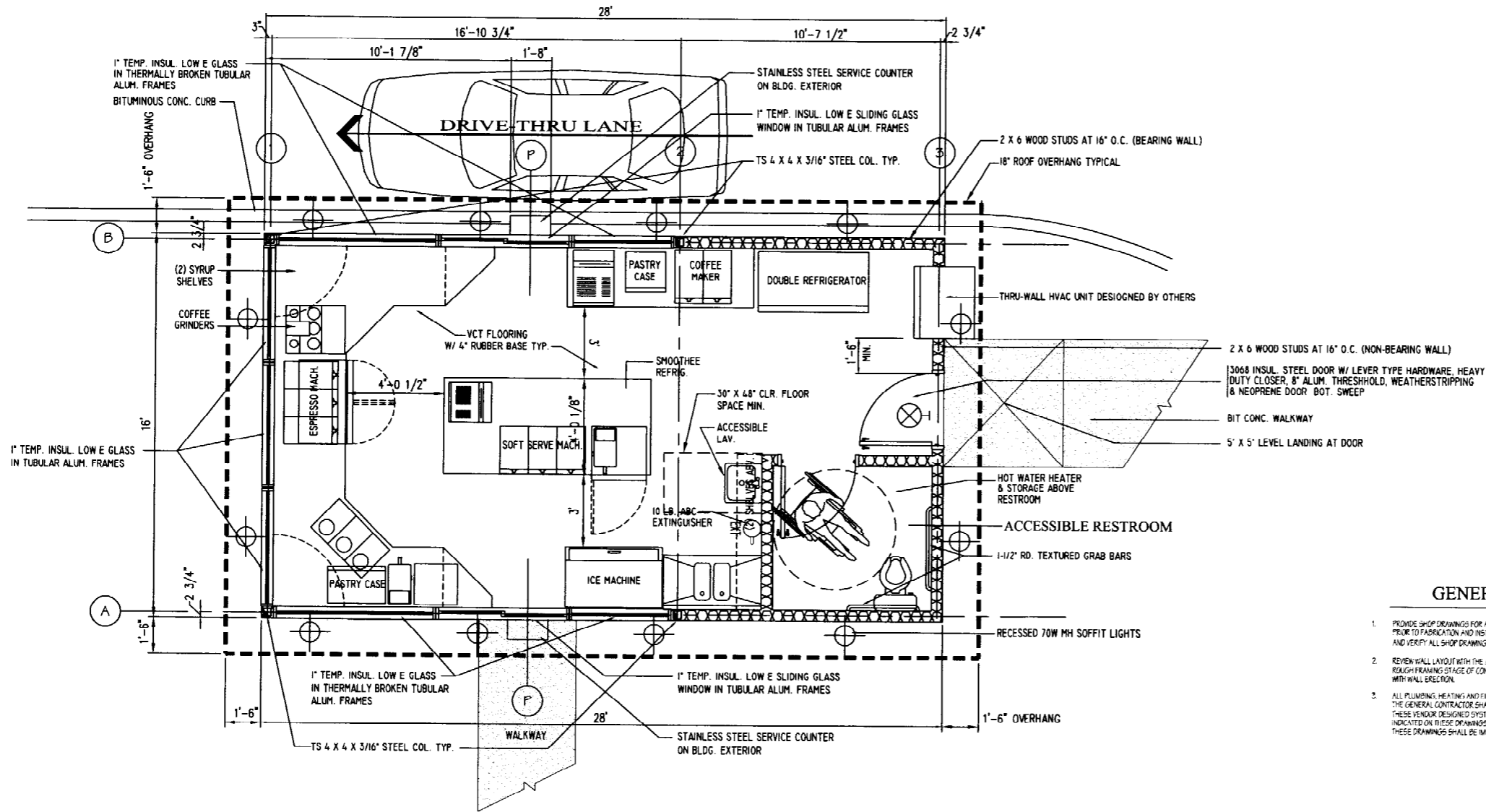
C-203 R2

SITE DETAILS  
AS NOTED

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NO.	DATE	DESCRIPTION
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3	12/10/02	ISSUED FOR CONSTRUCTION
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100	01/10/11	ISSUED FOR CONSTRUCTION



