

LEGEND

SYMBOL	DESCRIPTION
---	LOCUS PROPERTY
---	ABUTTING PROPERTY
---	LINE PER PLAN REF BARS
---	EASEMENT
---	SETBACK
---	MONUMENT
---	IRON PIPE/ROD
---	CURVE/LINE NO.
---	BUILDING
---	WETLANDS
---	EDGE WETLAND
---	9'GN
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	CURBLINE
---	CONTOURS
---	GAS
---	WATER
---	SEWER
---	STORM DRAIN
---	OVERHEAD ELEC. & TEL.
---	UNDERGROUND ELEC. & TEL.
---	TRANSFORMER PAD
---	GATE VALVE
---	UTILITY POLE
---	CATCH BASIN
---	CULVERT
---	MANHOLE
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	BENCHMARK
---	RIPRAP
---	TRANSFORMER

EASEMENT CURVE DATA

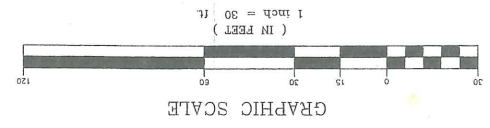
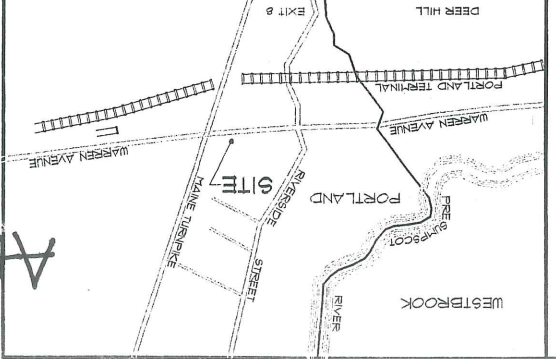
CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
1	11.89	11.89	90.00	11.89
2	11.89	11.89	90.00	11.89
3	11.89	11.89	90.00	11.89
4	11.89	11.89	90.00	11.89
5	11.89	11.89	90.00	11.89
6	11.89	11.89	90.00	11.89
7	11.89	11.89	90.00	11.89
8	11.89	11.89	90.00	11.89
9	11.89	11.89	90.00	11.89
10	11.89	11.89	90.00	11.89
11	11.89	11.89	90.00	11.89
12	11.89	11.89	90.00	11.89
13	11.89	11.89	90.00	11.89
14	11.89	11.89	90.00	11.89
15	11.89	11.89	90.00	11.89
16	11.89	11.89	90.00	11.89
17	11.89	11.89	90.00	11.89
18	11.89	11.89	90.00	11.89
19	11.89	11.89	90.00	11.89
20	11.89	11.89	90.00	11.89
21	11.89	11.89	90.00	11.89
22	11.89	11.89	90.00	11.89
23	11.89	11.89	90.00	11.89
24	11.89	11.89	90.00	11.89
25	11.89	11.89	90.00	11.89
26	11.89	11.89	90.00	11.89
27	11.89	11.89	90.00	11.89
28	11.89	11.89	90.00	11.89
29	11.89	11.89	90.00	11.89
30	11.89	11.89	90.00	11.89
31	11.89	11.89	90.00	11.89
32	11.89	11.89	90.00	11.89
33	11.89	11.89	90.00	11.89
34	11.89	11.89	90.00	11.89
35	11.89	11.89	90.00	11.89
36	11.89	11.89	90.00	11.89
37	11.89	11.89	90.00	11.89
38	11.89	11.89	90.00	11.89
39	11.89	11.89	90.00	11.89
40	11.89	11.89	90.00	11.89
41	11.89	11.89	90.00	11.89
42	11.89	11.89	90.00	11.89
43	11.89	11.89	90.00	11.89
44	11.89	11.89	90.00	11.89
45	11.89	11.89	90.00	11.89
46	11.89	11.89	90.00	11.89
47	11.89	11.89	90.00	11.89
48	11.89	11.89	90.00	11.89
49	11.89	11.89	90.00	11.89
50	11.89	11.89	90.00	11.89
51	11.89	11.89	90.00	11.89
52	11.89	11.89	90.00	11.89
53	11.89	11.89	90.00	11.89
54	11.89	11.89	90.00	11.89
55	11.89	11.89	90.00	11.89
56	11.89	11.89	90.00	11.89
57	11.89	11.89	90.00	11.89
58	11.89	11.89	90.00	11.89
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60	11.89	11.89	90.00	11.89
61	11.89	11.89	90.00	11.89
62	11.89	11.89	90.00	11.89
63	11.89	11.89	90.00	11.89
64	11.89	11.89	90.00	11.89
65	11.89	11.89	90.00	11.89
66	11.89	11.89	90.00	11.89
67	11.89	11.89	90.00	11.89
68	11.89	11.89	90.00	11.89
69	11.89	11.89	90.00	11.89
70	11.89	11.89	90.00	11.89
71	11.89	11.89	90.00	11.89
72	11.89	11.89	90.00	11.89
73	11.89	11.89	90.00	11.89
74	11.89	11.89	90.00	11.89
75	11.89	11.89	90.00	11.89
76	11.89	11.89	90.00	11.89
77	11.89	11.89	90.00	11.89
78	11.89	11.89	90.00	11.89
79	11.89	11.89	90.00	11.89
80	11.89	11.89	90.00	11.89
81	11.89	11.89	90.00	11.89
82	11.89	11.89	90.00	11.89
83	11.89	11.89	90.00	11.89
84	11.89	11.89	90.00	11.89
85	11.89	11.89	90.00	11.89
86	11.89	11.89	90.00	11.89
87	11.89	11.89	90.00	11.89
88	11.89	11.89	90.00	11.89
89	11.89	11.89	90.00	11.89
90	11.89	11.89	90.00	11.89

GENERAL NOTES:

1. THE RECORD OWNER OF THE PROPERTY IS OLDER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED BOOK 1814, PAGE 323, RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314 BLOCK A, DESIGNATED AS LOT 1 AND IS LOCATED IN THE B-4 ZONE (COMMERCIAL CORRIDOR BUSINESS).
3. THE TOTAL AREA OF SAID PARCEL IS APPROXIMATELY 98,445 SQ. FT. OR 2.24 ACRES.
4. SPACE AND BULK CRITERIA: (B-4 COMMERCIAL CORRIDOR BUSINESS)

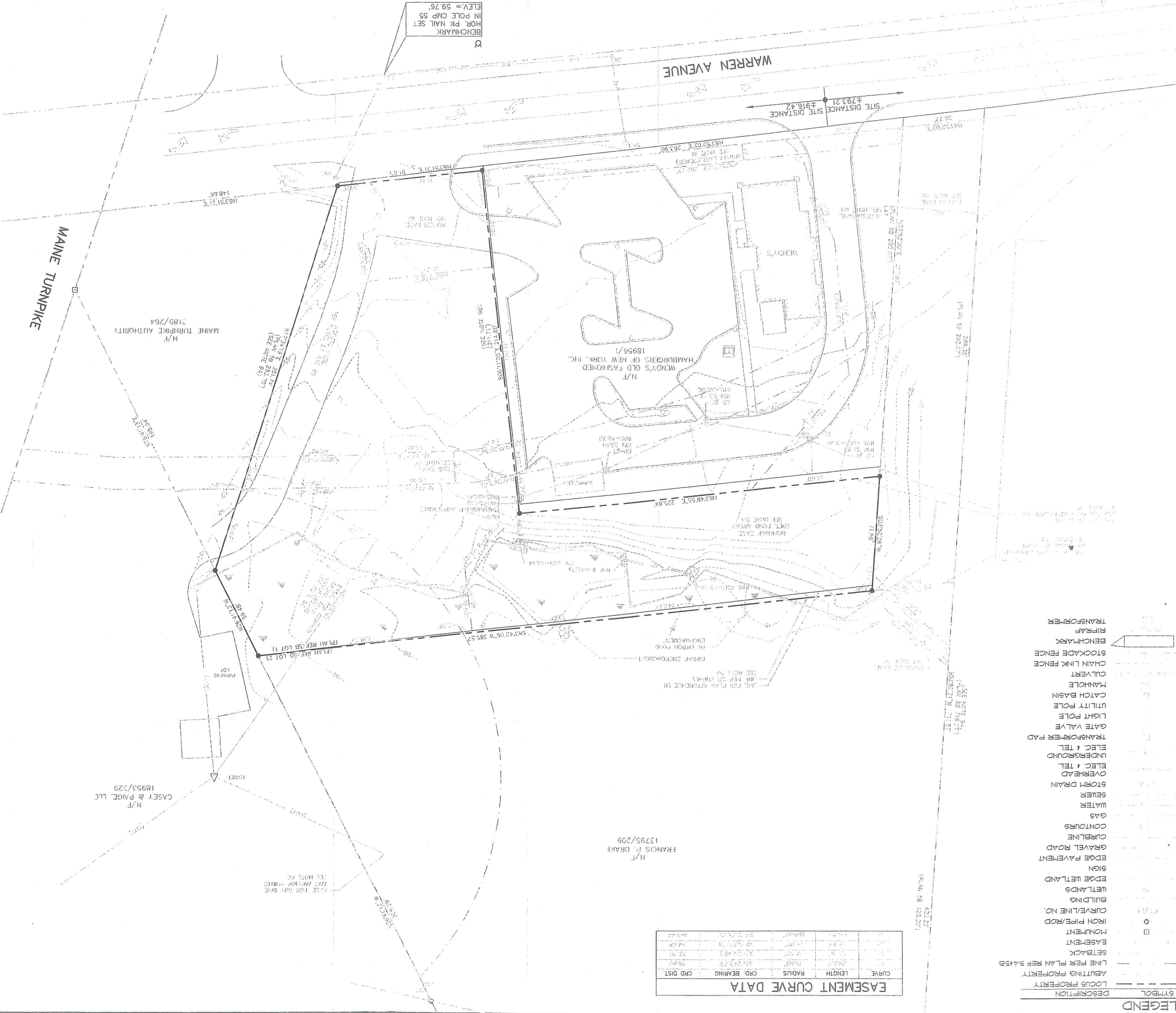
MIN. LOT SIZE:	10,000 SF 93,242 SF
MIN. STREET FRONTAGE:	60'
MIN. FRONT YARD:	20'
MIN. SIDE YARD:	27'
MIN. REAR YARD:	20'
MAX. BUILDING HEIGHT:	65 FT 25'
MAX. LOT COVERAGE:	80 % 55 %
5. PLAN REFERENCES:
 - A. "ALTA/AS-BUILT" LAND TITLE SURVEY PLAN MADE FOR WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK, INC., PREPARED BY GLEN HANSELL, INC., DATED JAN 30, 2002, REVISED AUGUST 12, 2002, PLAN RECORDED IN DEED BOOK 1838, PAGE 110.
 - B. PLAN OF PROPERTY MADE FOR NEPTUNE PROPERTIES, INC. BY R.P. TITCOMB COUNTY REGISTRY OF DEEDS IN PLAN BOOK 114, PAGE 28.
 - C. MAINE TURNPIKE AUTHORITY MAINE TURNPIKE SECTION 2, PORTLAND TO AUGUSTA, BY HOWARD NEEDLES, TAYLOR & BERGENCOFF, SUPPLEMENTAL SHEET NO. 8, DATED JULY 1994, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 42, PAGE 2.
6. EASEMENTS:
 - A. A PERPETUAL EASEMENT WITH THE RIGHTS TO PASS OVER LAND OF THE GRANTOR BETWEEN THE LAND HEREIN CONVERTED AND WARREN AVENUE, ALL CONDITIONS SAID EASEMENT AS FOUND IN DEED BOOK 1838, PAGE 111, EASEMENT SHOWN ON SAID PLAN IN REFERENCE 5A.
 - B. AN EASEMENT TO LAY A CONCRETE RADIAL FIELD UNDERGROUND AT A RADIUS OF 100 FEET FROM THE BASE OF A PROPOSED TOWER AS SHOWN ON A PLAN ENTITLED "PROPOSED WIND STUDIO AND TOWER," DATED APRIL 1814, FROM A SURVEY BY ENGINEERING SERVICES, INC. SAID EASEMENT DESCRIPTION AND CONDITIONS FOUND IN DEED BOOK 3591, PAGE 180.
 - F. A 20' WIDE EASEMENT TO PORTLAND WATER DISTRICT AS DESCRIBED IN DEED BOOK 3187, PAGE 189 AND AS SHOWN ON PLAN.
 - G. A 10' WIDE DRAINAGE EASEMENT FROM DETENTION POND ACROSS LOT 2 AS SHOWN ON SAID PLAN IN REFERENCE 5B.
 - H. ACCESS EASEMENT FOR LOT 314-3-A AS SHOWN ON SAID PLAN IN REFERENCE 5A, EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 118.
 - I. UTILITY EASEMENT FOR LOT 314-3-A AS SHOWN ON SAID PLAN IN REFERENCE 5A, EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 119.
 - J. ACCESS EASEMENT FOR LOT 314-3-A AS SHOWN ON SAID PLAN IN REFERENCE 5A, EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 120.
 - K. AN ACCESS-UTILITY EASEMENT TO LOT 1 FOR USE OF 90' STRIP RUNNING NORTHERLY FROM WARREN AVE AS SHOWN ON SAID PLAN IN REFERENCE 5B.
 - L. A DRAINAGE EASEMENT APPURTENANT TO PARCEL B FOR PARCEL B OVER UNDER AND ACROSS PARCEL A AS SHOWN ON SAID PLAN IN REFERENCE 5A, EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 117.
 - M. A SIGN EASEMENT FOR LOT 1 AND LOT 2, SAID LOTS AS SHOWN ON SAID PLAN IN REFERENCE 5A, EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 112.
 - N. A GENERAL EASEMENT FOR LOCUS PARCEL AND MTA LOT AS DESCRIBED IN DEED BOOK 1838, PAGE 113.
 - O. A DRAINAGE EASEMENT FOR DETENTION POND AREA AS DESCRIBED IN DEED BOOK 1838, PAGE 112, SAID EASEMENT BEING WITHIN BOUNDARIES AS DESCRIBED IN SAID REFERENCE 61.
 - P. COVENANT LIMITING USE OF LOCUS PARCEL AS DESCRIBED IN DEED BOOK 1838, PAGE 113.
7. BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH HAD MAINE WEST ZONE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.
8. ALL BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN WAS DERIVED FROM AN ON THE GROUND SURVEY BY SEBAGO TECHNICS, INC. ON JULY 2002.
9. SURVEY COMMENTS:
 - A. PLAN REFERENCE 5B WAS A TWO LOT DIVISION APPROVED BY THE PLANNING BOARD, THIS WAS A SHUTTLANDS CONVEYANCE THE PLAN SHOWED THE WARREN AVENUE RIGHT OF WAY AS AN ASSIGNED SIDEWALK. DURING OUR SURVEY WE DETERMINED THE WARREN AVENUE RIGHT OF WAY UTILITIES FOUND CONFLICT WITH AND PLAN REFERENCE 5C. THE RIGHT OF WAY WE DETERMINED WAS DIFFERENT FROM THAT SHOWN ON PLAN REFERENCE 5B. DUE TO THE SHUTTLANDS CONVEYANCE A PROPORTION WAS REQUIRED ON THE WESTERLY SIDELINE OF THE OVERALL PROPERTY.
 - B. THE SUBSEQUENT CONVEYANCE OF A PORTION OF LOT 1 (NOW OR FORMERLY WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK) WAS HELD WITH THE DIMENSIONS AS BEST FIT THE CORRECTED RIGHT OF WAY. SEE DIMENSIONS SHOWN ON THIS PLAN FOR FURTHER INFORMATION.

