Portland BUILDING PERMIT APPLICATION Fee 25.00 Zone 3/4 Map # Please fill out any part which applies to job. Proper plans must accompany form. Owner: rossman's--Weiner Phone # 797-6816 For Official Use Only Address: 522 Warren Ave. Portland, ME 04103 Subdivision: Date March 25, 1992 LOCATION OF CONSTRUCTION 522 Warren Ave. Inside Fire Limits Bldg Code\_\_\_\_\_ Contractor: Sub.; Ownership: Time Limit\_\_\_\_ Phone # Estimated Cost\_\_\_ Address: Est. Construction Cost: Proposed Use: Temporary office Zoning: Street Frontage Provided: \_\_\_\_\_\_ Past Use:\_\_\_\_\_ Provided Setbacks: Front\_\_\_\_\_ Back\_\_\_\_ Side # of Existing Res. Units\_\_\_\_\_ # of New Res. Units\_\_\_\_ Review Required: Zoning Board Approval: Yes\_\_\_\_ No\_\_\_ Date: Building Dimensions L\_\_\_\_W\_\_\_Total Sq. Ft.\_\_\_ Planning Board Approval: Yes\_\_\_\_No \_\_\_ Date: \_\_\_\_ # Stories: \_\_\_\_\_ # Bedrooms\_\_\_\_\_ Lot Size:\_\_\_\_ Conditional Use: Variance Site Plan Subdivision Shoreland Zoning Yes\_\_\_ No\_\_\_ Floodplain Yes\_\_\_ No\_\_\_ Is Proposed Use: Seasonal \_\_\_ Condominium \_\_\_ Conversion \_\_\_ Explain Conversion to place temporary trailer for office use as per plans Special Exception Other\_\_\_(Explain) Ceiling: HISTORIC PRESERVATION 1. Ceiling Joists Size: Foundation: 2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_ 1. Type of Soil: Not in District nor Landmark. 2. Set Backs - Front Rear Side(s) 3. Type Ceilings: 4. Insulation Type \_\_\_\_\_ Size \_\_\_ Does not require review. 3. Footings Size: 5. Ceiling Height: 00.25 Requires Review. 4. Foundation Size: Roof: 5. Other 1. Truss or Rafter Size Span 2. Sheathing Type Size Action: \_\_Approved. Floor: 3. Roof Covering Type \_\_\_\_\_ Approved with Conditions 1. Sills Size: Sills must be anchored. \_\_Denied. Chimneys: 2. Girder Size: Type: Number of Fire Places Date: 3. Lally Column Spacing: Size: 4. Joists Size: Heating: Spacing 16" O.C. 5. Bridging Type:
6. Floor Sheathing Type: Size: Type of Heat: Electrical: Size: 7. Other Material: Service Entrance Size: Smoke Detector Required Yes No\_\_\_\_ Plumbing: 1. Approval of soil test if required Yes No **Exterior Walls:** 1. Studding Size \_\_\_\_ Spacing \_\_\_\_ 2. No. of Tubs or Showers 2. No. windows 3. No. of Flushes 3. No. Doors 4. No. of Lavatories 5. No. of Other Fixtures 4. Header Sizes Span(s) Yes 5. Bracing: No. Swimming Pools: Weather Exposure IT ISSUED 6. Corner Posts Size 1. Type: 7. Insulation Type Size 2. Pool Size: x 3. Must conform to National Electrical Code and State Law. 8. Sheathing Type Size 9. Siding Type Permit Received By 10. Masonry Materials 11. Metal Materials Interior Walls: Signature of Applicant 1. Studding Size Spacing
2. Header Sizes Span(s) CEO's District 3. Wall Covering Type \_\_\_\_

White - Tax Assessor

4. Fire Wall if required

5. Other Materials

**CONTINUED TO REVERSE SIDE** 

Ivory Tag - CEO

III MA CARROLL

PLOT PLAN		ň
Avre Ma		
FEES (Breakdown From Front)	In	spection Record
Base Fee \$25.00 Subdivision Fee \$	Type	Date /
Site Plan Review Fee \$		
Other Fees \$(Explain)		
Late Fee \$		
COMMENTS 3 sheets of plans submitted		
CERTIFIC	CATION	
ereby certify that I am the owner of record of the named property, or that the propos	ed work is authorized by the owner o	of record and that I have been authorized by
ner to make this application as has authorized agent and I agree to conform to all dication is issued, I certify that the code official or the code official's authorized re sonable hour to enforce the provisions of the code(s) applicable to such permit.	applicable laws of this jurisdiction. In	n addition, if a permit for work described in
NATURE OF APPLICANT SUTTON ADDRESS		

PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

Inspection Services Samuel P. Hoffses Chief



Planning and Urban Development Joseph E. Gray Jr. Director

#### CITY OF PORTLAND

March 27, 1992

Grossman's-Weiner 522 Warren Avenue Portland, Maine 04103

522 Warren Avenue

Dear Sir,

Your application to place a temporary trailer for office has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are  $\mbox{met}$ .