**GENERAL NOTES**

1. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW OF ALL PROJECT COMPONENTS PRIOR TO FABRICATION AND INSTALLATION. THE GENERAL CONTRACTOR SHALL REVIEW AND VERIFY ALL SHOP DRAWINGS PRIOR TO PRESENTING SHOP DRAWINGS TO ARCHITECT.
2. REVIEW WALL LAYOUT WITH THE ARCHITECT AND OWNER AT THE RAUGH FRAMING STAGE OF CONSTRUCTION PRIOR TO PROCEEDING WITH WALL ERECTION.
3. ALL PLUMBING, HEATING AND ELECTRICAL SYSTEMS SHALL BE DESIGNED BY OTHERS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD COORDINATION OF THESE VENDOR DESIGNED SYSTEMS WITH THE ARCHITECTURAL AND STRUCTURAL SYSTEMS INDICATED ON THESE DRAWINGS. ANY ALTERATIONS TO THE REQUIREMENTS INDICATED ON THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION.

**FLOOR PLAN**  
1/2" = 1'-0"

**DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.**  
1344 WASHINGTON AVENUE PORTLAND, MAINE  
PH. (207) 997-8661 FAX (207) 997-8533  
PROJECT NO. 013002 PROJECT TITLE: DRIVE-THRU COFFEE SHOP  
SCALE: 1/2" = 1'-0" SHEET TITLE: FLOOR PLAN - BELLINGHAM COFFEE

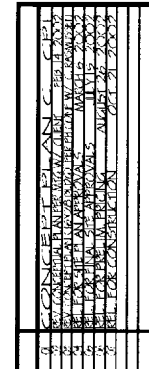
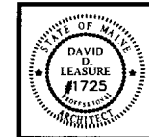
REL. FOR CONSTRUCTION - OCT. 21, 2002

DRIVE-THRU COFFEE SHOP FOR  
BELLINGHAM COFFEE  
519 WARREN AVENUE  
PORTLAND, MAINE

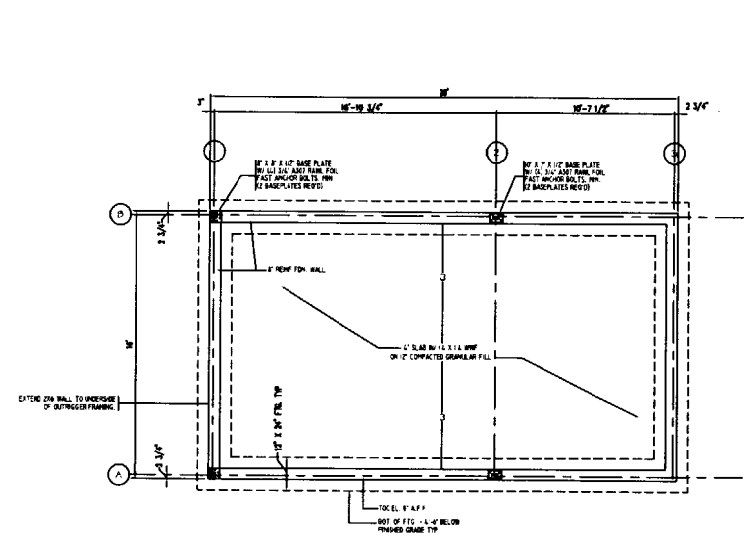
**A-200 R2**

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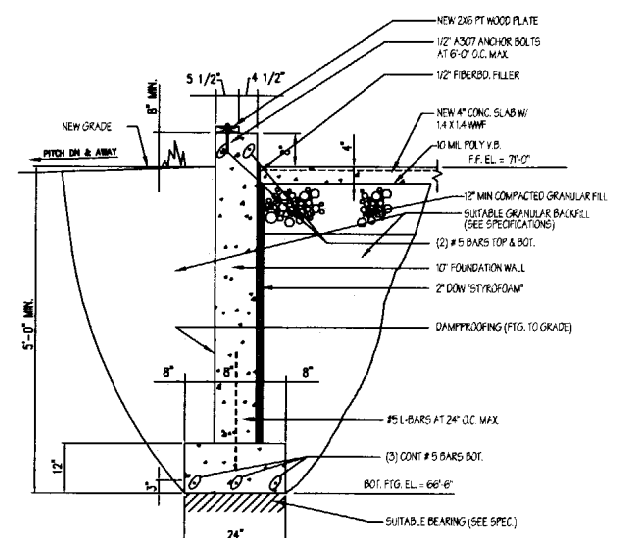




**DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.**  
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533  
 PROJECT NO. 013002 PROJECT TITLE: DRIVE-THRU COFFEE SHOP  
 SCALE: AS NOTED SHEET TITLE: FDN. & FRAMING PLANS - BELLINGHAM COFFEE



**FOUNDATION PLAN**  
 1/4" = 1'-0"



**FOUNDATION DETAIL**  
 3/4" = 1'-0"

**GENERAL NOTES:**

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The structure is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

**DESIGN LOADS:**

- Building Code: BOCA Basic Building Code (1999)
- Design Live Loads: (Ground snow load = 60 PSF)  
 Roof = 42 PSF  
 Storage Platform = 60 PSF
- Design wind loads are based on exposure using 85 mph basic wind speed.
- Seismic design utilizes the following criteria:
  - Building framing system: Load bearing walls w/ plywood shear walls resisting lateral loads.
  - Analysis procedure: Equivalent Lateral Force Procedure.
  - Seismic hazard exposure group: "I"
  - Seismic performance category: "C"
  - Soil profile type: "S4"
  - Peak velocity response acceleration (Av): "0.10"
  - Peak acceleration (Aa): "0.10"
  - Response modification factor (R): "7"
  - Deflection amplification factor (Cd): "4"

**CONCRETE NOTES:**

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
  - 3500 PSI w/ fibermesh for all slabs on grade.
  - 3000 PSI w/ fibermesh for all walls and piers.
- All concrete shall be air entrained per the specifications.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318-Latest Edition.
- Welded wire fabric shall be provided in flat slabs.
- Fiber reinforced concrete shall conform to ASTM C-1191.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. If accessories must be shown on the shop drawings, Submit (G) blue line prints and (I) reproducible (sepa) to the Architect.
- Splines of reinforcing bars shall be in accordance with ACI 318. Splines of WWF shall be 0" minimum.
- Concrete finishes: See specifications and Architectural drawings for additional information.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At control joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
- The general contractor shall be responsible for coordination of:
  - Door bond out locations, steel expansion and other required bond outs. Coordinate location of bond outs with Architectural, Mechanical, Plumbing, and Electrical drawings as necessary.
  - Properly install each specification.

**STRUCTURAL STEEL NOTES:**

- Provide Architect/Engineer with steel shop drawings for approval prior to fabrication of structural steel beams and columns.
- Structural steel fabrication, erection, and connection design shall conform to AISI Specification for the design, fabrication, and erection of structural steel - Ninth Edition.
- Structural steel:
  - Structural steel shall conform to ASTM A-36.
  - Structural tubing shall conform to ASTM A-500 GR. B.
  - Structural pipe shall conform to ASTM A-53, TYPE S or 5.
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" @ ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest Edition. Welding electrodes shall be E7018.

**TIMBER TRUSS FRAMING:**

- Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 S.D.S.F. Southern Pine, kiln dried, 15' or approved alternate.
- Applicable specifications:
  - National Design Specification for stress graded lumber and its fastenings (NDS).
  - Design specifications for light metal plate connected wood trusses TPI - Latest Edition.
- Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
- Submittals:
  - Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
  - Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
- All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute's inspection license agreement.
- Connector plates shall be galvanized.
- Timber trusses shall be designed in accordance with BOCA and ASCE 7-Latest Edition.
- Provide permanent bottom chord bracing in accordance with the truss plate institute's TPI-Latest Edition.
- Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.

**TIMBER FRAMING:**

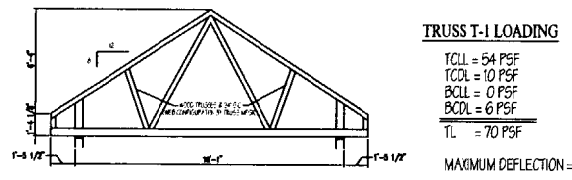
- All timber framing shall be in accordance with the ATC Timber Design Manual or the national design specifications (NDS) - Latest Edition.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% content.
- Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with coal tar creosote in accordance with AWP-C 15.
- Metal connectors shall be used as all timber to timber connections or as noted on the design drawings.
- Provide Simpson HI hurricane anchors where timber framing and/or
- Nailing not specified shall conform with BOCA 1999.

