

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 080225
PERMIT ISSUED
MAR 25 2008
CITY OF PORTLAND

This is to certify that BLEILER EDWARD J TRS
has permission to Change of use from Commercial to Office & equipment storage for Lucas Tree
AT 535 WARREN AVE 314 B009001

provided that the person or persons firm or person accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procedure before this building or part thereof is closed or services closed-in 4 HOUR NOTICES REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig CLASS
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jamie Banke 3/25/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0225	Issue Date:	CBL: 314 B009001
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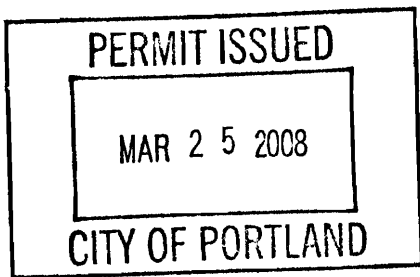
Location of Construction: 535 WARREN AVE	Owner Name: BLEILER EDWARD J TRS	Owner Address: 28 ISAAC LUCAS CIR	Phone:
Business Name: Lucas Tree Residential Division	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-4

Past Use: Commercial -	Proposed Use: Commercial - Offices and equipment storage for Lucas Tree Residential Division	Permit Fee: \$105.00	Cost of Work: \$105.00	CEO District: 5
Proposed Project Description: Change of use from Commercial to Offices & equipment storage for Lucas Tree		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: B/S1 Type: <i>DBC-2003</i>	
		Signature: <i>Lucas Tree</i> Signature: <i>JMB 3/25/08</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 03/11/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>9/11/08</i>	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0225	Date Applied For: 03/11/2008	CBL: 314 B009001
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Location of Construction: 535 WARREN AVE	Owner Name: BLEILER EDWARD J TRS	Owner Address: 28 ISAAC LUCAS CIR	Phone:
Business Name: Lucas Tree Residential Division	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - Offices and equipment storage for Lucas Tree Residential Division	Proposed Project Description: Change of use from Commercial to Offices & equipment storage for Lucas Tree
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/11/2008
Note: **Ok to Issue:**

- 2) This property shall remain offices, warehousing and maintenance and repair of vehicles with the issuance of this permit and subsequent issuance of a certificate of occupancy. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for any new signage. Please note that the previous occupant never applied nor got approvals for signage. Any existing signage does not grant any legal nonconforming or "grandfathered" rights to replace or maintain. The current maximum requirements under the B-4 Zone shall be met and enforced during signage review.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 03/25/2008
Note: **Ok to Issue:**

- 1) This is a Change of Use ONLY permit. It does NOT authorize any construction activities.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 03/19/2008
Note: CMU walls between uses require rated doors. **Ok to Issue:**
Called 03/19/08 Spoke w/ Arthur Batson jr.

- 1) 2 hr. Separation required between different uses.

Comments: 3/25/2008-jmb: Spoke with John, he says to the best of their knowledge the cmu wall that separates the uses is continuous to the roof deck. 3/11/2008-mes: This is for Lucas Tree - Residential Tree Service Division
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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 535 Warren Avenue, Portland, Maine		
Total Square Footage of Proposed Structure/Area 7,500		Square Footage of Lot 70,000
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 314 B 9	Applicant 'must be owner, Lessee or Buyer' Name Arthur Batson, Jr. Address 12 Northbrook Drive Falmouth, ME 04105 City, State & Zip	Telephone: (207) 797-7294
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Warren Avenue Realty Trust Edward J. Bleiler, Trs Address 28 Isaac Lucas Circle Dover, NH 03820 City, State & Zip	Cost Of Work: \$ <u>N/A</u> C of O Fee: \$ <u>105.00</u> Total Fee: \$ <u>105.00</u>
Current legal use (i.e. single family) <u>Sale of aerial lifts, platforms</u> If vacant, what was the previous use? <u>Custom Coach & Limousine</u> Proposed Specific use: <u>Offices and equipment storage for residential division of company (pick-up trucks, aerial lifts)</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Change of use for Lucas Tree Residential Division. No construction.</u>		
Contractor's name: <u>N/A</u> MAR 11 2008		
Address: <u>N/A</u>		
City, State & Zip <u>N/A</u>		Telephone: <u>N/A</u>
Who should we contact when the permit is ready: <u>Arthur Batson Jr.</u>		Telephone: <u>(207) 797-7294</u>
Mailing address: <u>12 Northbrook Drive, Falmouth, ME 04105</u>		

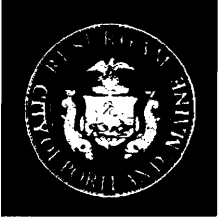
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Arthur Batson Jr.* PRESIDENT Date: 3/10/08

This is not a permit; you may not commence ANY work until the permit is issue



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

February 26, 2008

Arthur W. Batson
Lucas Tree Experts
636 Riverside Street
P.O. Box 958
Portland, Maine 04104

RE: 531-535 Warren Avenue – 314-B-009 – B-4 Zone

Dear Mr. Batson,

I am in receipt of your request to determine if your proposed use will be consistent with the underlying B-4 Zone.