LOCATION MAP



GRAPHIC SCALE
1 inch = 30 feet

BENCHMARK
HOR. PK NAIL SET
IN POLE CMP 55
ELEV. = 59.76



1. BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH HAD MAINE WEST ZONE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.
2. ALL BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN WAS DERIVED FROM AN ON THE GROUND SURVEY BY SEBAGO TECHNICS, INC. ON JULY 2002.
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 - B. THE SUBSEQUENT CONVEYANCE OF A PORTION OF LOT 1 (NOW OR FORMERLY WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK) WAS HELD WITH THE DIMENSIONS AS BEST FIT THE CORRECTED RIGHT OF WAY. SEE DIMENSIONS SHOWN ON THIS PLAN FOR FURTHER INFORMATION.

EXISTING CONDITIONS PLAN
OF:
PROPOSED DUNKIN' DONUTS SITE
WARREN AVENUE
PORTLAND, MAINE
FOR:
KIMCO
25 SPURWINK ROAD
SCARBOROUGH, MAINE 04074

DATE: 7/14/04
SCALE: 1"=30'

SHEET 1 OF 1

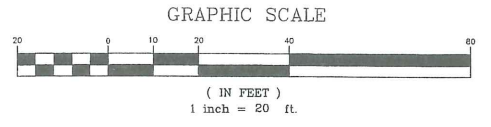
Sebago Technics
Engineering Expertise You Can Build On
One Canal Street
Westbrook, Me 04091-1339
Tel (207) 958-0277

PROJECT NO: 03461EC
FIELD BOOK: 778
DESIGN: -
CHECKED: MWE
DRAWN: DPH

REV.	BY:	DATE:	STATUS:
A	DPH	8/11/04	SUBMITTED TO CLIENT FOR REVIEW

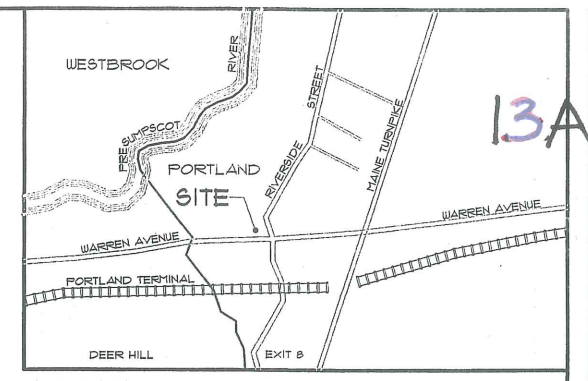
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

13



N/F FRANCIS P. DRAKE
P.O. BOX 1378
PORTLAND, MAINE
8229/47 TM 314
LOT A-6 LOT 2

N/F FULLER-JEFFREY RADIO OF MAINE INC.
583 WARREN AVE
PORTLAND, MAINE
12575/100 TM 314
LOT 314-A1



LOCATION MAP N.T.S.

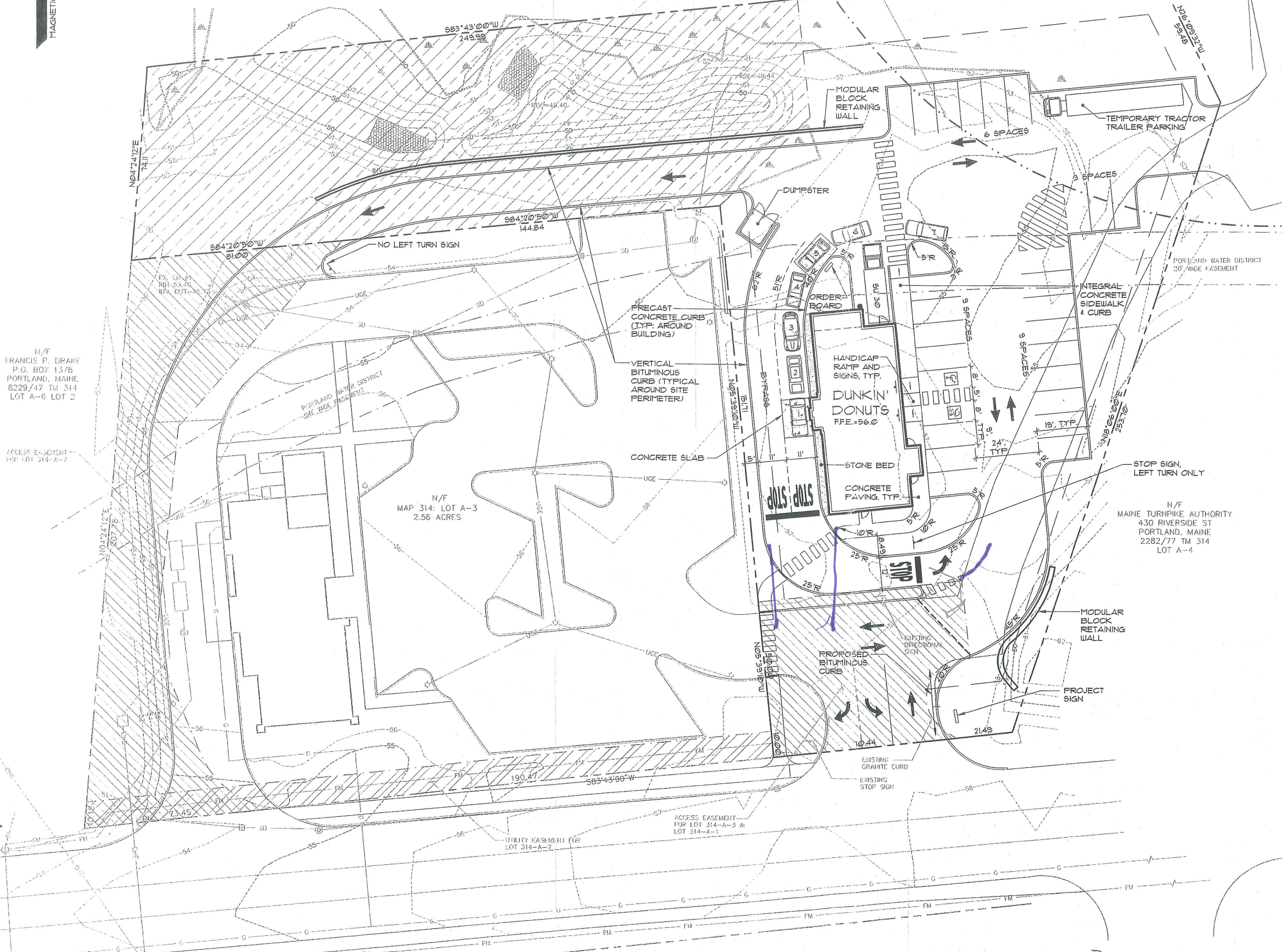
GENERAL NOTES:

- THE RECORD OWNER OF THE PROPERTY IS OLDER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314, BLOCK A, DEPICTED AS LOT 1 AND IS LOCATED IN THE B-4 (COMMERCIAL CORRIDOR BUSINESS).
- SPACE AND BULK CRITERIA: (B-4 COMMERCIAL CORRIDOR BUSINESS)

ITEM:	ORDINANCE:	SUBJECT:
MIN. LOT SIZE:	10,000 SF	53,242 SF
MIN. STREET FRONTAGE:	60'	70.44'
MIN. FRONT YARD:	20'	50'
MIN. SIDE YARD:	10'	21'
MIN. REAR YARD:	20'	10'
MAX. BUILDING HEIGHT:	65 FT	75'
MAX. LOT COVERAGE:	80%	58%
- PLAN REFERENCES:
 - EXISTING CONDITIONS PLAN PREPARED BY OLEN HASKELL, INC., DATED JAN. 30, 2002, REVISED AUGUST 12, 2002.
 - WETLANDS HAVE BEEN DELINEATED BY DUKE ENGINEERING AND FIELD LOCATED BY OLEN HASKELL, INC.
 - BEARINGS AND GRID COORDINATES SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE. CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.
- THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER SYSTEMS.
- ALL MATERIALS AND INSTALLATIONS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARDS AND SPECIFICATIONS.
 - APPARENT UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON THE LOCATION OF EXISTING PAINT MARKINGS TOGETHER WITH THE VISIBLE ABOVE GROUND FEATURES OF UNDERGROUND UTILITY STRUCTURES. DIGSAFE MUST BE NOTIFIED PRIOR TO ANY UNDERGROUND EXCAVATION ON THIS SITE TO CONFIRM THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR IS HEREBY CAUTIONED THAT ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
 - ALL TRAFFIC SIGNS SHALL MEET MUTCD STANDARDS.
 - LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 - THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
 - ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
 - SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION. BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
 - ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES. (SEE ABOVE)
 - PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
 - EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	EASEMENT	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	GAS	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	CATCH BASIN	---
---	MANHOLE	---



N/F FRANCIS P. DRAKE
P.O. BOX 1378
PORTLAND, MAINE
8229/47 TM 314
LOT A-6 LOT 2

N/F MAP 314: LOT A-3
2.56 ACRES

N/F MAINE TURNPIKE AUTHORITY
430 RIVERSIDE ST
PORTLAND, MAINE
2282/77 TM 314
LOT A-4

PARKING 167/150 SF EXCLUSIVE OF TRUCK STORAGE & FOOD PREP.
960/150 = 6 SPACES. REQ'D
27 PROVIDED.

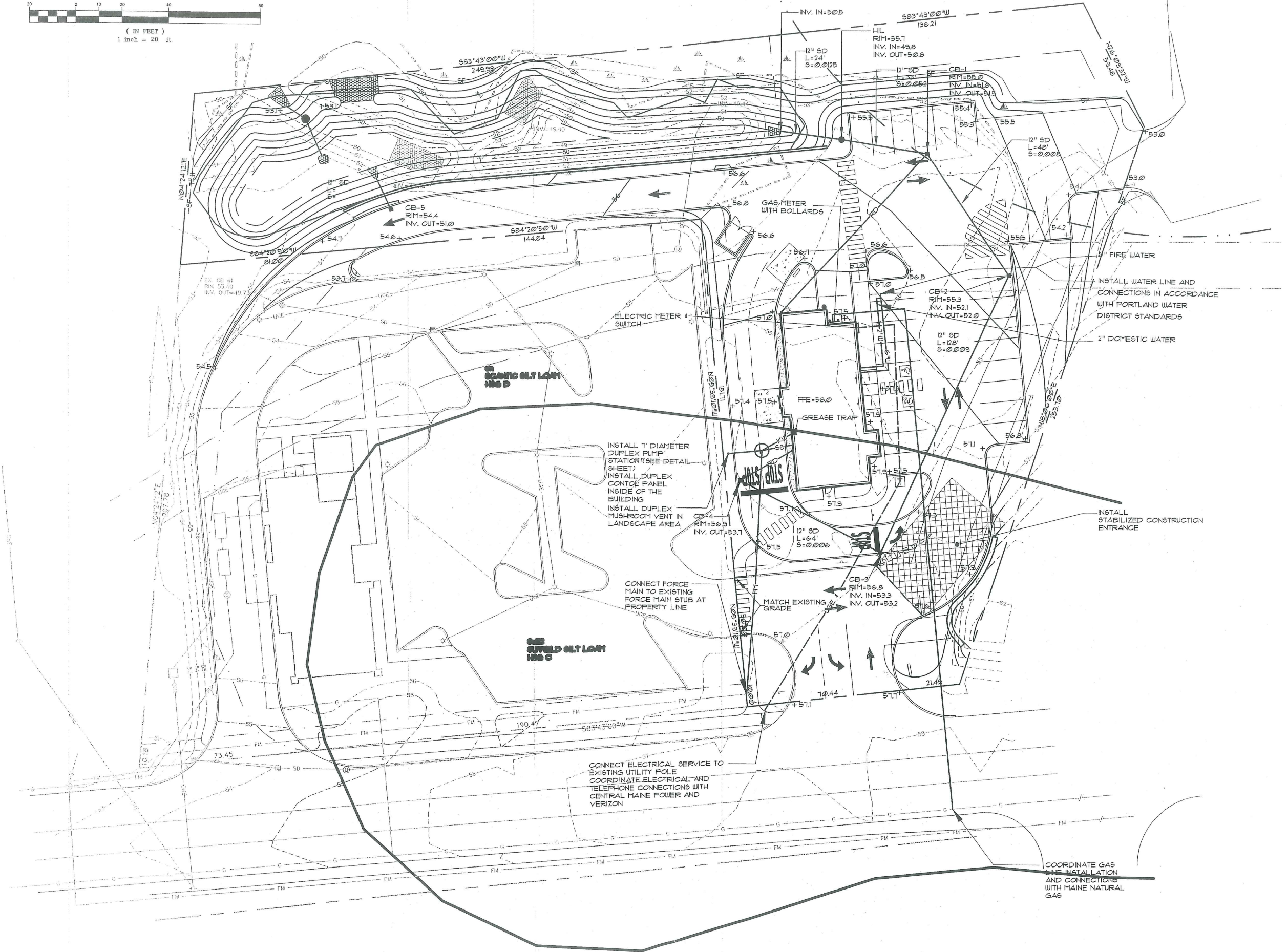
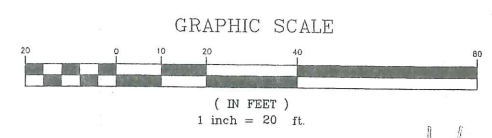
SITING PLAN
OF:
DUNKIN' DONUTS
WARREN AVENUE
PORTLAND, MAINE
FOR:
KIMCO
25 SPURWINK ROAD
SCARBOROUGH, MAINE 04074