**FOUNDATION NOTES:**

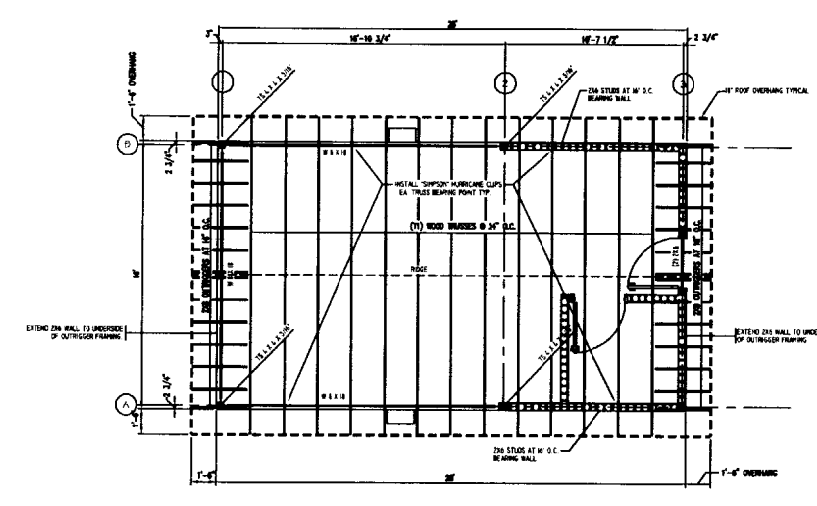
- Foundations have been designed conform with the bearing capacity indicated in BOCA 1999. Presumptive soil bearing capacity is 2,000 pcf to be verified by the GC prior to construction.
- Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill.
- Exterior strip and spread footings shall be founded on a minimum of 4'-6" below finished grade.
- Slabs on grade shall bear on a minimum of 12" of compacted structural fill overlaid with 4" of sand. If loose or non-suitable fills are encountered at the slab subgrade level, they shall be excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6-INCH	100
3-INCH	70-100
NO. 4	35-70
NO. 10	10-20
NO. 200	0-5

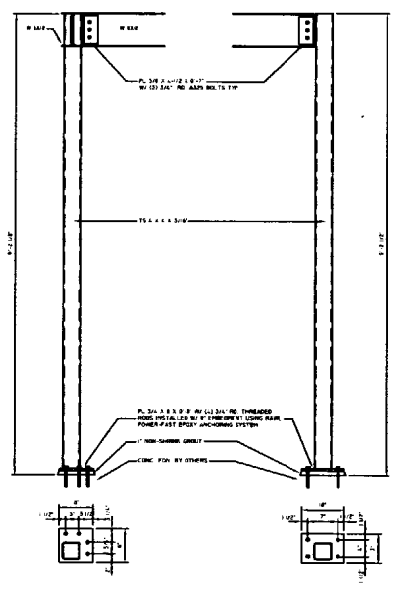
- Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
- Under drains shall be placed as shown on the site drawings. Under drains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
- Exterior concrete slabs on grade shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above.
- Reinforce slabs with (6) - #1 AWG 4 WWF.
- Back fill both sides of foundation walls simultaneously.
- Do not back fill walls until the ground level slab has been installed.



**TRUSS T-1 LOADING**  
 TCCL = 54 PSF  
 TCOL = 10 PSF  
 BCCL = 0 PSF  
 BCCL = 0 PSF  
 TL = 70 PSF  
 MAXIMUM DEFLECTION = 1/360 LIVE LOAD



**FRAMING PLAN**  
 1/4" = 1'-0"



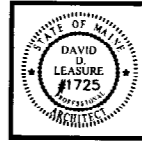
**STRUCTURAL COLUMN & BASEPLATE DETAILS**  
 3/4" = 1'-0"