Based upon your submitted letter outlining how your business would be run on this property, you would be meeting the requirements of the B-4 Zone. The B-4 Zone allows general business offices and allows maintenance and repair of vehicles and allows warehousing. All such uses apply to what you have outlined to me in your submittal.

My research of our files on this location shows that the last approved use with a certificate of occupancy was for the “sale of aerial lifts, platforms”. Your business use would be different than the previous retail sales, therefore, you would need to apply for a change of use permit from retail to the business that you described. The permit would require a sketched site plan showing the building and your off-street parking and where the variety of equipment you have will be located. We would also need scaled floor plans showing the floor(s) layout.

If you also want the use of an separate enclosed storage container to house small tools, the City would need a separate permit and review of that new structure. If that structure is under 500 square feet, you might be able to receive a site plan review exemption from the Planning Division. Any new structure placed on a site requires a site plan review from the Planning Division. However, there are certain circumstances where exemptions from that review are available. The Planning staff can guide you better on that issue. You will still need a building permit to place that unit on the site. There is no exemption available for a building permit.

If you have any further questions regarding this matter, please do not hesitate to call me at 874-8695.

Very truly yours,

Marge Schmuckal
Zoning Administrator

Cc: file

One Canal Plaza, Suite 500
Portland, ME 04101

T 207.772.1333
F 207.871.1288

www.boulos.com

March 11, 2008

Marge Schmuckal
Zoning Administration
389 Congress Street
Portland, ME 04101

RE: Change of Use Application
535 Warren Avenue

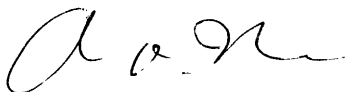
Dear Marge,

Please find enclosed, Lucas Tree Residential Division's change of use application for 535 Warren Avenue.

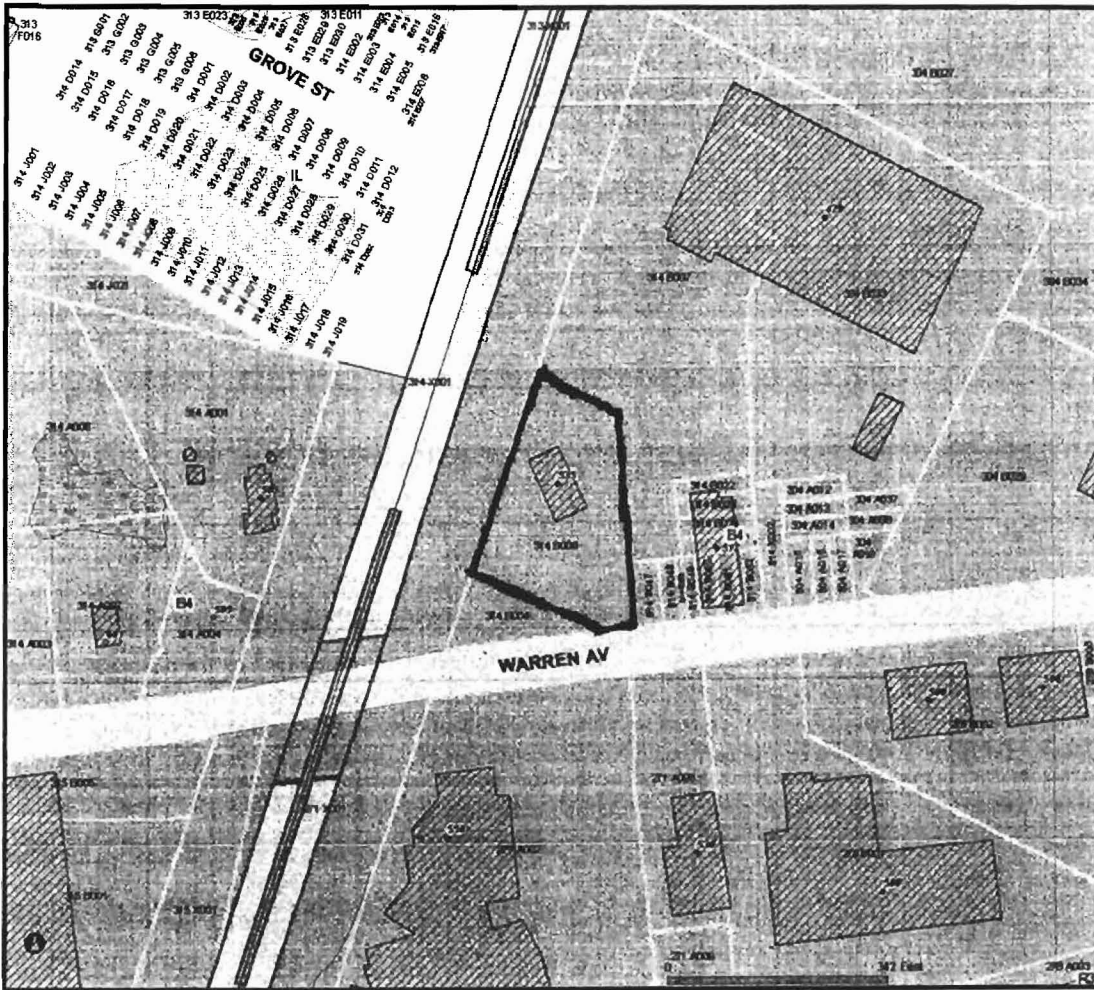
1. General Building Permit Application
2. Hand-Drawn Site Plan
3. Aerial Photograph showing previous use
4. Building Elevations
5. Floor Plans