Engineering Experts You Can Build On
One Check Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAIN
03461 JRP JRP JRP ASB

DATE SCALE
6/14/04 1"=20'

SHEET 2 OF 7



PROJECT NO.	03461	FIELD BOOK	DESIGN	CHKD	DRAWN
REV.	A	BY:	JRP	DATE:	6/14/04
SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW			STATUS:		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.					

Sebago Technics
 Engineering. Experience. You Can Build On.
 One Chesapeake Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

PROJECT NO. 03461
 FIELD BOOK
 DESIGN
 CHKD
 DRAWN
 TPP
 DLR
 MTW

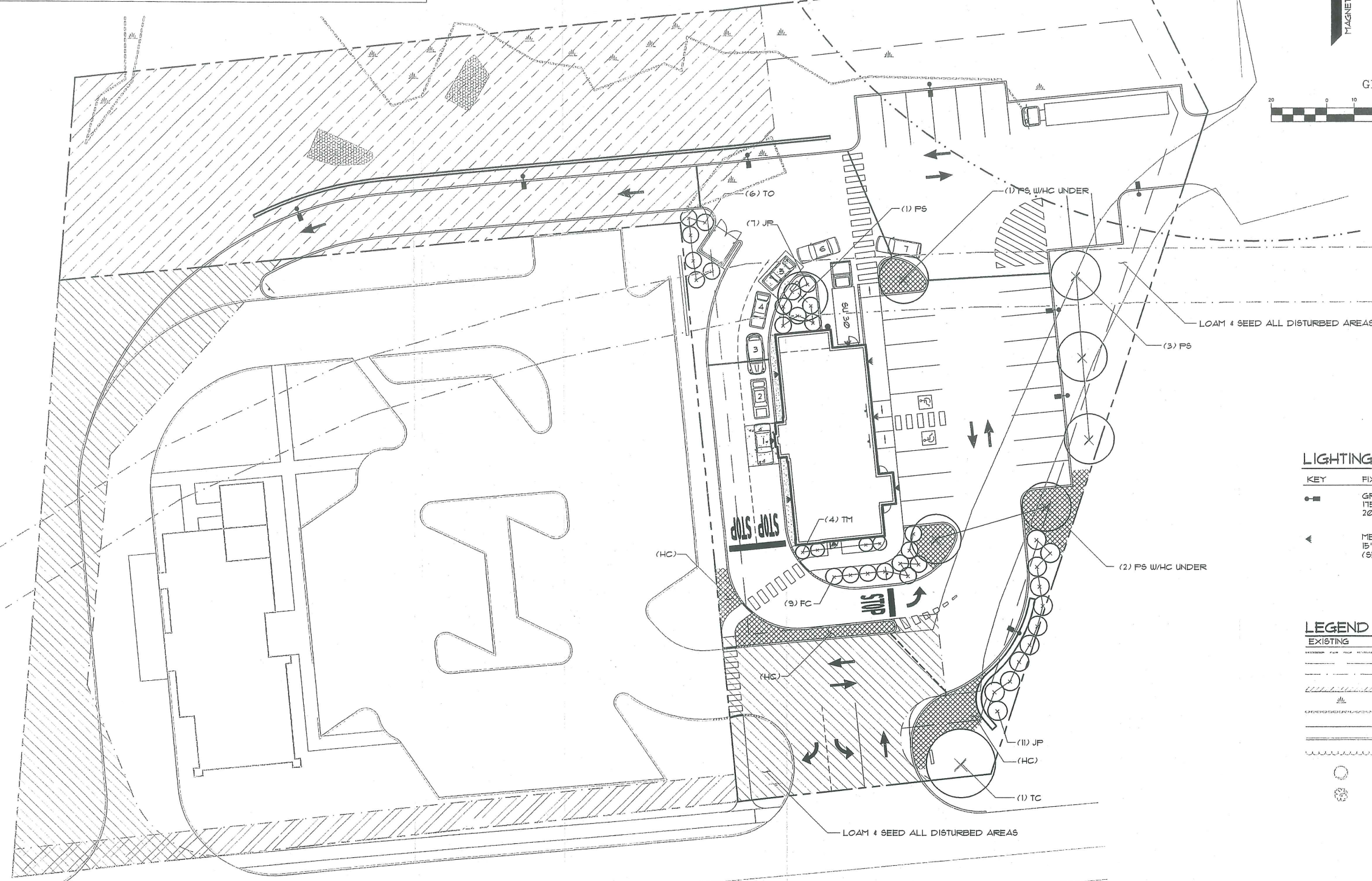
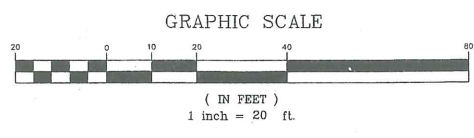
GRADING AND UTILITY PLAN
 OF:
DUNKIN DONUTS
 ADDRESS:
 PORTLAND, MAINE
 FOR:
KIMCO DEVELOPMENT CORP.
 DUNKIN DONUTS PLAZA, 65 GRAY ROAD
 FALMOUTH, MAINE 04105

PLANT LIST

KEY	QNTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES					
FS	1	FRUNUS SERRALUTA "KWANZAN"	KWANZAN CHERRY	2" - 2 1/2" CAL.	
TC	1	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LITTLELEAF LINDEN	2 1/2" - 3" CAL.	
SHRUBS					
FC	12	"FORSYTHIA COURTASOL"	GOLD TIDE FORSYTHIA	5"	
HC	-	HEMEROCALIS/"MAUNA LOA"	DAYLILY	4" POT6	
JP	18	JUNIFERUS FFITZERIANA "COMPACTA"	PHITZER JUNIPER	5"	
TM	4	TAXUS MEDIA "TAUNTONI"	TAUNTON YEW	18"-24" B4B	
TO	6	THUJA OCCIDENTALIS "WINTERGREEN"	WINTERGREEN ARBORVITAE	24"-36" B4B	



13C



LIGHTING SCHEDULE

KEY	FIXTURE
●	GREENBRIAR FLAT LENS 175 WATT METAL HALIDE 20' MOUNTING HEIGHT
◀	METAL HALIDE WALL PACKS 15' MOUNTING HEIGHT (SEE ARCHITECTURAL PLANS)

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
	BUILDING	
	WETLANDS	
	EDGE WETLAND	
---	EDGE PAVEMENT	---
---	CURLINE	---
---	TREELINE	---
○	DECIDUOUS TREE	○
●	CONIFEROUS TREE	●
▲	LIGHT POLE	▲
■	LIGHT POLE	■

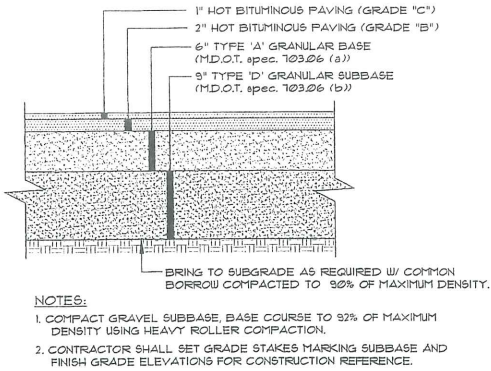
Sebago Technics
Engineering Experience You Can Build On
One Orchard Street
Warren, Maine 04092
Tel: (207) 856-0277

PROJECT NO. 03461
FIELD BOOK DESIGN CHKO DRAWN
JRP JRP JRP JRP JRP FCL

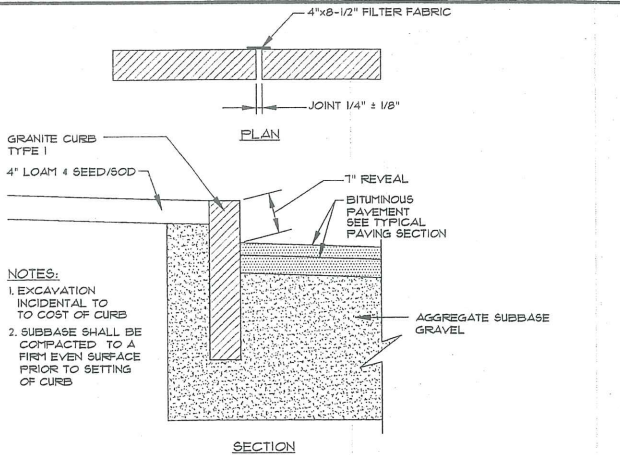
LANDSCAPING AND LIGHTING PLAN
OF:
DUNKIN' DONUTS
WARREN AVENUE
PORTLAND, MAINE
FOR:
KIMCO
25 SPURWINK ROAD
SCARBOROUGH, MAINE 04074

DATE: 4/7/04 SCALE: 1"=20'

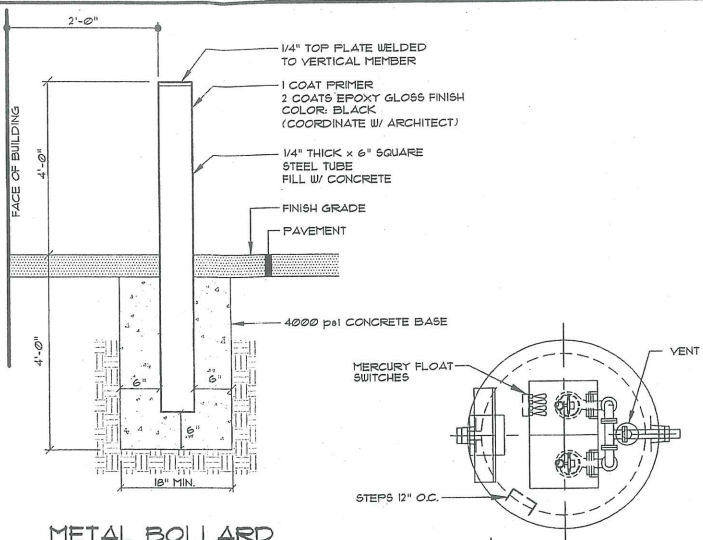
SHEET 4 OF 7



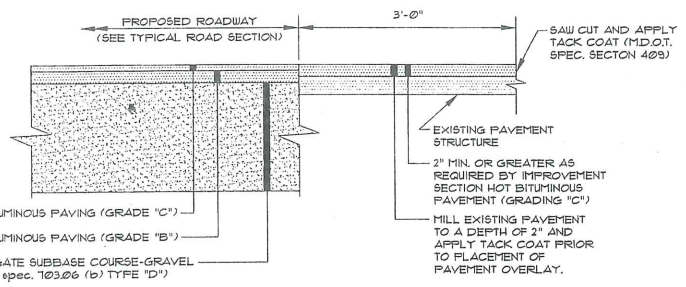
TYP. PAVED PARKING LOT SECTION
NOT TO SCALE