REL. FOR CONSTRUCTION - OCT. 21, 2012

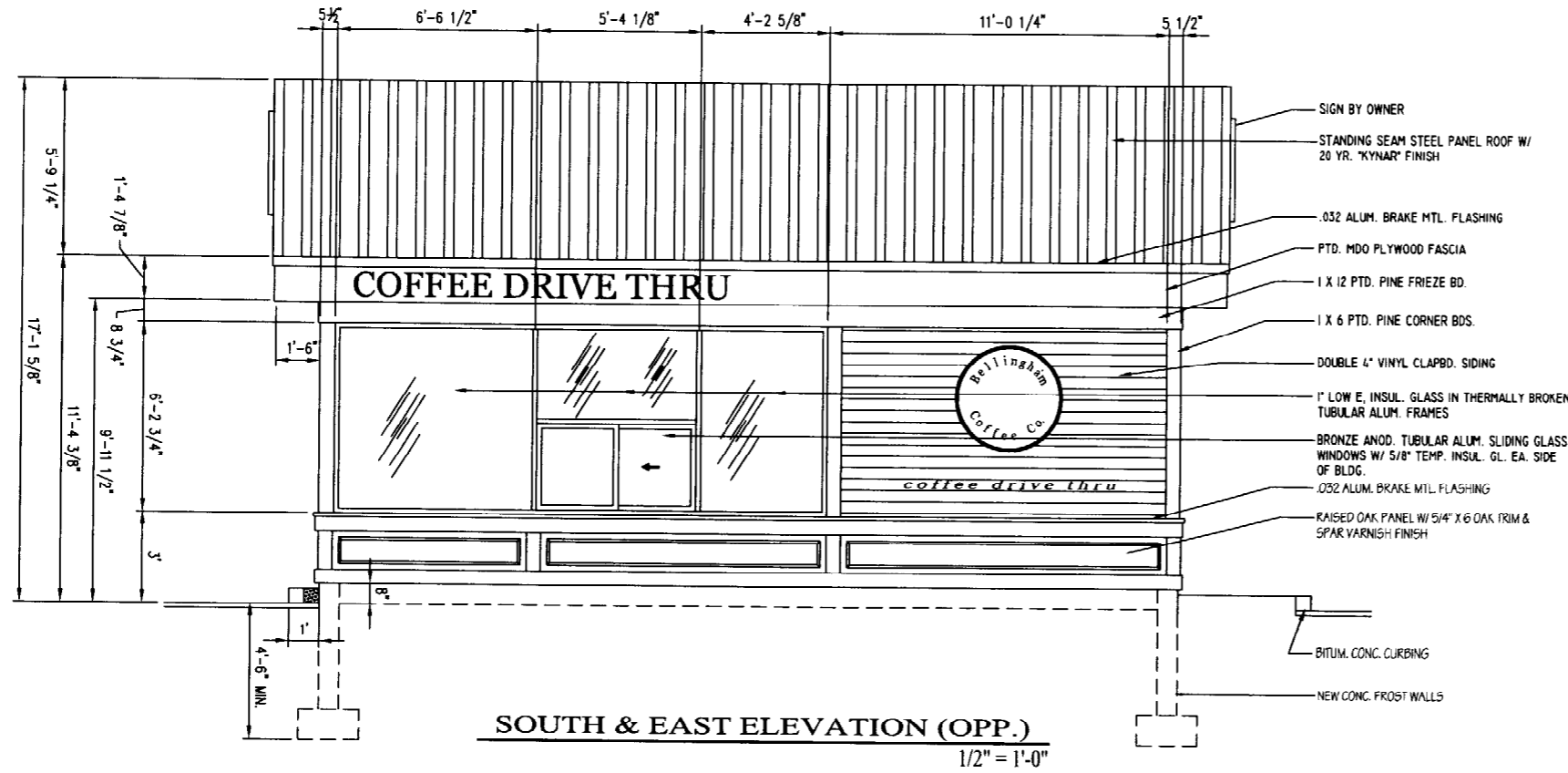
DRIVE-THRU COFFEE SHOP FOR  
 BELLINGHAM COFFEE  
 519 WARREN AVENUE  
 PORTLAND, MAINE