If you should have any questions or concerns, please do not hesitate in contacting myself or Jon Leahy.

Sincerely,



Andy Nelson
Broker



City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

B-4

Allows - general Business offices
 Allows - maintenance; repair of vehicles
 Allows - warehousing



636 Riverside St., P.O. Box 958, Portland, Maine 04104 (207) 797-7294

Portland Zoning Board
City Hall
389 Congress St.
Portland, ME 04101

Re: Zoning Determination
535 Warren Ave.
Portland, ME
Chart 314/Block B/Lot 9

Dear Sir:

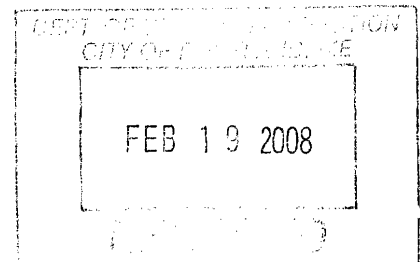
The John Lucas Tree Expert Co. requests a zoning determination for the above-referenced property. The property will house our local Residential Tree Service Division. The division provides tree removal, pruning, trimming and Christmas Holiday Lighting services to the Southern Maine market. The division consist of 7 administrative, 3 mechanics, and 30 arborist. We will house approximately 35 pieces of equipment at the site consisting of pick-up trucks, aerial-lift trucks, brush chippers, trailers, stump chippers, cranes and digger derricks.

We will require outside storage of trucks and equipment but will have no need for open storage of landscape materials such as trees and shrubs because Lucas Tree no longer provides retail, residential and commercial landscape services. These services were discontinued when we closed our nursery/garden center in 2003.

The office building use will be to house our sales staff, secretary/accounting clerk, operations manager and the garage bay #1 will be used to store our Christmas Décor Decorations during the off-season and garage bay #2 will be used by mechanics to repair our trucks and equipment. Employee parking will be on site and a seasonal use of an enclosed storage container will be utilized to house small tools, power saws, and lawn mowers.