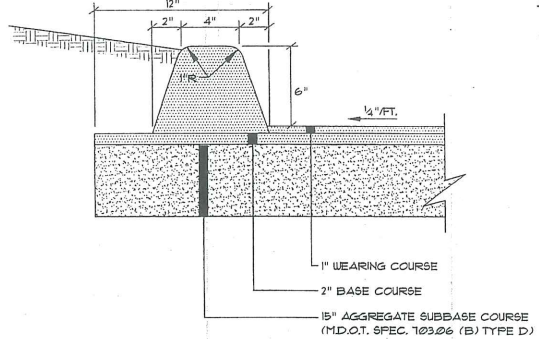
VERTICAL GRANITE CURB
NOT TO SCALE



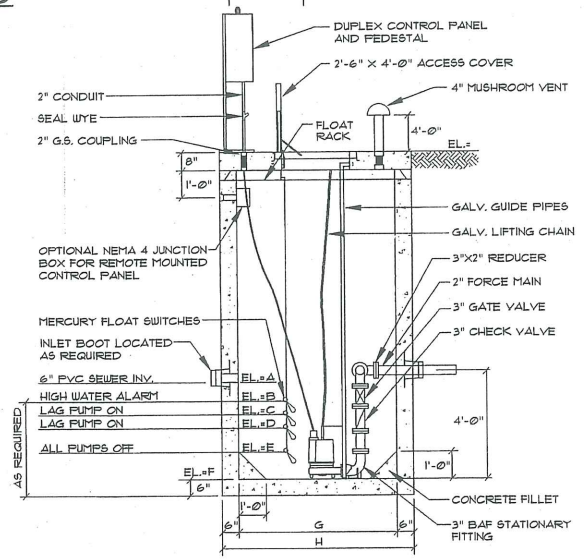
METAL BOLLARD
NOT TO SCALE



TYPICAL PAVEMENT JOINT
NOT TO SCALE



BITUMINOUS CURB SECTION
NOT TO SCALE

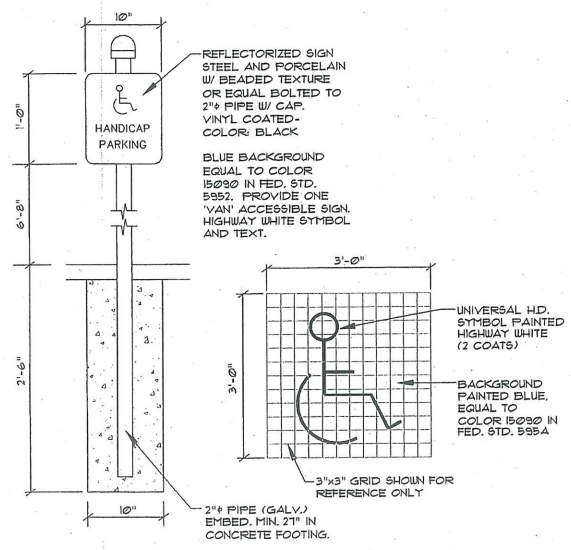


PUMP MODEL	
PUMP STA.	FEABODY BARRIES SERIES 3BE
14 SHIP	1750 RPM
6.00" IMPELLER	35 GPM
34" TDH	

- NOTES:**
- CONCRETE: 5,000 PSI AFTER 28 DAYS.
 - REINFORCING: WALLS 4 FLOOR 4x4/4x4 W/M. SLAB TOP 15 @ 8" O.C.
 - 4" FLANGED PIPING AND VALVES.
 - AVAILABLE WITH DUAL DISCHARGE FOR PLUMBING INTO SEPARATE FIELDS.

PUMP STATION
NOT TO SCALE

PUMP STATION	MEASUREMENT (FT.)								
	A	B	C	D	E	F	G	H	I
1	-	-	-	-	-	-	-	-	-

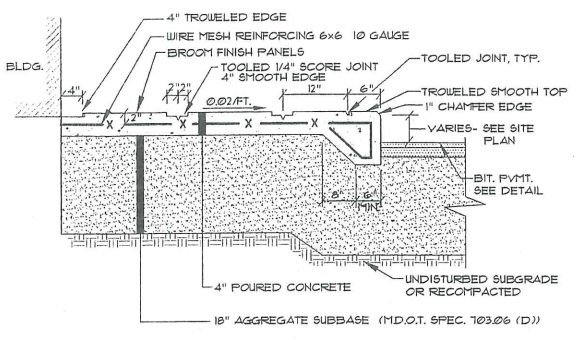


HANDICAP SIGNS
NOT TO SCALE

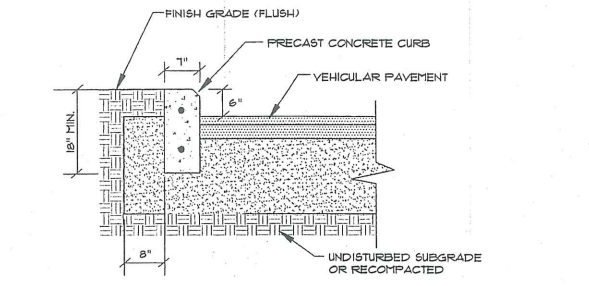
CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 336.0-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
- THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL OUTSIDE OF THE LIMITS OF CLEARING MAY BE NECESSARY TO REMOVE DEAD OR DYING TREES OR TREE LIMBS. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.

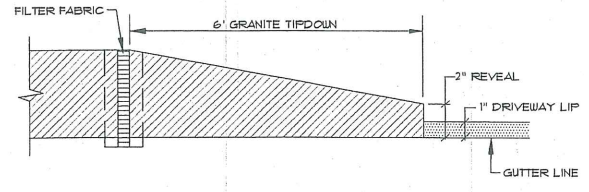
13.D



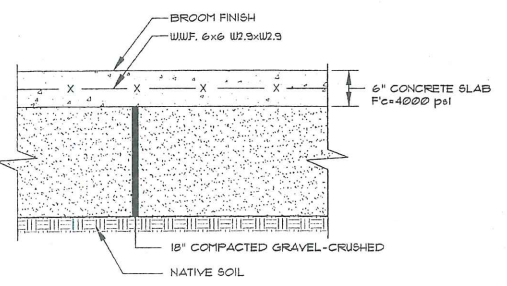
CONCRETE SIDEWALK
NOT TO SCALE



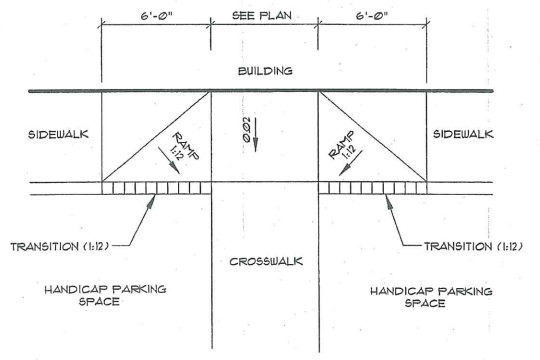
PRECAST CONCRETE CURB
NOT TO SCALE



TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE



TYPICAL CONCRETE SLAB
NOT TO SCALE



HANDICAP RAMP
NOT TO SCALE

REV.	BY	DATE	STATUS
A	JRP	3-29-04	SUBMIT FOR SITE PLAN REVIEW

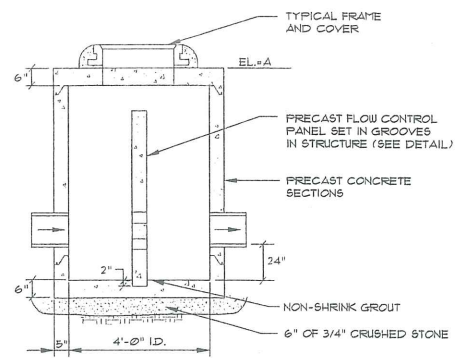
Sebago Technics
Engineering Expertise You Can Build On
One Onset Street
Westborough, MA 01581
(508) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
03461 JRP JRP JRP ASB

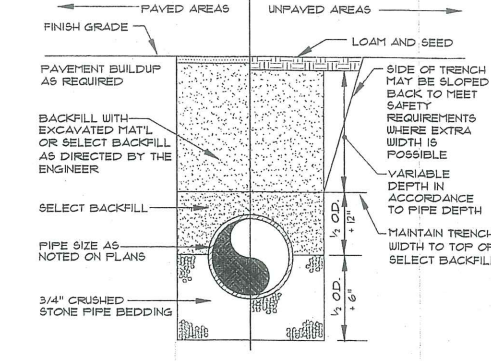
DETAILS OF:
DUNKIN DONUTS
WARREN AVENUE
PORTLAND, MAINE
FOR:
KIMCO DEVELOPMENT CORP.
DUNKIN DONUTS PLAZA, 85 GRAY ROAD
FALMOUTH, MAINE 04103

EROSION AND SEDIMENTATION CONTROL PLAN

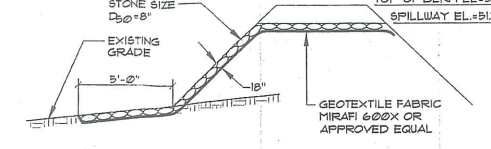
A. PRE-CONSTRUCTION PHASE PRIOR TO THE BEGINNING OF ANY CONSTRUCTION... REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING: 1. FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE... 2. SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS... 3. FOLLOWING SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEEDED AT A RATE OF 3 LBS/1000 SF WITH A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYEGRASS, 20% ANNUAL RYEGRASS AND 5% WHITE DUTCH CLOVER... 4. EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISH SEEDED AREAS AS SPECIFIED ON THE DESIGN PLANS... 5. ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS... 6. THE INSPECTING ENGINEER AT HIS/HER DISCRETION, MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AND/OR SUPPLEMENTAL VEGETATION PROVISIONS TO MAINTAIN STABILITY OF EARTHWORKS AND FINISH GRADED AREAS... 7. CONSTRUCTION SCHEDULE SITE IMPROVEMENTS WILL MOST LIKELY BEGIN IN SPRING 2004... SCHEDULE 1. ESTIMATED CONSTRUCTION TIME: 3 MONTHS 2. EROSION CONTROL MEASURES PLACED: WEEK 1 - WEEK 2 3. SITE CLEARING: WEEK 2 - WEEK 4 4. STORMWATER MANAGEMENT AREA CONSTRUCTION: WEEK 4 - WEEK 7 5. UTILITY IMPROVEMENTS AND PARKING LOT CONSTRUCTION: WEEK 6 - WEEK 12 6. MULCH SPREADING FOR WINTER EROSION CONTROL: OCT. 15 OF CONSTRUCTION YEAR WEEK 8 7. START FINAL SEEDINGS ON PREPARED AREAS, DURING GROWING SEASON: WEEK 10 8. BIWEEKLY MONITORING OF VEGETATIVE GROWTH: WEEK 10 9. RE-SEEDING OF AREAS, IF NEEDED: WEEK 10 10. REMOVAL OF EROSION CONTROL DEVICES: UPON FINAL PROJECT COMPLETION



OUTLET STRUCTURE DETAIL NOT TO SCALE



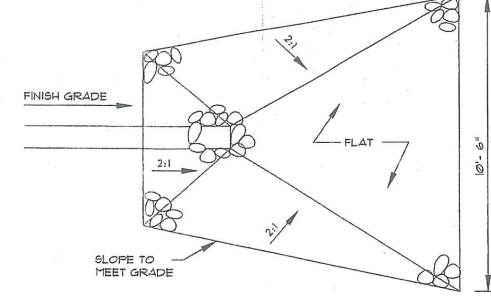
TYPICAL TRENCH SECTION NOT TO SCALE



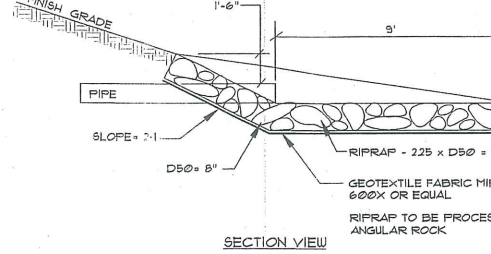
EMBANKMENT CONSTRUCTION

- 1. CONSTRUCTION OF COMMON BORROW MATERIAL MEETING M.D.O.T. SPECIFICATION. 2. PLACE BORROW MATERIAL IN 12" LIFTS COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 3. INSTALL RIPRAP AND EROSION CONTROL MESH WHERE SPECIFIED ON PLANS. 4. LOAM, SEED, AND STABILIZE IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN.

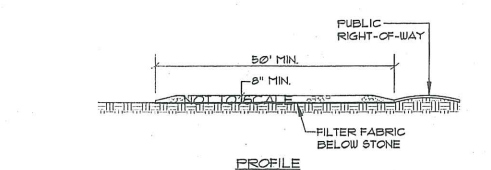
SPILLWAY SECTION NOT TO SCALE



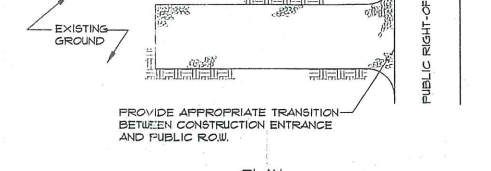
PLAN VIEW



SECTION VIEW



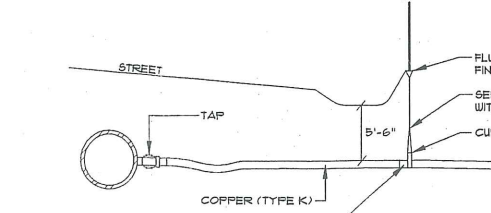
PROFILE



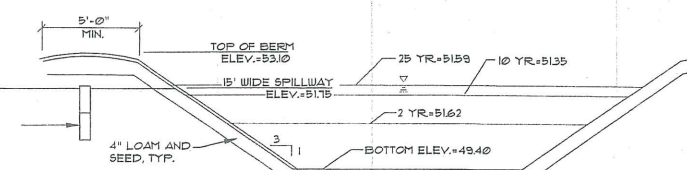
PLAN

- NOTES: 1. STONE SIZE - AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE. 2. LENGTH - AS SHOWN ON PLANS, MIN. 80 FEET. 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES. 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS. 5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY... PROVIDE APPROPRIATE TRANSITION BETWEEN CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.