ST-200 R2

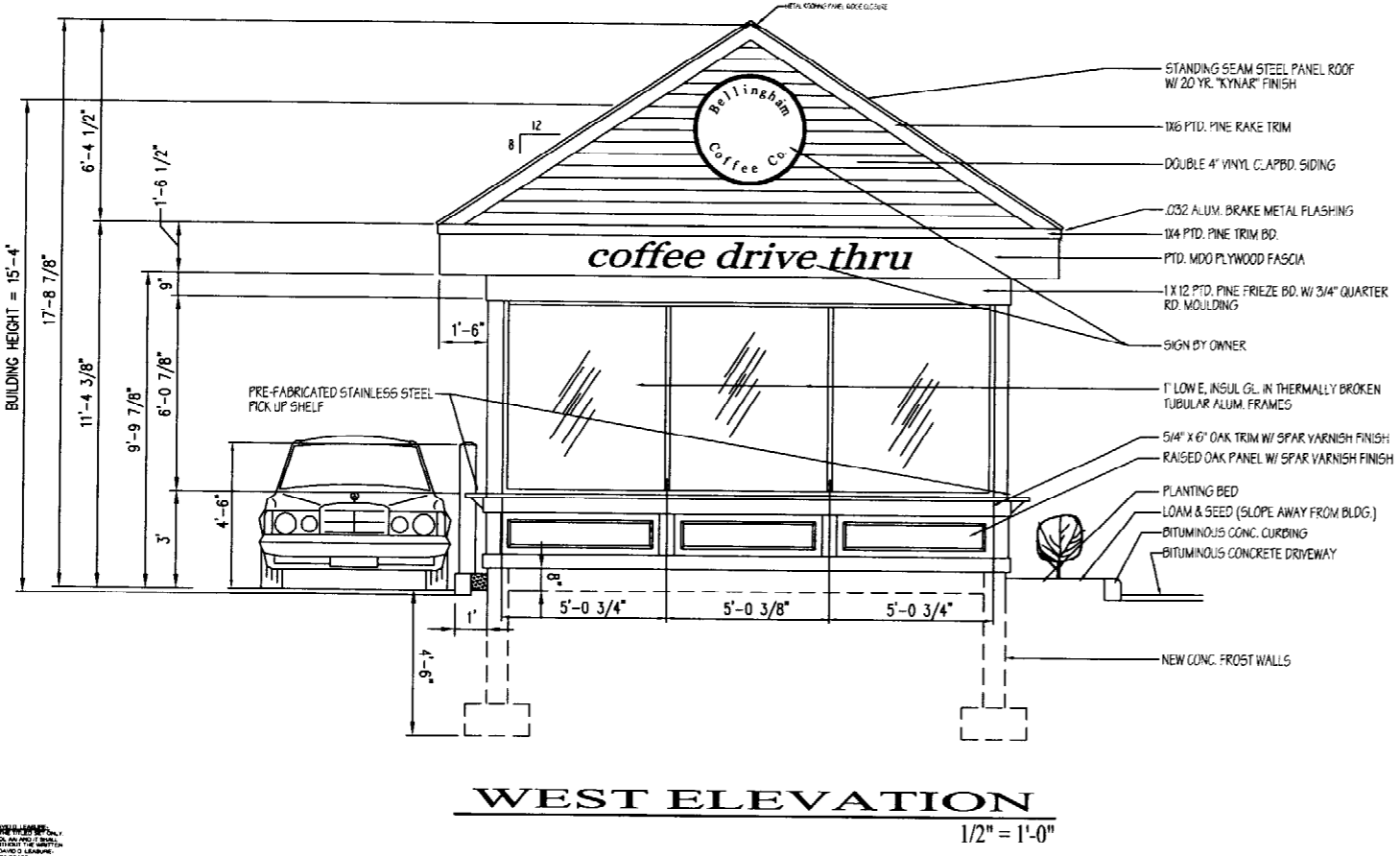
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NO.	DATE	DESCRIPTION
1	10/21/02	ISSUED FOR PERMIT
2	10/21/02	ISSUED FOR CONSTRUCTION
3	10/21/02	ISSUED FOR CONSTRUCTION
4	10/21/02	ISSUED FOR CONSTRUCTION
5	10/21/02	ISSUED FOR CONSTRUCTION
6	10/21/02	ISSUED FOR CONSTRUCTION
7	10/21/02	ISSUED FOR CONSTRUCTION
8	10/21/02	ISSUED FOR CONSTRUCTION
9	10/21/02	ISSUED FOR CONSTRUCTION
10	10/21/02	ISSUED FOR CONSTRUCTION



**SOUTH & EAST ELEVATION (OPP.)**  
1/2" = 1'-0"



**WEST ELEVATION**  
1/2" = 1'-0"

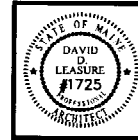
**DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.**  
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533  
PROJECT NO. 013002 PROJECT TITLE: DRIVE-THRU COFFEE SHOP  
SCALE: 1/2" = 1'-0" SHEET TITLE: EXTERIOR ELEVATIONS - BELLINGHAM COFFEE