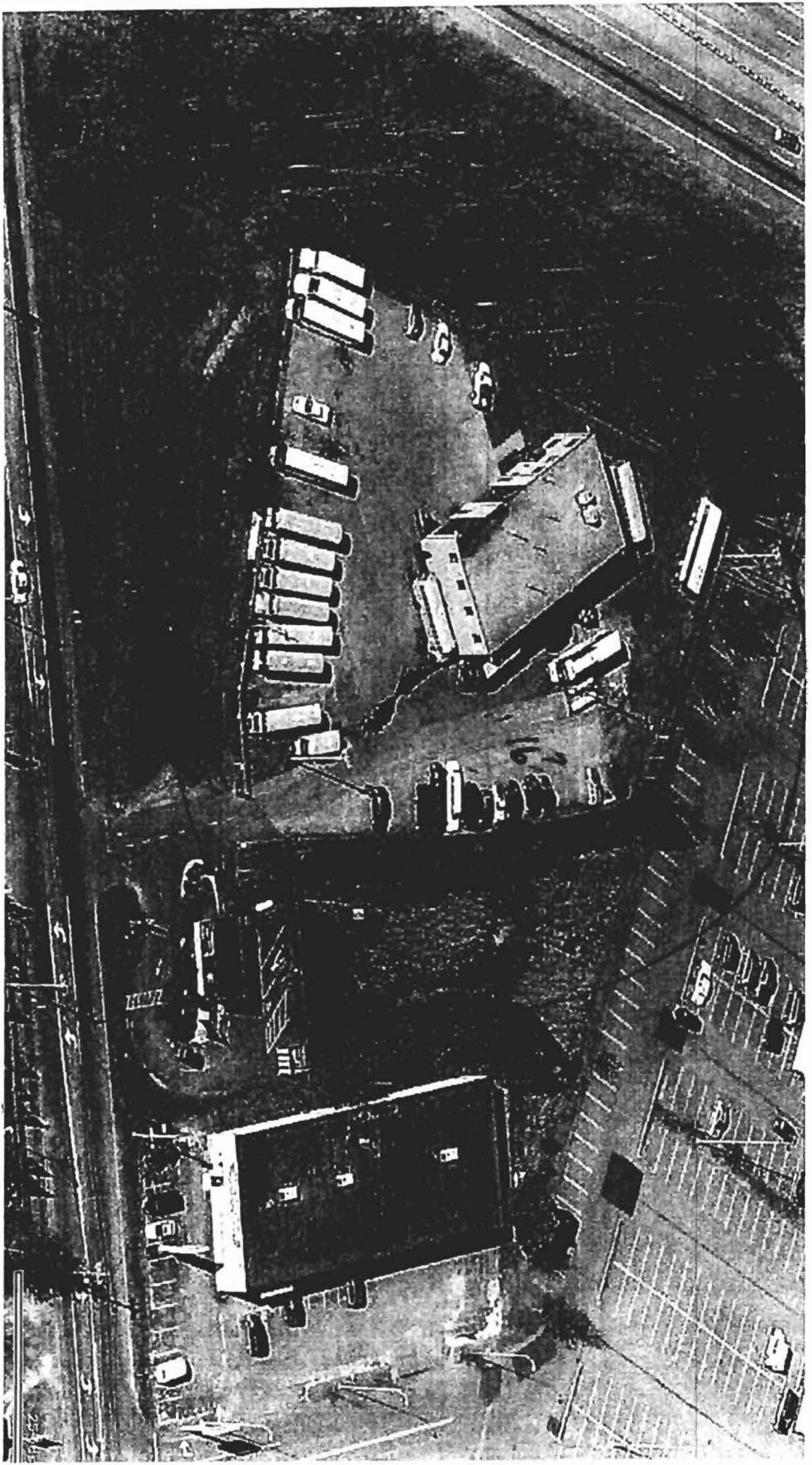
Sincerely yours,

Arthur W. Batson
President



“Growing Naturally...Since 1926”

Utility Line Clearance • Distribution Pole Line Construction • Utility Underground Service • Crane Service
Chemical Brush Control • Right of Way Clearing • Residential Tree & Spray Service
Christmas Decor • Landscape Installation • Lawn Care • Vegetation Management