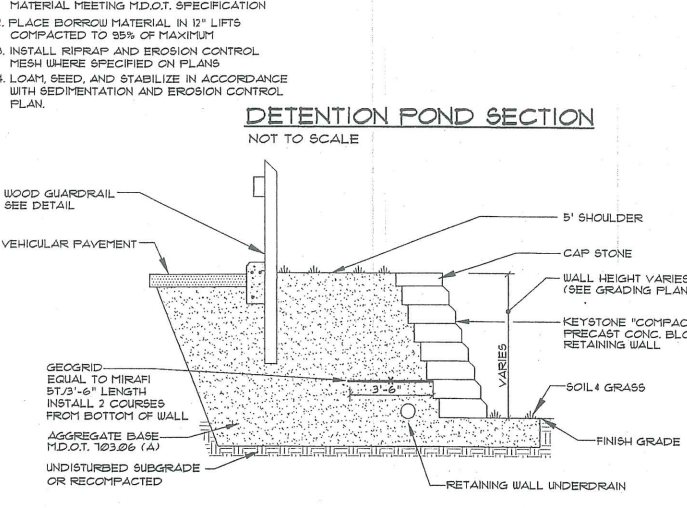
STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



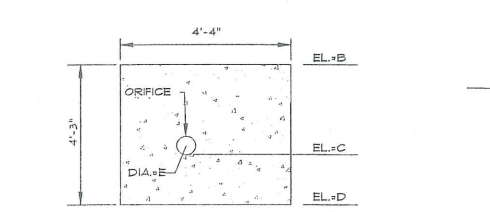
TYPICAL WATER SERVICE CONNECTION NOT TO SCALE



DETECTION POND SECTION NOT TO SCALE



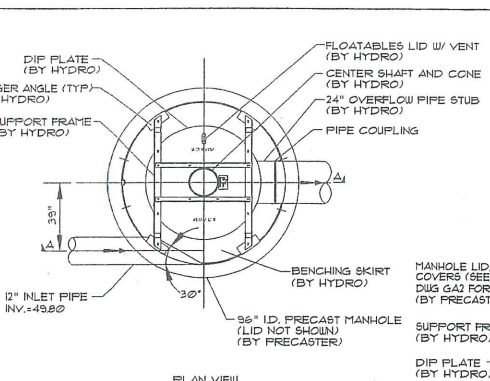
CONCRETE BLOCK RETAINING WALL NOT TO SCALE



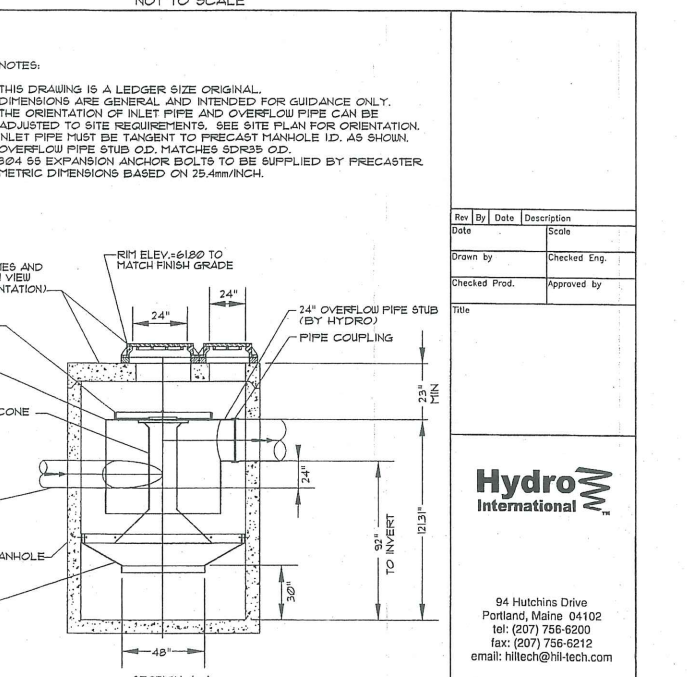
PRECAST FLOW CONTROL PANEL NOT TO SCALE

CONTROL STRUCTURE SCHEDULE

Table with columns: DETENTION BASIN, ELEVATION (ft.), ORIFICE (in.). Rows: A, B, C, D, E.



PLAN VIEW



SECTION A-A

Table with columns: DOWNSTEAM DEFENDER WEIGHT, EMPTY WEIGHT, OPERATIONAL WEIGHT. Values: 39,000 Lbs., 63,000 Lbs.

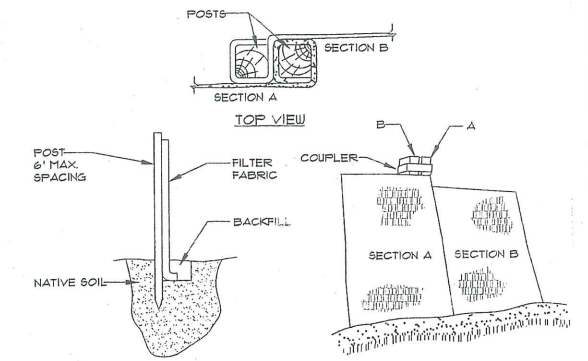
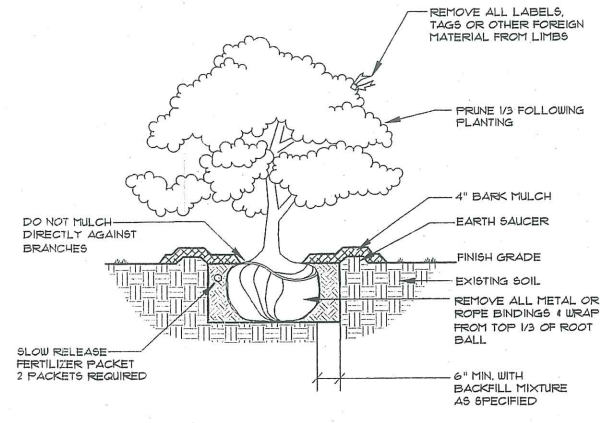
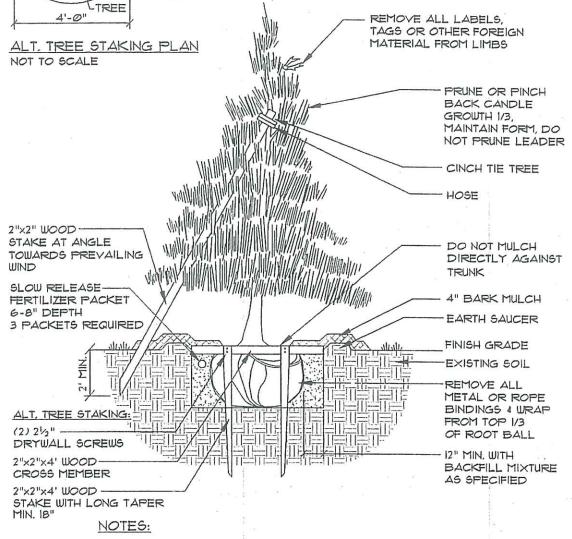
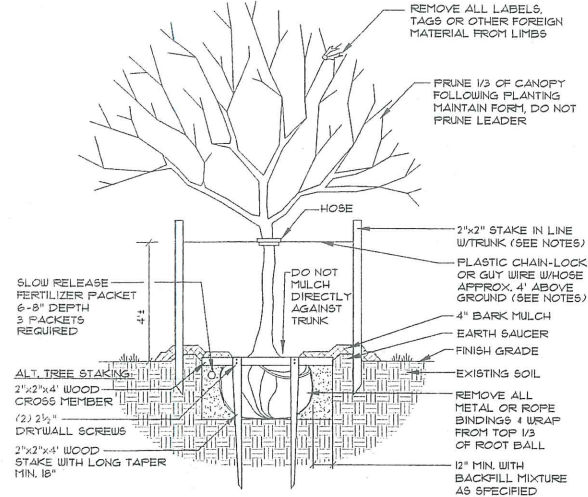
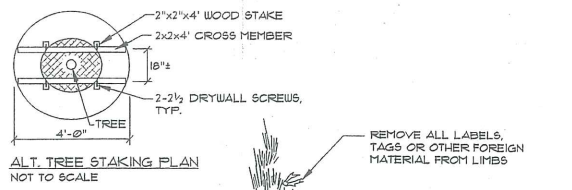
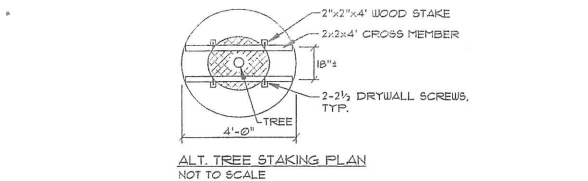
HEADLOSS IS DEFINED AS THE DIFFERENCE BETWEEN STATIC WATER LEVEL AT THE INLET OF THE DOWNSTEAM DEFENDER TO THE FREE WATER SURFACE IN THE OVERFLOW PIPE, ASSUMING FREE DISCHARGE.

DOWNSTREAM DEFENDER #1 - 8-FT DIAMETER NOT TO SCALE

Hydro International logo and contact information: 94 Hutchins Drive, Portland, Maine 04102, Tel: (207) 756-6200, Fax: (207) 756-9212, Email: hilttech@hilt-tech.com

Vertical sidebar containing project information: SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW, DATE: 6/14/04, STATUS: A, PROJECT NO. FIELD BOOK DESIGN CHKO DRAWN JRP, CHECKED JRP, ASB, 03461. Includes logos for Sebago Technics and Kimco Development Corp.

13F



- INSTALLATION:**
- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND FILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 - JOIN SECTION AS SHOWN ABOVE.
 - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

NOTES:
 INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
 1. THE TREE IS OF SUBSTANTIAL SIZE.
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

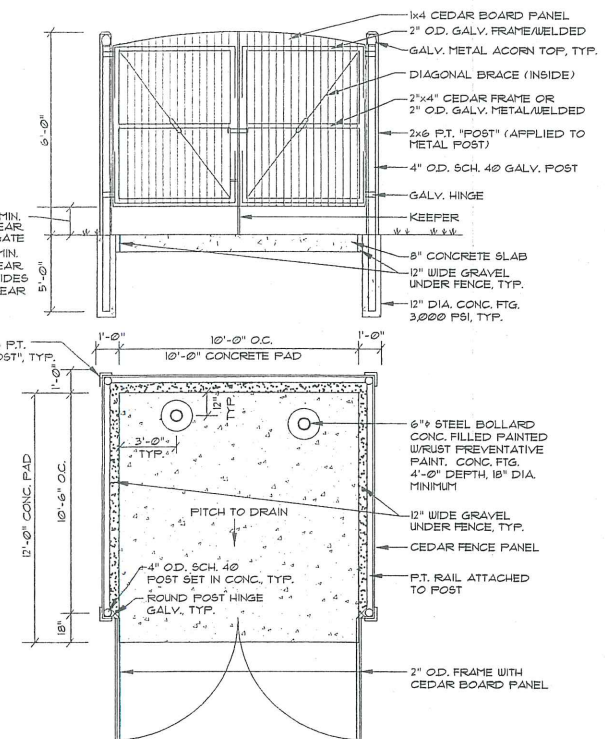
DECIDUOUS TREES 2" TO 4" CALIFER
 NOT TO SCALE

NOTES:
 INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
 1. THE TREE IS OF SUBSTANTIAL SIZE.
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

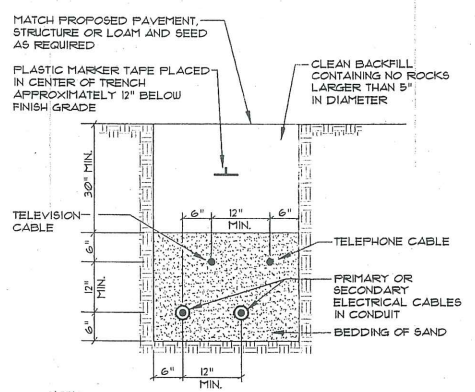
DECIDUOUS TREES UNDER 2" CALIFER OR UNDER 8' IN HEIGHT
EVERGREEN TREES 1'-0" IN HEIGHT & UNDER
 NOT TO SCALE

DECIDUOUS & EVERGREEN SHRUB
 NOT TO SCALE

FILTER BARRIER
 NOT TO SCALE

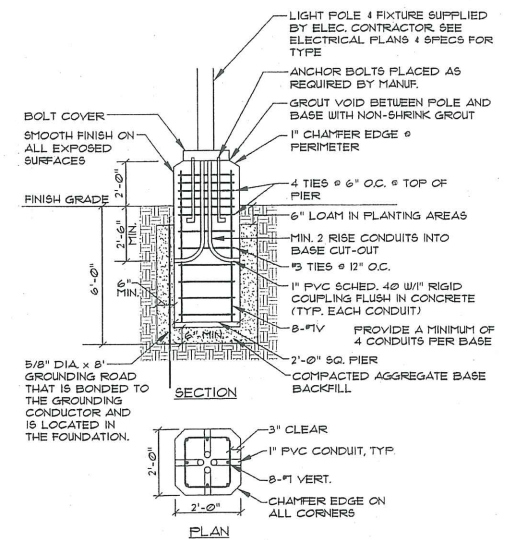


TYPICAL DUMPSTER ENCLOSURE
 NOT TO SCALE



NOTE:
 PROVIDE 4 INCH THICK CONCRETE BASE SLAB SUPPORT FOR PIPING OR CONDUIT LESS THAN 2'-6" BELOW SURFACE OF ROADWAY'S. PROVIDE MINIMUM 4 INCH THICK ENCASMENT (SIDES AND TOP) OF CONCRETE PRIOR TO BACKFILLING OR PLACEMENT OF ROADWAY SUBBASE.