REL. FOR CONSTRUCTION - OCT. 21, 2002

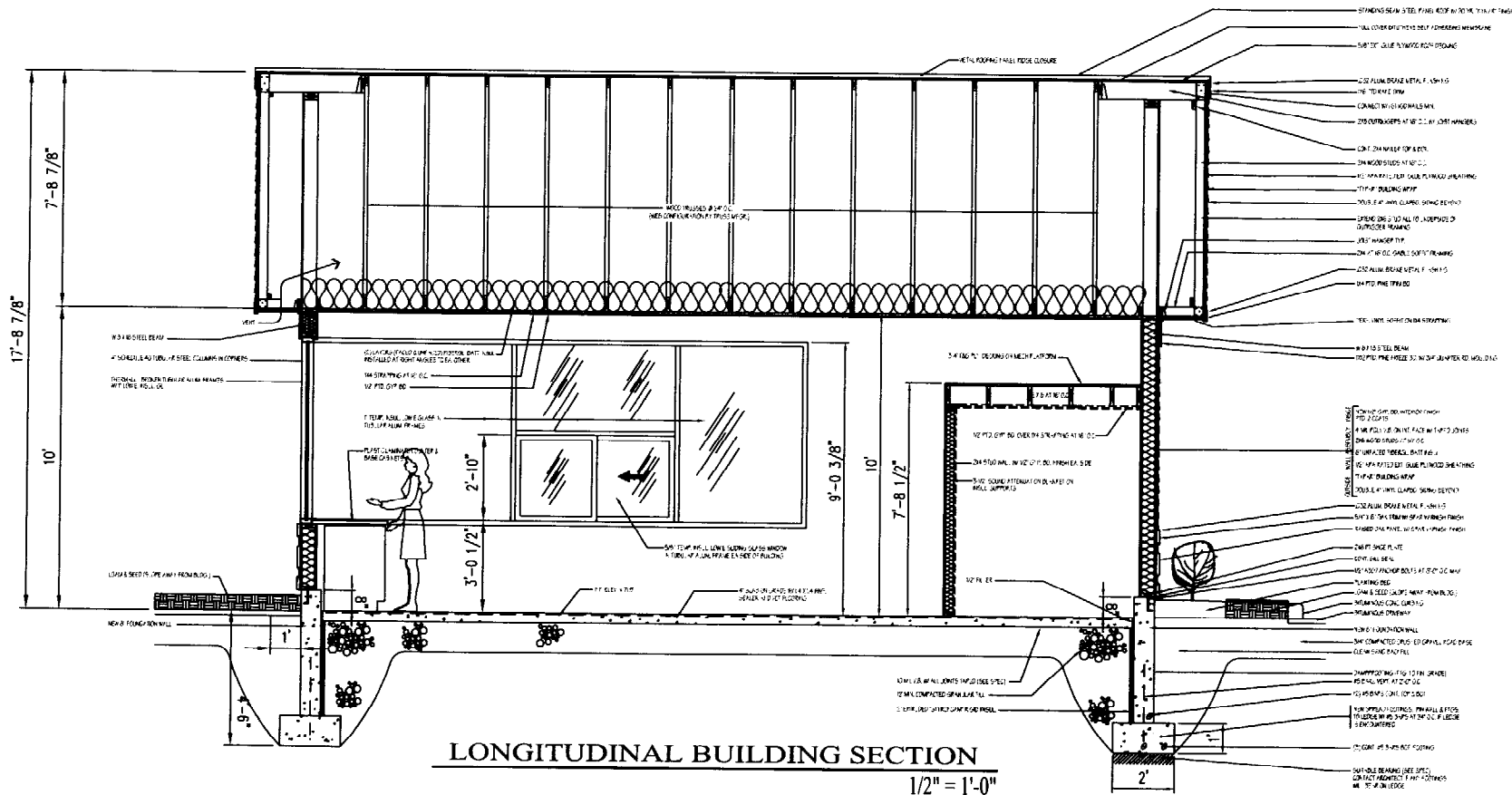
DRIVE-THRU COFFEE SHOP FOR  
BELLINGHAM COFFEE  
519 WARREN AVENUE  
PORTLAND, MAINE