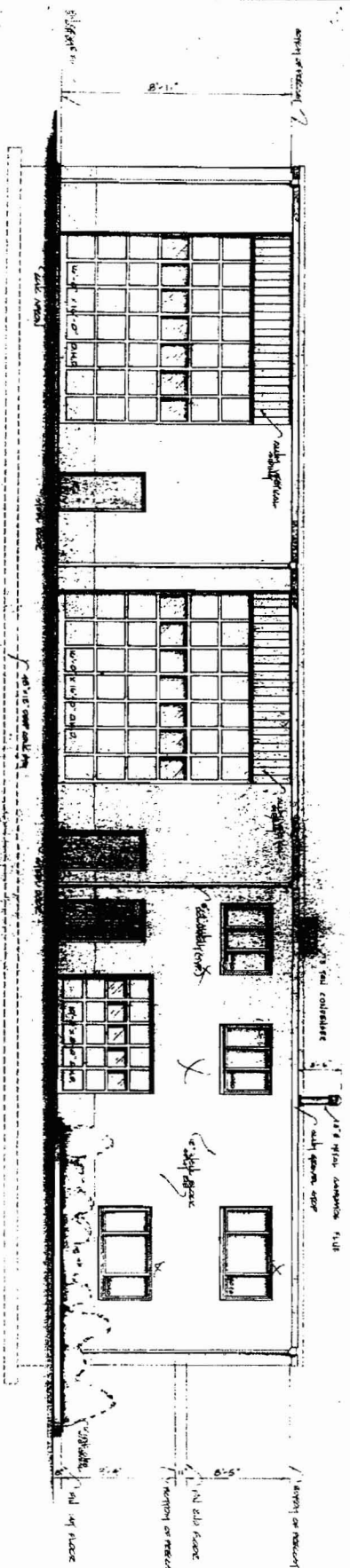


6
27-1-1
show - (50x38, 66) 2 = 2666 # 1,400 = 9.67 on 10 PKG 5PCS 129

FIRST FLOOR

GENERAL NOTES

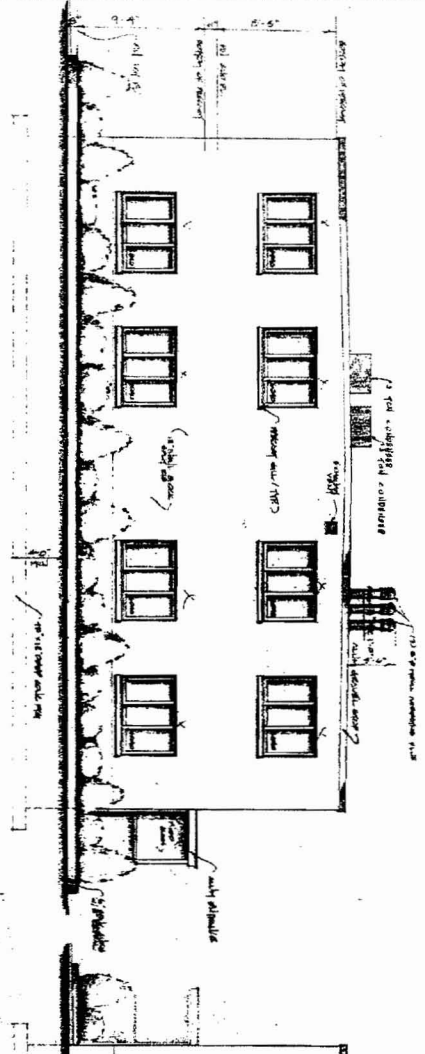
- 1) FOUNDATION:
 - a) FLOOR SLAB TO BE CONCRETE (SECTION 05100) WITH REINFORCING BARS (SECTION 05110) AND 4" MINIMUM THICKNESS (SECTION 05110) TO BE DETAILING (S.A.S.)
 - b) CONCRETE TO BE PLACED IN 12" MINIMUM THICKNESS (SECTION 05110) WITH REINFORCING BARS (SECTION 05110) AND 4" MINIMUM THICKNESS (SECTION 05110) TO BE DETAILING (S.A.S.)
- 2) FLOOR FINISH:
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- 3) WALLS:
 - a) WALLS TO BE CONCRETE (SECTION 05100) WITH REINFORCING BARS (SECTION 05110) AND 4" MINIMUM THICKNESS (SECTION 05110) TO BE DETAILING (S.A.S.)