TYPICAL UNDERGROUND CABLE INSTALLATION
 NOT TO SCALE



- NOTES:**
- CONCRETE Fc'4000 psi.
 - REINF. STEEL GRADE 60 NEW BARS.
 - CONCRETE 3/4" AGG. & 1/2" ENTRAINED AIR.
 - PROVIDE 2 COATS BITUMINOUS DAMPROOFING FOR ALL CONCRETE BELOW GRADE.
 - INSTALL BASE 3'-0" ABOVE FINISH GRADE IN LOCATIONS WHERE POLES ARE IN PARKING LOT PAVEMENT.
 - BID ALT. CONTRACTOR MAY SUBSTITUTE PRECAST CONCRETE LIGHT POLE BASE EQUAL TO ABOVE SPEC.

LIGHT POLE BASE
 NOT TO SCALE

REV:	BY:	DATE:	STATUS:
A	JRP	6/14/04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

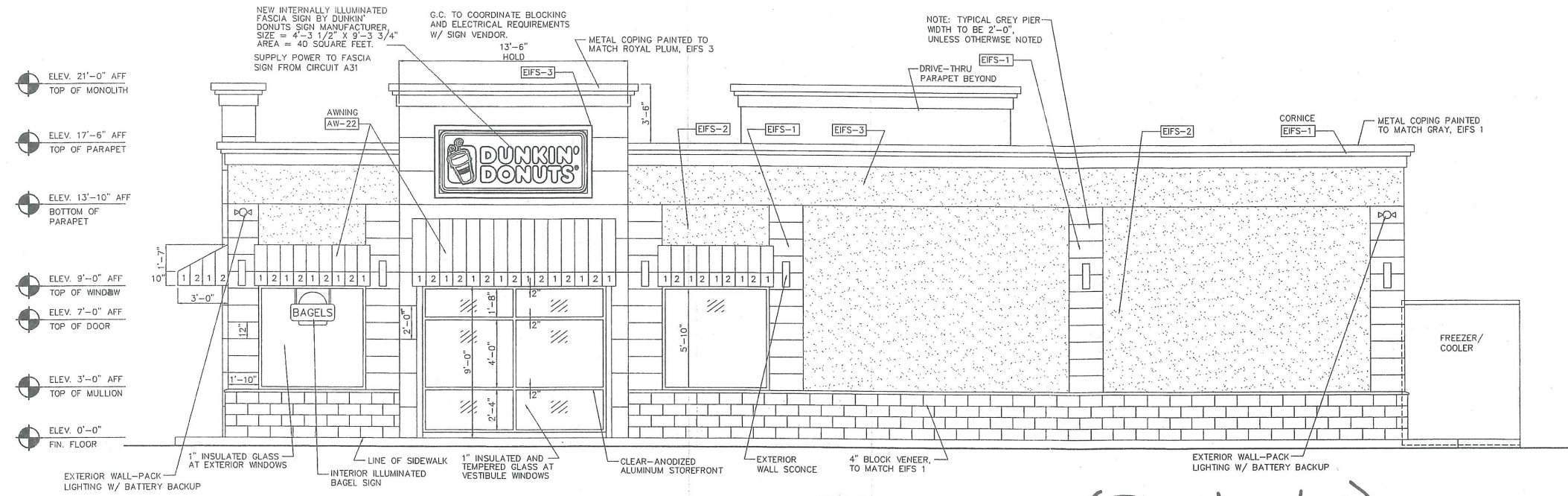
Sebago Technics
 Engineering Experience You Can Build On
 One Chobert Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
 03461 JRP JRP JRP FCL

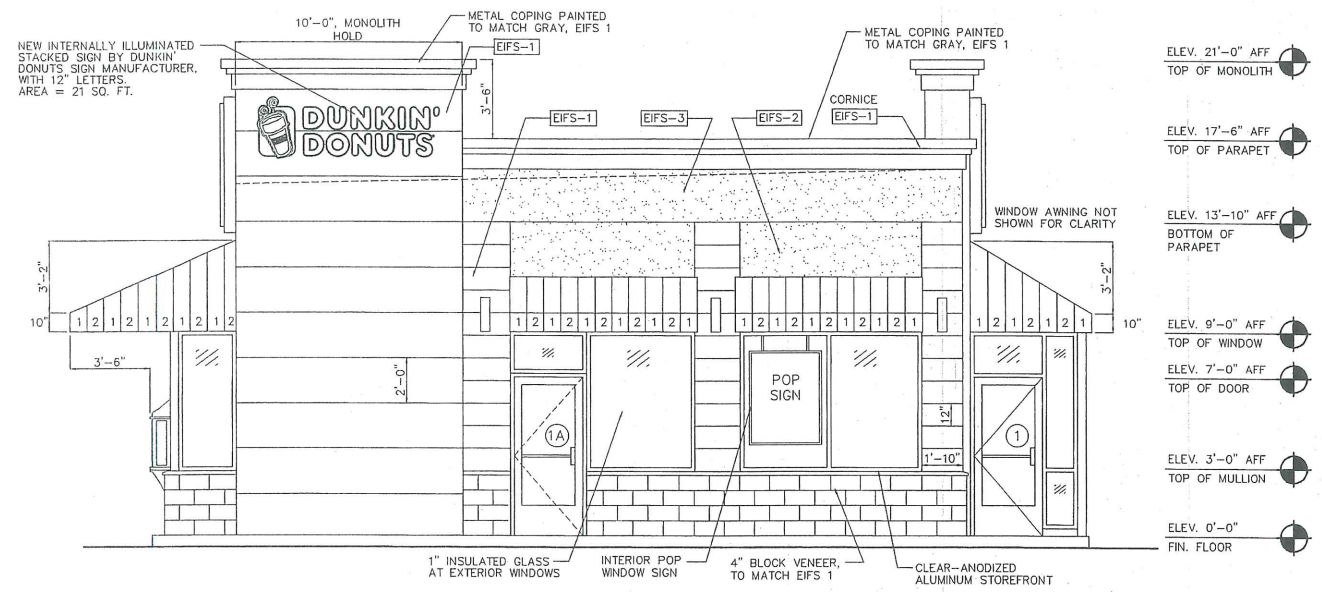
DETAILS
 OF:
DUNKIN DONUTS
 WARREN AVENUE
 PORTLAND, MAINE

FOR:
KIMCO DEVELOPMENT CORP.
 DUNKIN DONUTS PLAZA, 65 GRAY ROAD
 FALMOUTH, MAINE 04105

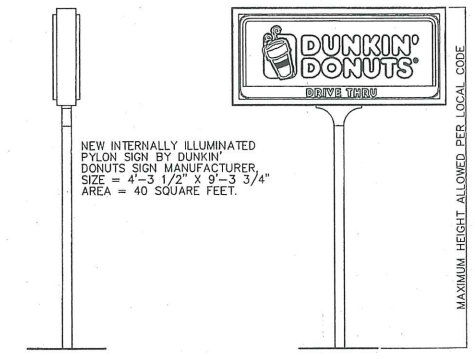
Att. 14



FRONT ELEVATION (Parking Lot)
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (Warren Avenue)
SCALE: 1/4" = 1'-0"



PYLON SIGN ELEVATION
SCALE: 1/4" = 1'-0"

COLOR NOTES:
DUNKIN', COFFEE CUP, BORDER & STEAM TO BE ORANGE, PMS#165C, VT2790 3M VINYL
DONUTS, CUP BACKGROUND AND R TO BE RASPBERRY, PMS#219C, VT2577 3M VINYL
DRIVE THRU TO BE WHITE ON ORANGE BACKGROUND. ALL VINYL TO BE APPLIED TO SECOND SURFACE.
LETTERS & COFFEE CUP TO BE EMBOSSED. BACKGROUND TO BE WHITE.

NOTES:
1. REFER TO DUNKIN' DONUTS DRAWINGS FOR EXACT CONFIGURATION, SIZE AND DETAILS OF AWNINGS.
2. PROVIDE A LIGHT FIXTURE AND EGG CRATE GRILLE AT AWNINGS LOCATED ABOVE DRIVE THRU WINDOWS.

EXTERIOR FINISH MATERIAL SCHEDULE					10/03
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
AW-22	AWNING FABRIC	3M	VO-1141B & VO-11419	PLUM & ORANGE	STRIPED AWNING
CMU-1	MASONRY VENEER	E.P.HENERY OR APP	VD EQUAL.	MATCH EIFS-1	SEE ELEV'S.(SMOOTH FACE @ WALK-IN)
EIFS-1	EXTERIOR	DRYVIT	GREY	# NA1-68-12-01-10	TO MATCH PMS #2U /SW7016 MINDFUL GRAY
EIFS-2	INSULATION	DRYVIT	TAN	# NA1-68-12-01-12	TO MATCH PMS #720U /SW3559 SOCIABLE
EIFS-3	SYSTEM	DRYVIT	ROYAL PLUM	# NA1-68-12-01-07	TO MATCH PMS #222U /SW6293 FABULOUS GRAPE
P-22	PAINT	SHERWIN WILLIAMS	SW 7016	MINDFUL GRAY	EXTERIOR TRIM, LADDERS, DOORS

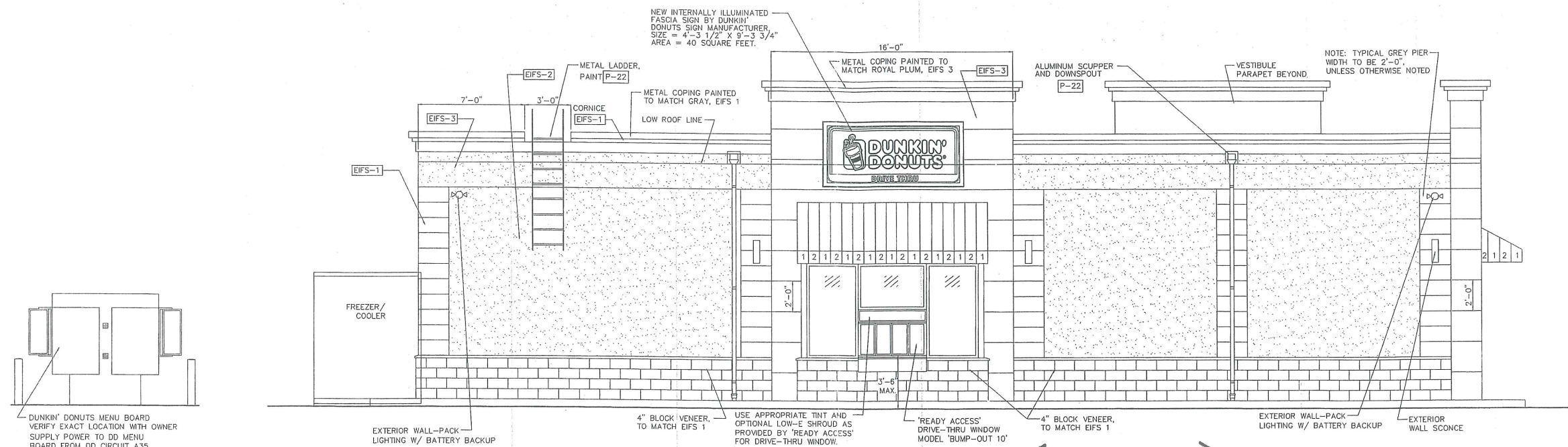


NEW ENGLAND DESIGN
P.O. BOX 311
WARRENSTABLE, MA 02668
508-362-9724

REVISIONS		NO.	DESCRIPTION	BY	DATE
INITIAL	ISSUE	UR	06/09/04		

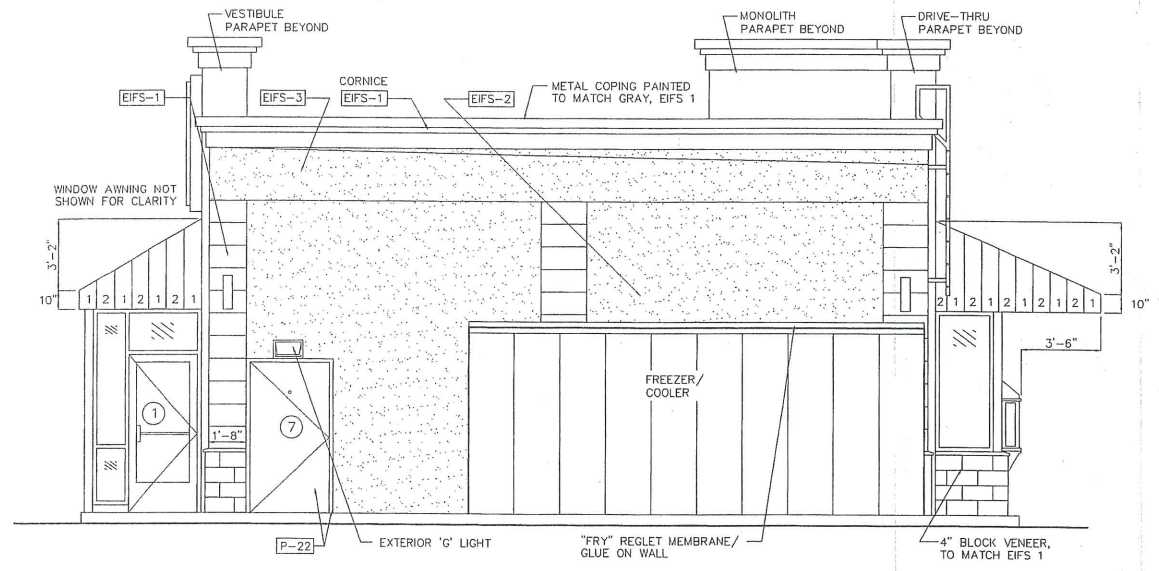
JOB LOCATION: PORTLAND, ME
WARREN AVENUE
PRELIMINARY EXTERIOR ELEVATIONS;
SCHEDULE

15A



DUNKIN' DONUTS MENU BOARD
VERIFY EXACT LOCATION WITH OWNER
SUPPLY POWER TO DD MENU
BOARD FROM DD CIRCUIT #35
PROVIDE A MINIMUM OF 5 CAR
STACKING TO THE DT WINDOW.