1. This permit is being issued with the understanding that this is for temporary office space only and is not to be one site more than one (1) year, March 27, 1992.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Samuel Noffses

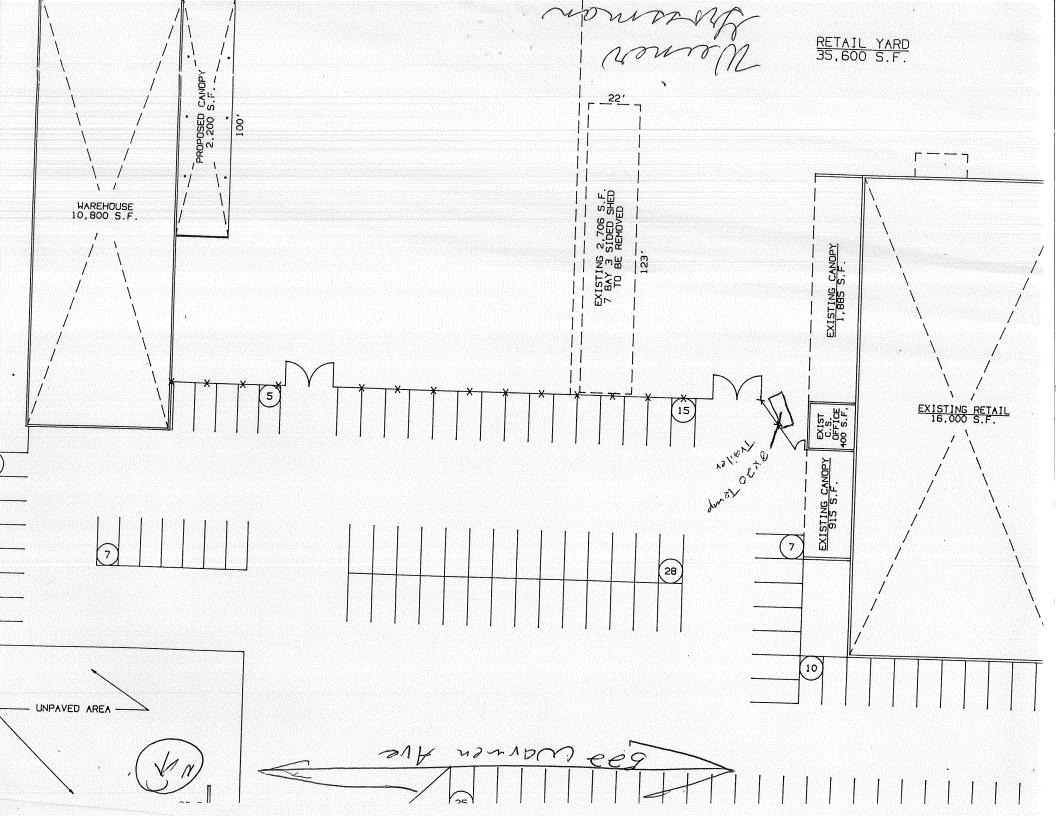
Chief of Inspection

/dmm



Temp. Office

(8×20 Trqiler)



## **GELGOSPACE**

Branch Number

Transmitted to Grossmans

Date 3/25/92



#### GS-824 Standard Mobile Office Specifications (floor plans & specifications may vary) Modifications to standard Standards Non-demountable hitch 5/8" fir underlayment 1/16" vinyl tile ∰7 ceiling height i paneing um. vindows 📆 (1) 35 - x 80 - exterior door (3) 4' double tube fluor lights (1) 8' desktop w/1-two drawer file\* (1) overhead shelf\* (1) 36" x 72" plan table w/storage\* (1) plan rack with slats\* (1) 8300 BTU A/C 110V Electric baseboard heat—2000 watts ☐ Aesthetics package option LIVELOAD ROOF # 30 16 P.S.F. Other (specify) Codes Required ANSI - Maine \*Furniture package optional 154 Pleasant Hill Rd, Box 4 Scarborough, Me. 04074 207-883-4499 Prepared by Coy Conort Roy C. Senoit Date Branch City\_\_\_

Approved by\_

Date.

# 9.70151 191026

### APPLICATION FOR AMENDMENT TO PERMIT

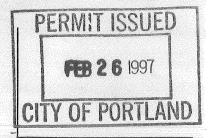


Amendment No. \_\_\_\_1

Portland, plans and specifications, if any, submitted herewith, and the following specifications:

**Portland, Maine,** \_\_\_\_2/13/97

The undersigned hereby applies for amendment to Permit No.  $\frac{97/0078}{}$  pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of



To the INSPECTOR OF BUILDINGS, PORTLAND, MAIN	
TO the INSPECTOR OF BUILDINGS, PORTLAND, MAIN	
<i>10 the</i> INSPECTOR OF BUILDINGS, PORTLAND, MAIN	
10 are indrector or buildings, portand, main	
TO DEC ITALE EXCIPCION OF EXCHANGEMENT. MAIN	

Location 517 Warren Ave		Within Fire Limits?		Dist. No	
Owner's name and address Ed Blailer			Tele	phone	
Lessee's name and address		Telephone			
Contractor's name and address Jones Con-	struction	773-3934	Tele	phone	
Architect 216 Bancroft St	- Pt1d 04	102 Pla	ans filed	No. of sheets	
Proposed use of building <u>retail cabi</u>	netry		N	o. families	
Last use					
Increased cost of work 1000					
Description	n of Propos	ed Work			
install second means of PEAMT ISSUED WITH REQUIREMENTS Detail		TOA	2/14/97		
Is any plumbing involved in this work?		ectrical work in			
Height average grade to top of plate					
Size, front depth No. stories					
Material of foundation Thick					
Material of underpinning					
Kind of roof Rise per foot					
No. of chimneys Material of chimneys					
Framing lumber — Kind					
Corner posts Sills Girt or le					
Girders Size Columns under					
Studs (outside walls and carrying partitions) 2x4-16					
Joints and rafters: 1st floor					
				oof	
Approved: 01 3 2/19/97	., 2nd	, 3rd uture of Owner_	Canny	u Jon	
dy mil	CUPART	ed:			
NSPECTION COPY — WHITE FILE COPY – APPLICANT'S COPY — YELLOW ASSESSOR'S	Land the allegate of the same of the balance	Mr.		Inspector of Buildi	