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- 4) ROOFING:
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- 5) OTHER:
 - a) OTHER TO BE CONCRETE (SECTION 05100) WITH REINFORCING BARS (SECTION 05110) AND 4" MINIMUM THICKNESS (SECTION 05110) TO BE DETAILING (S.A.S.)
 - b) OTHER TO BE CONCRETE (SECTION 05100) WITH REINFORCING BARS (SECTION 05110) AND 4" MINIMUM THICKNESS (SECTION 05110) TO BE DETAILING (S.A.S.)



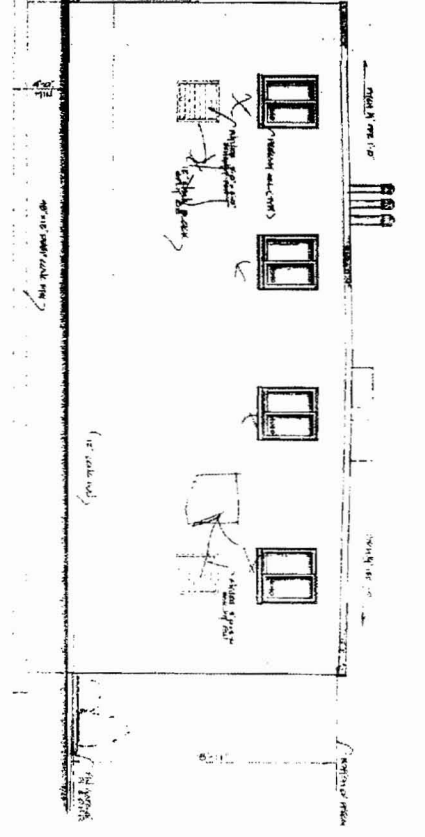
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RESEARCHED AND APPROVED FOR THE ARCHITECT Hilda A. ... ARCHITECTURAL FIRM NO. 2700		DRAWING NO. A-2
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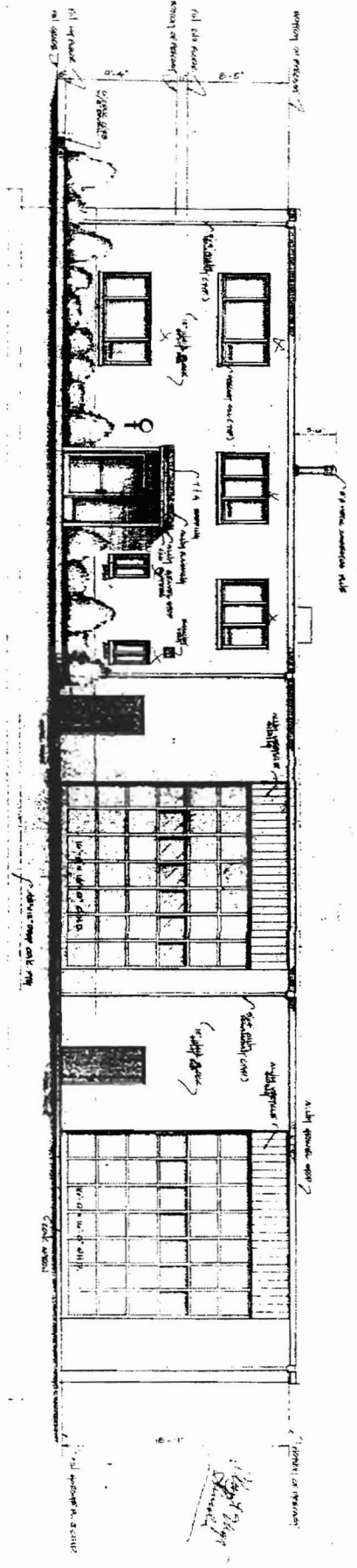
LEFT SIDE ELEVATION