REAR ELEVATION (Wendy's)
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION (Rear)
SCALE: 1/4" = 1'-0"

NOTES:
1. REFER TO DUNKIN' DONUTS DRAWINGS FOR EXACT CONFIGURATION, SIZE AND DETAILS OF AWNINGS.
2. PROVIDE A LIGHT FIXTURE AND EGG CRATE GRILLE AT AWNINGS LOCATED ABOVE DRIVE THRU WINDOWS.

EXTERIOR FINISH MATERIAL SCHEDULE					10/03
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
AW-22	AWNING FABRIC	3M	VO-11418 & VO-11419	PLUM & ORANGE	STRIPED AWNING
CMU-1	MASONRY VENEER	E.P.HENERY OR APP	VO EQUAL.	MATCH EIFS-1	SEE ELEV'S.(SMOOTH FACE @ WALK-IN)
EIFS-1	EXTERIOR	DRYVT	GREY	# NA1-68-12-01-10	TO MATCH PMS #2U /SW7016 MINDFUL GRAY
EIFS-2	INSULATION FINISH	DRYVT	TAN	# NA1-68-12-01-12	TO MATCH PMS #720U /SW6359 SOCIABLE
EIFS-3	INSULATION SYSTEM	DRYVT	ROYAL PLUM	# NA1-68-12-01-07	TO MATCH PMS #222U /SW6293 FABULOUS GRAP
P-22	PAINT	SHERWIN WILLIAMS	SW 7016	MINDFUL GRAY	EXTERIOR TRIM, LADDERS, DOORS

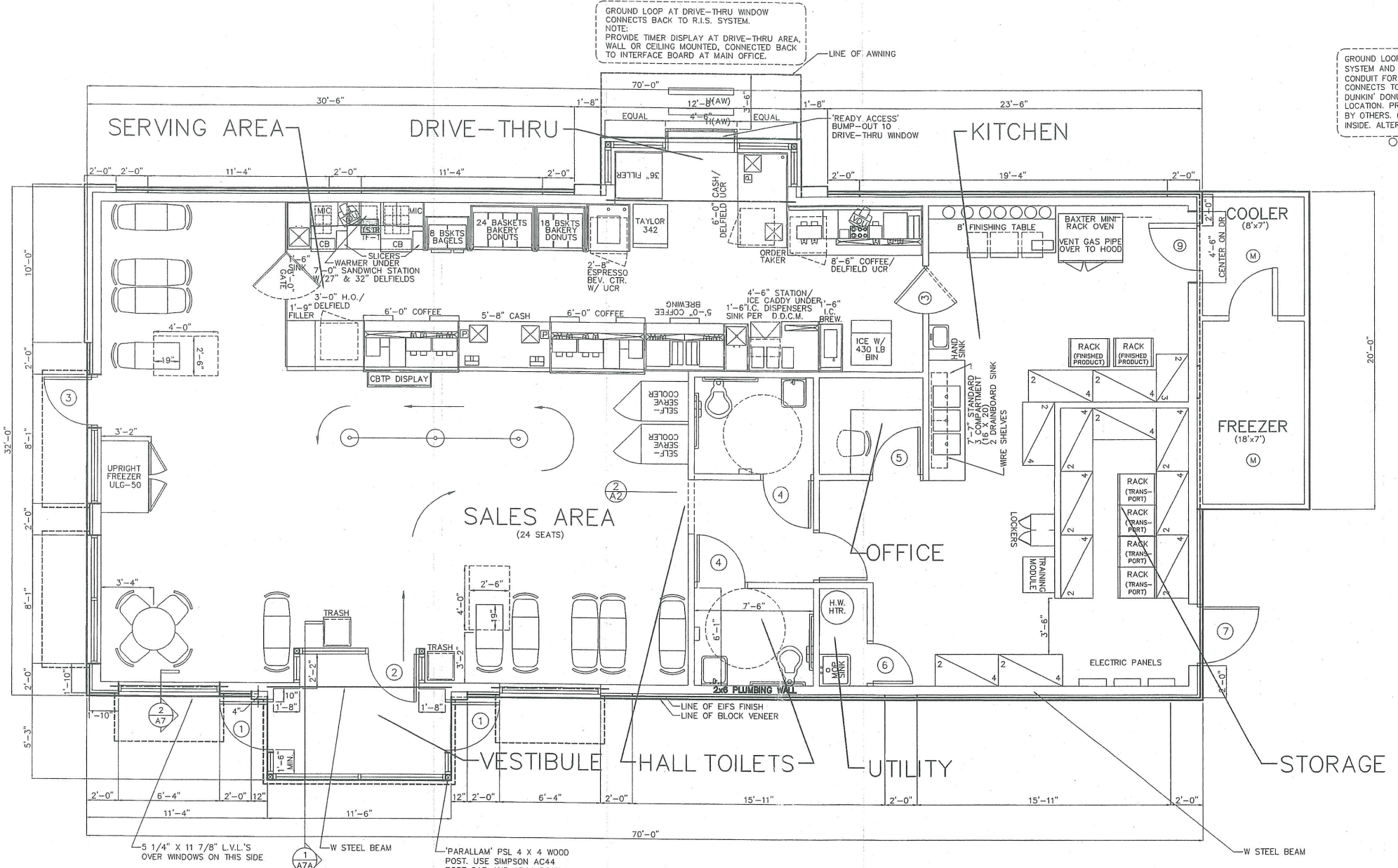


NEW ENGLAND DESIGN
P.O. BOX 311
W. BARNSTABLE, MA 02668
508-362-9724

REVISIONS		
NO	DESCRIPTION	DATE
1	INITIAL ISSUE	06/09/04

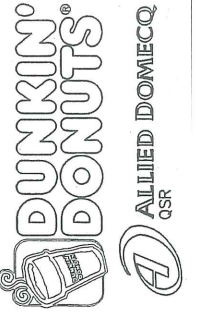
JOB LOCATION: PORTLAND, ME
WARREN AVENUE
PRELIMINARY EXTERIOR ELEVATIONS;
SCHEDULE

14B



PRELIM. FLOOR PLAN

SCALE: 1/4" = 1'-0"



ALLIED DOMIECO
GSR

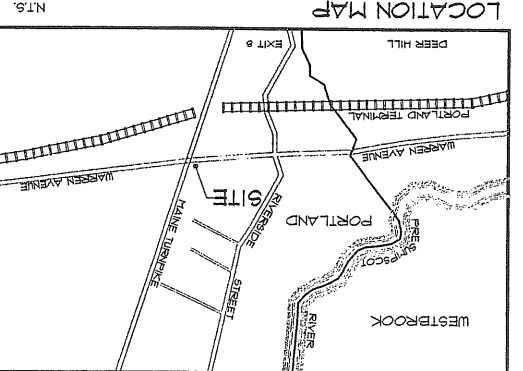
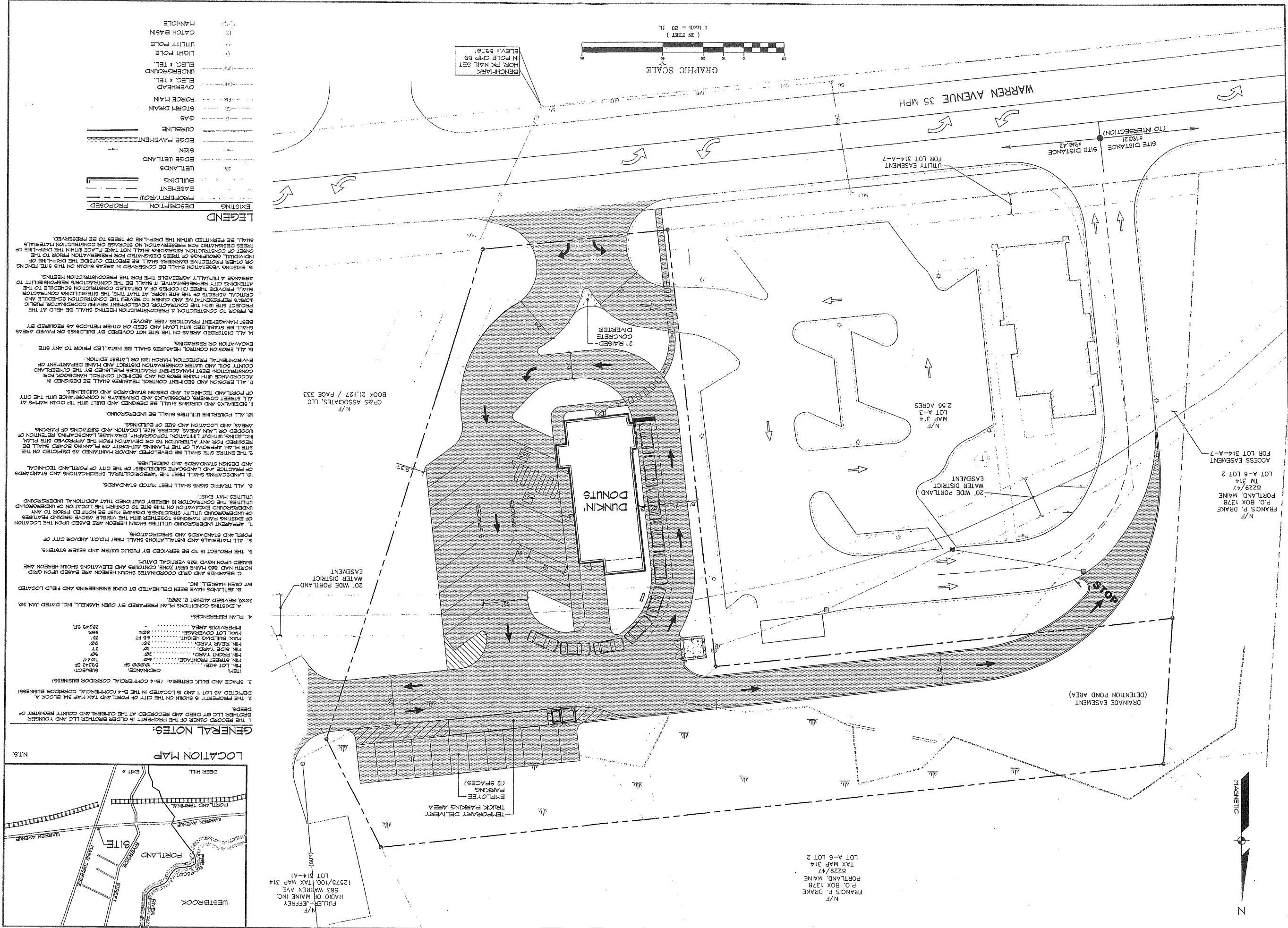
NEW ENGLAND DESIGN
P.O. BOX 311
W. BARNSTABLE, MA 02668
508-362-9724

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL ISSUE	06/09/04

JOB LOCATION:
PORTLAND, ME
WARREN AVENUE
PRELIM. FLOOR PLAN

SHEET
A1

FILE#: D04079
DATE: 06/09/04
PROJ. MGR. J.R.
C.M. J. WELCH



GENERAL NOTES:

1. THE RECORD OWNER OF THE PROPERTY IS OLIVER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED AND RECORDED AT THE CLERK'S OFFICE OF PORTLAND COUNTY REGISTER OF DEEDS.
2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314, BLOCK A DEPICTED AS LOT 1 AND LOT 2 LOCATED IN THE B-1 (COMMERCIAL CORP/BUSINESS) ZONING DISTRICT.
3. SPACE AND BULK CRITERIA: (B-1 COMMERCIAL CORP/BUSINESS)
MIN. LOT SIZE: 10,000 SF.
MIN. STREET FRONTAGE: 60 FT.
MIN. FRONT YARD: 20'
MIN. SIDE YARD: 20'
MIN. REAR YARD: 20'
MAX. BUILDING HEIGHT: 35 FT.
MAX. LOT COVERAGE: 50%
4. PLAN REFERENCES:
EXISTING CONDITIONS PLAN PREPARED BY OLEN HASKELL, INC. DATED JAN 30, 2002. REVISED AUGUST 12, 2002.
B. WETLANDS HAVE BEEN DELINEATED BY DUKE ENGINEERING AND FIELD LOCATED BY OLEN HASKELL, INC.
C. BEAKING AND GRID COORDINATES SHOWN HEREON ARE BASED UPON GRID NORTH HAD 1983 NAD83 NORTH ZONE, CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 1983 VERTICAL DATUM.
5. THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER SYSTEMS. ALL STANDARDS AND REGULATIONS SHALL MEET THD.O.T. AND/OR CITY OF PORTLAND STANDARDS AND SPECIFICATIONS.
6. EXISTING PLANT HARDWARES SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED. EXCAVATION AND UTILTY STRUCTURES, DIVERTERS MUST BE NOTIFIED PRIOR TO ANY UTILTY WORK. THE CONTRACTOR IS HEREBY CAUTIONED THAT ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
7. ALL TRAFFIC SIGNS SHALL MEET MUTCD STANDARDS.
8. LANDSCAPING SHALL MEET THE ARBORENTURAL SPECIFICATIONS AND STANDARDS OF FRANCHISE AND LANDSCAPE ARCHITECTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
9. THE SITE SHALL BE MAINTAINED AND/OR REMAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF AREAS AND LOCATION AND SIZE OF BUILDINGS.
10. ALL FUTURE UTILITIES SHALL BE UNDERGROUND.
11. SIGNAGE AND CUES SHALL BE DESIGNED AND BUILT WITH THE DOWN RAISED AT ALL STREET CORNERS. SIGNAGE AND CUES SHALL BE DESIGNED IN ACCORDANCE WITH PLANNING BOARD AND DESIGN STANDARDS.
12. ALL EXCAVATION AND BENCHMARK MEASUREMENTS SHALL BE DESIGNED IN ACCORDANCE WITH PLANNING BOARD AND DESIGN STANDARDS.
13. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE GRADED AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES. (SEE ABOVE).
14. PRIOR TO CONSTRUCTION A PROTECTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DESIGNER, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND SPECIAL CONCERNS OF THE SITE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO ARRANGE A FINALLY AGREEABLE TIME FOR THE PROTECTION MEETING.
15. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE Erected OUTSIDE THE DRAIN-LINE OF INDIVIDUAL CORNINGS OR TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRAIN-LINE OR DESIGNATED CORNINGS FOR PRESERVATION FROM TO THE DRAIN-LINE OF THESE DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRAIN-LINE OF TREES TO BE PRESERVED.
16. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE Erected OUTSIDE THE DRAIN-LINE OF INDIVIDUAL CORNINGS OR TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRAIN-LINE OF THESE DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRAIN-LINE OF TREES TO BE PRESERVED.