**A-400 R2**

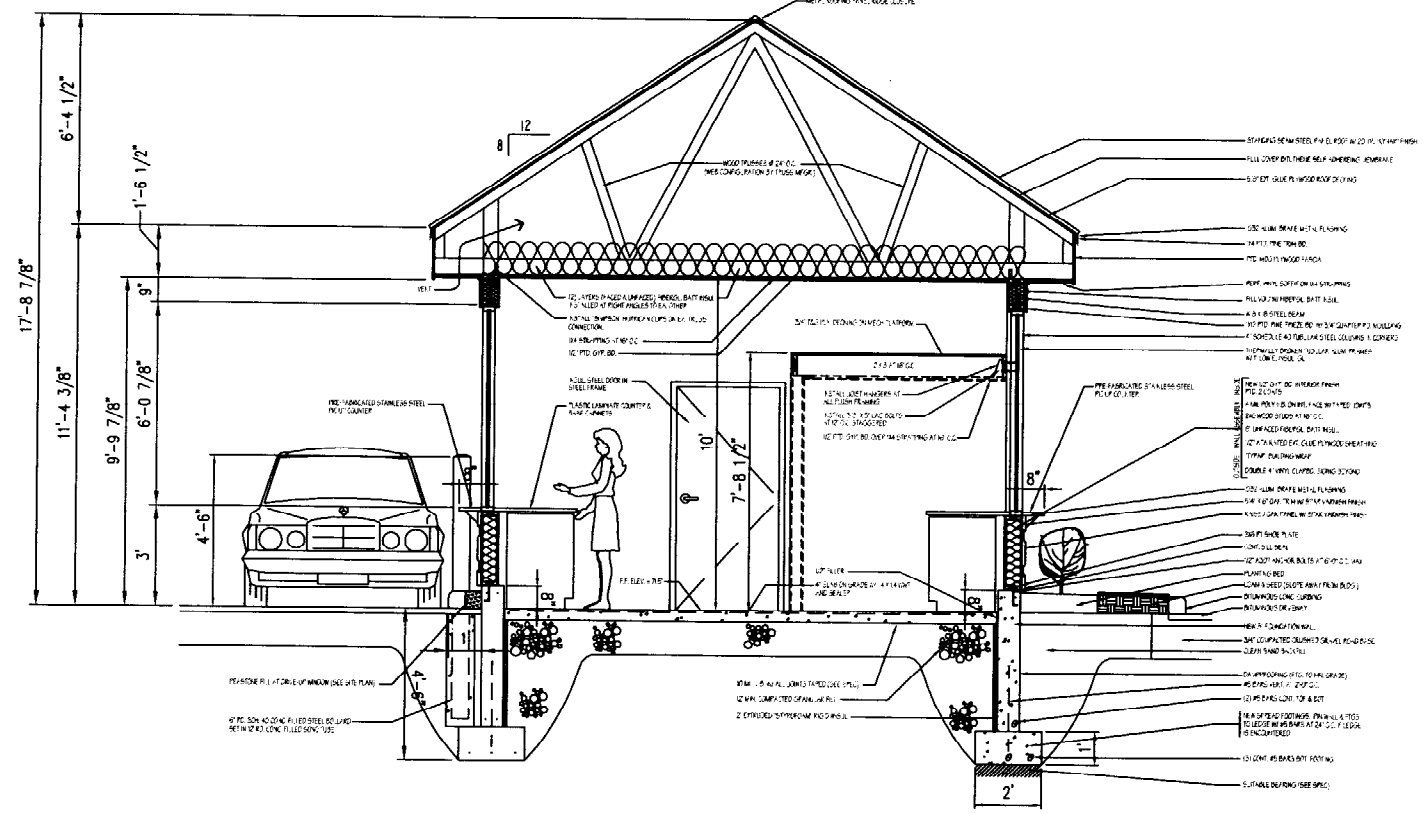
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NO.	DESCRIPTION	DATE
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**LONGITUDINAL BUILDING SECTION**  
1/2" = 1'-0"



**TRANSVERSE BUILDING SECTION**  
1/2" = 1'-0"

**DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.**  
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533  
PROJECT NO. 013002 PROJECT TITLE: **DRIVE-THRU COFFEE SHOP**  
SCALE: 1/2" = 1'-0" SHEET TITLE: **BUILDING SECTIONS - BELLINGHAM COFFEE**

REL. FOR CONSTRUCTION - OCT. 21, 2002

DRIVE-THRU COFFEE SHOP FOR  
BELLINGHAM COFFEE  
519 WARREN AVENUE  
PORTLAND, MAINE

**A-500 R2**

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