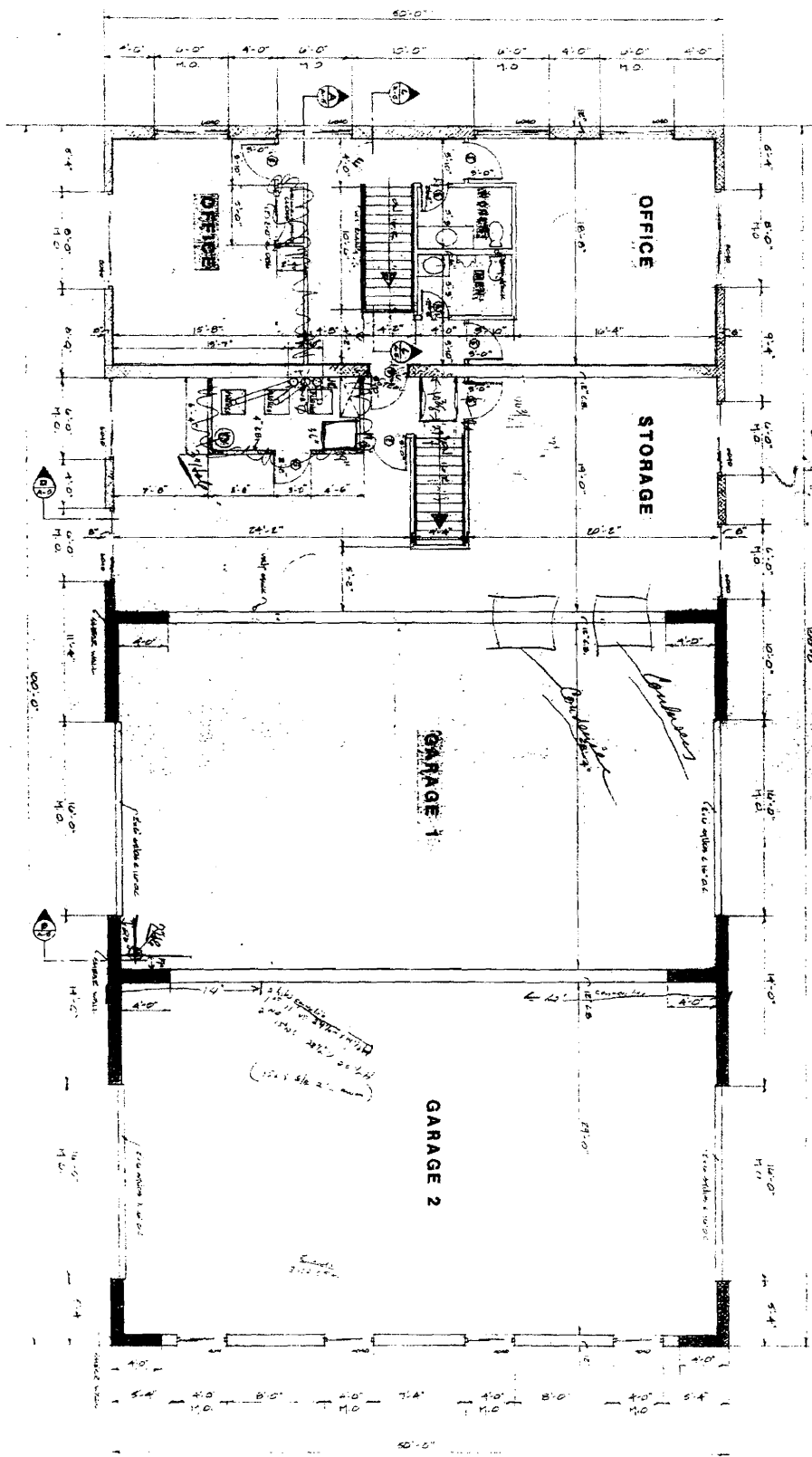
RIGHT SIDE ELEVATION



FRONT ELEVATION

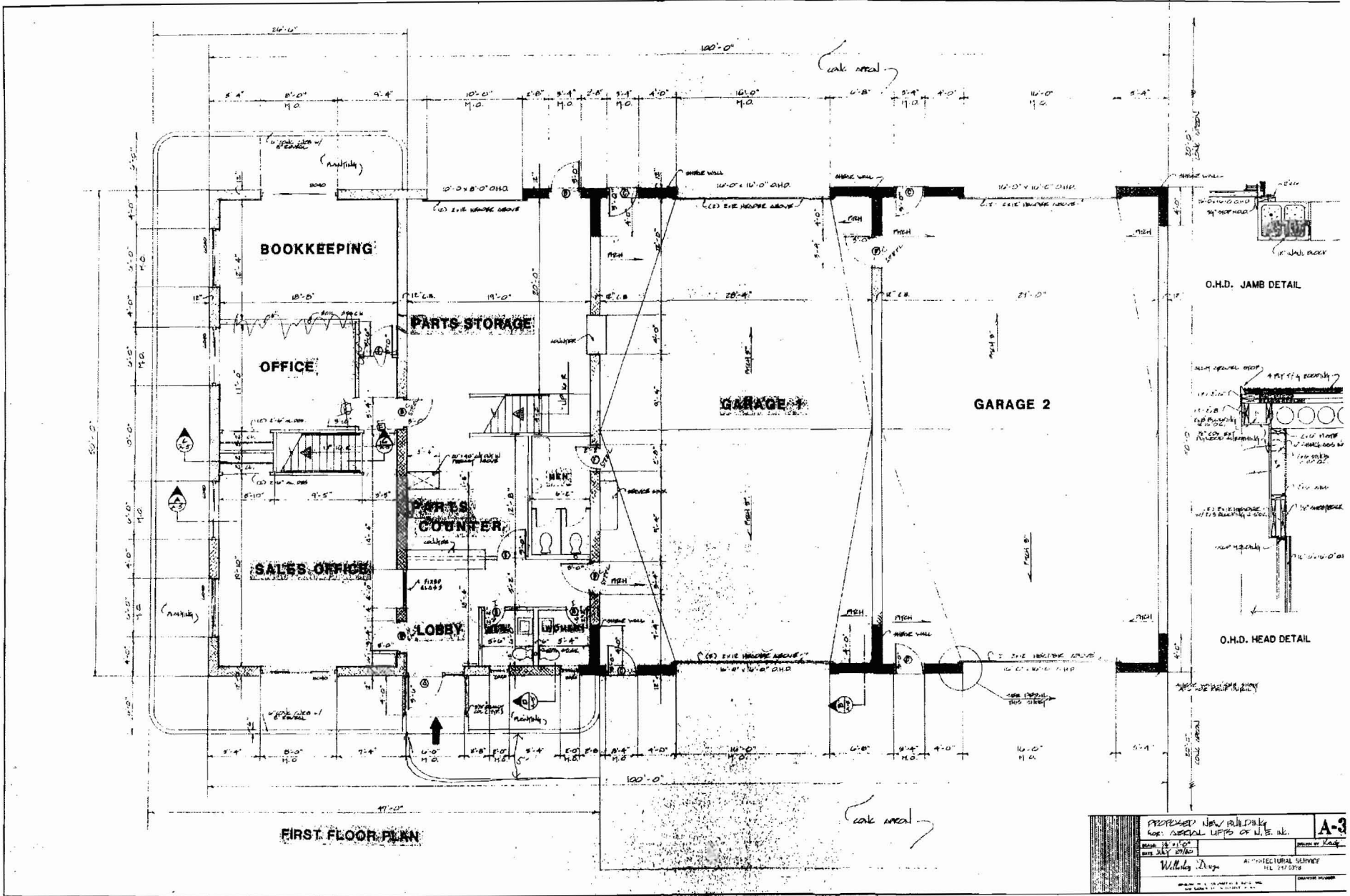


FLOOR PLAN		A-1	
NO.	DATE	BY	SCALE
1	1914	J. H. H. H.	1/4" = 1'-0"
FLOOR PLAN OF THE BUILDING			
FOR THE ARCHITECTURAL RECORD			
NEW YORK, N. Y.			



19.65
 19.00
 38.65
 2 floor
 38.65
 38.65
 100.50
 100.50

PROPOSED NEW BUILDING	A-4
DATE: APRIL 1978	
BY: WILLY DUBOIS	
MONTECALVO SERVICE	
111, 117, 119	
BRUNNEN	



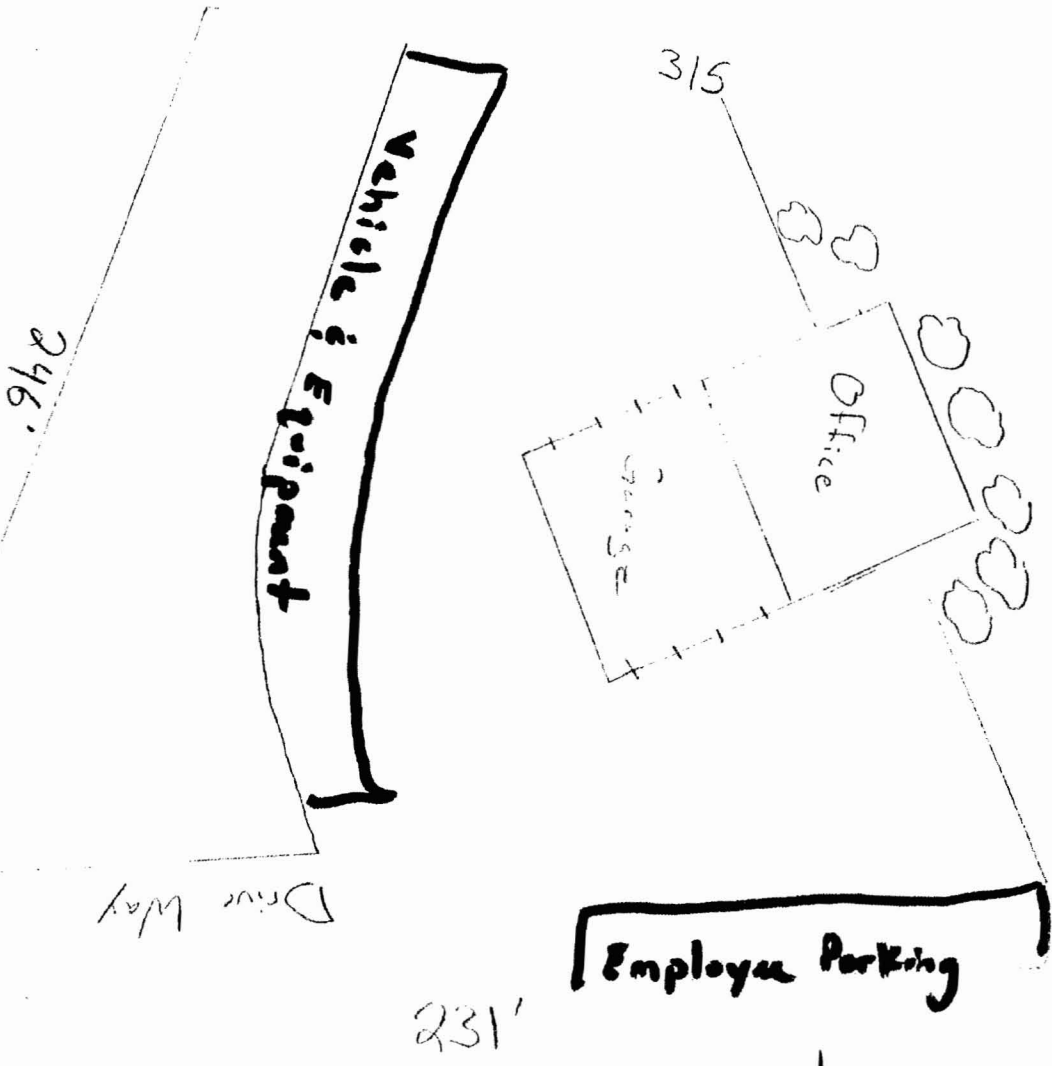
FIRST FLOOR PLAN

PROPOSED NEW BUILDING FOR SEVERAL LIPS OF W.B. IN.		A-3
DATE: 12-11-67	BY: J.W. STUBBS	
Willing Design ARCHITECTURAL SERVICE 111 247 078		DATE: 12-11-67

MAIN TURNPIKE
North Bound

WARREN AVENUE

154' 535 WARREN AVE



Not to Scale

- Primary parking and equipment storage area will be similar to the enclosed aerial photograph of the previous user.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

Date



Signature of Inspections Official

 3/25/08
Date