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW	
	EASEMENT	
	BUILDING	
	WETLANDS	
	SIGN	
	EDGE PAVEMENT	
	CURBLINE	
	GAS	
	STORM DRAIN	
	FORCE MAIN	
	OVERHEAD	
	ELEC. & TEL.	
	UNDERGROUND	
	ELEC. & TEL.	
	LIGHT POLE	
	UTILITY POLE	
	CATCH BASIN	
	MANHOLE	

SITE PLAN
OF
DUNKIN' DONUTS
WARREN AVENUE
PORTLAND, MAINE
KIMCO
25 SQUAWK ROAD
SCARBOROUGH, MAINE 04074

DATE 12-1-04
SCALE 1"=20'

ProjecT NO. FIELD BOOK DESIGN CHKO DRAWN
03461 - JRP JRP MAL

Sebago Technics
Engineering Experts You Can Build On
One Oakes Street
Portland, ME 04112
Tel (207) 886-0277

REV.	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE ADOPED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

A# 14

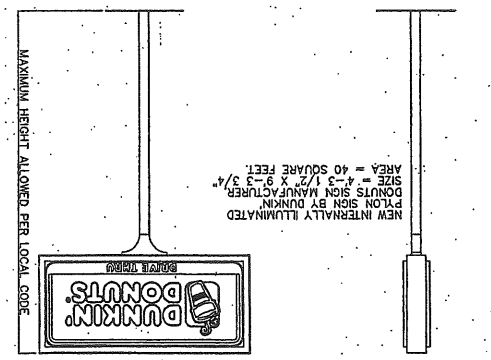
NO.	DESCRIPTION	BY	DATE
	INITIAL ISSUE	JR	06/09/04



CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
P-22	PAINT	SHERWIN WILLIAMS	SW 7016		
EFS-3	INSULATION FINISH SYSTEM	DRYVIT	ROYAL PLUM		
EFS-2	DRYVIT	TAN	# NAT-66-12-01-12		TO MATCH PMS #22U / SWS359 SOCIABLE
EFS-1	DRYVIT	GREY	# NAT-66-12-01-10		TO MATCH PMS #2U / SWS7016 MINDFUL GRAY
CMU-1	MASONRY VENEER	E.P. HENRY OR APP	VO EQUAL		SEE ELEV'S / SMOOTH FACE @ WALK-IN
AM-22	AWNING FABRIC	3M	VO-11418 & VO-11419	PLUM & ORANGE	STRIPED AWNING

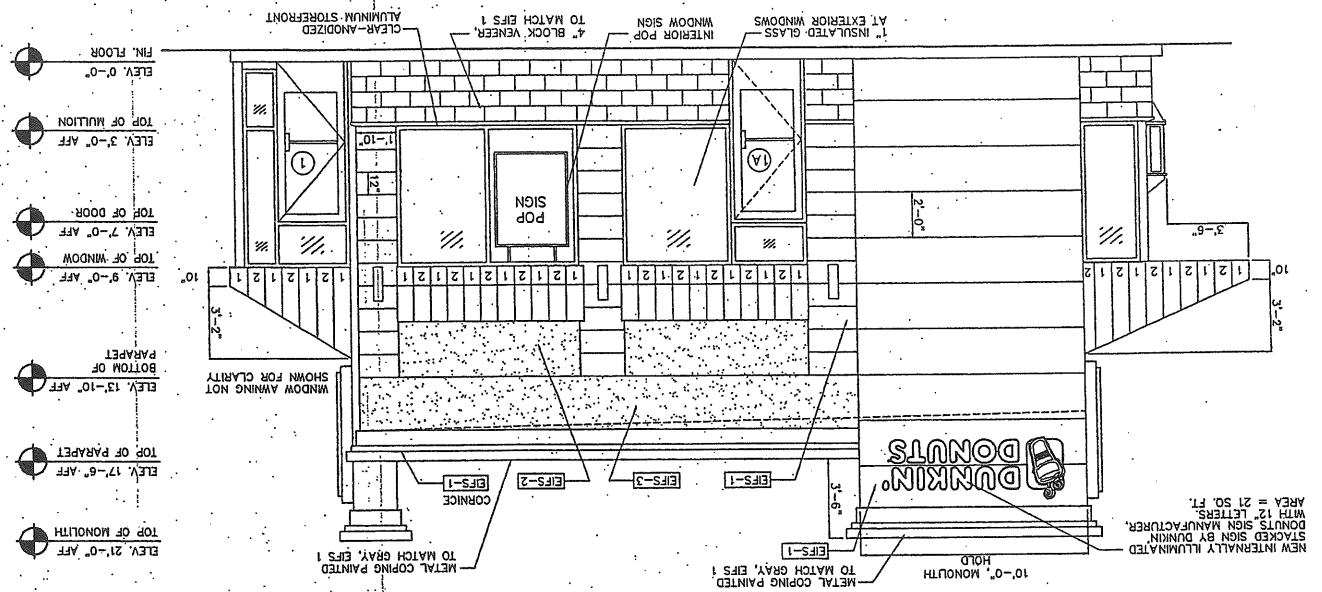
NOTES:
 1. REFER TO DUNKIN' DONUTS DRAWINGS FOR EXACT CONFIGURATION, SIZE AND DETAILS OF AWNINGS.
 2. PROVIDE A LIGHT FIXTURE AND EGGS CRATE GRILLE AT AWNINGS LOCATED ABOVE DRIVE THRU WINDOWS.

PLYON SIGN ELEVATION
 SCALE: 1/4" = 1'-0"

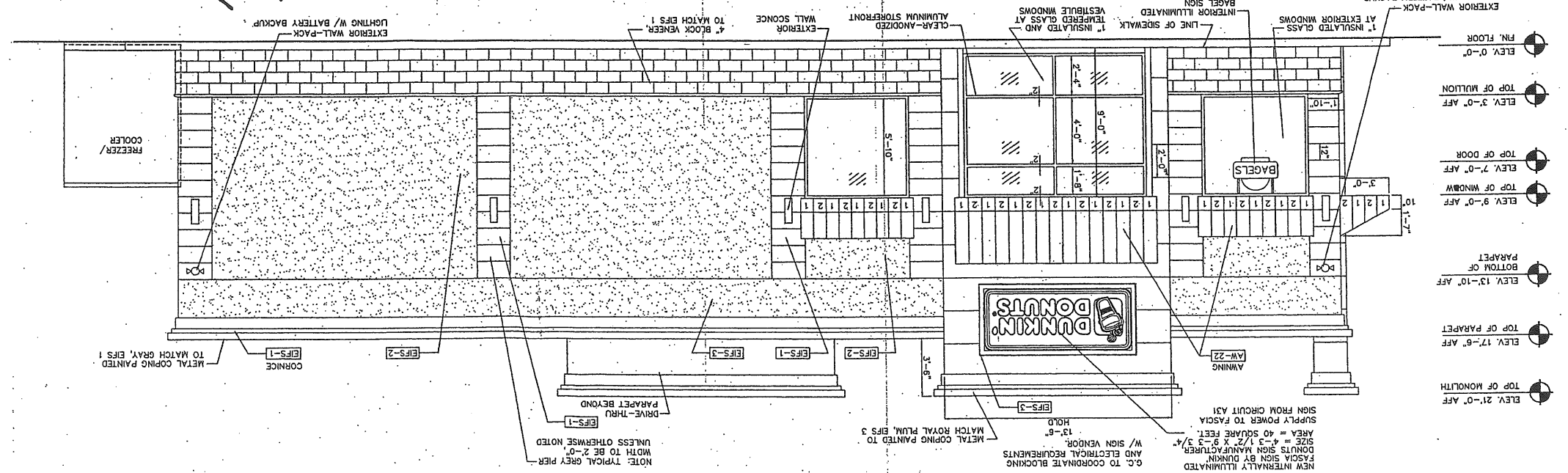


COLOR NOTES:
 DUNKIN', COREE CUP, BORDER & STEAM TO BE ORANGE.
 PMS#65C, V12790 3M VINYL.
 DONUTS CUP BACKGROUND AND R TO BE RASPBERRY,
 PMS#219C, V12577 3M VINYL.
 DRIVE THRU TO BE WHITE ON ORANGE BACKGROUND.
 ALL VINYL TO BE APPLIED TO SECOND SURFACE.
 LETTERS & COREE CUP TO BE EMBOSSED,
 BACKGROUND TO BE WHITE.

LEFT ELEVATION (Warren Avenue)
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION (Parking lot)
 SCALE: 1/4" = 1'-0"



15
 AH

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
P-22	PAINT	SHERWIN WILLIAMS	SW 7016	MINDFUL GRAY	EXTERIOR TRIM, LOADERS, DOORS
EFS-1	EXTERIOR MASONRY VENEER	E.P. HENERY OR APPROV. EQUAL.		MATCH EFS-1	SEE ELEV'S (SMOOTH FACE @ WALK-IN)
EFS-2	EXTERIOR INSULATION FINISH SYSTEM	DRYVIT		GREY	TO MATCH PMS #20 / SW7016 MINDFUL GRAY
EFS-3	EXTERIOR ROYAL PLUM	DRYVIT		TAN	TO MATCH PMS #720 / SWS39 SOCIABLE
					TO MATCH PMS #220 / SWS29 FABULOUS GRAP
AW-22	AWNING FABRIC	3M	VO-11416 & VO-11419	PLUM & ORANGE	STRIPED AWNING

NOTES:
 1. REFER TO DUNKIN' DONUTS DRAWINGS FOR EXACT CONFIGURATION, SIZE AND DETAILS OF AWNINGS.
 2. PROVIDE A LIGHT FIXTURE AND EGG GRATE GRILLE AT AWNINGS LOCATED ABOVE DRIVE THRU WINDOWS.

FILE#: D04079
 DATE: 06/09/04
 PROJ. MGR. J.R.
 C.M. J. WELCH

SHEET 11

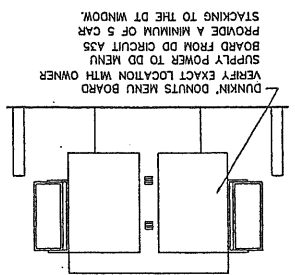
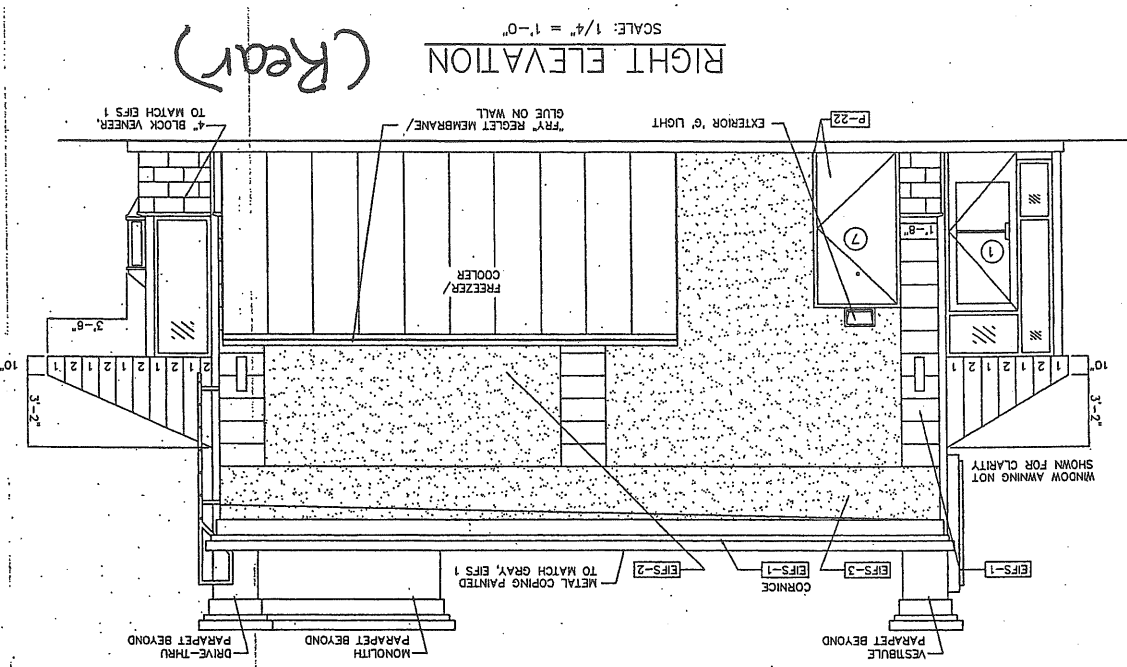
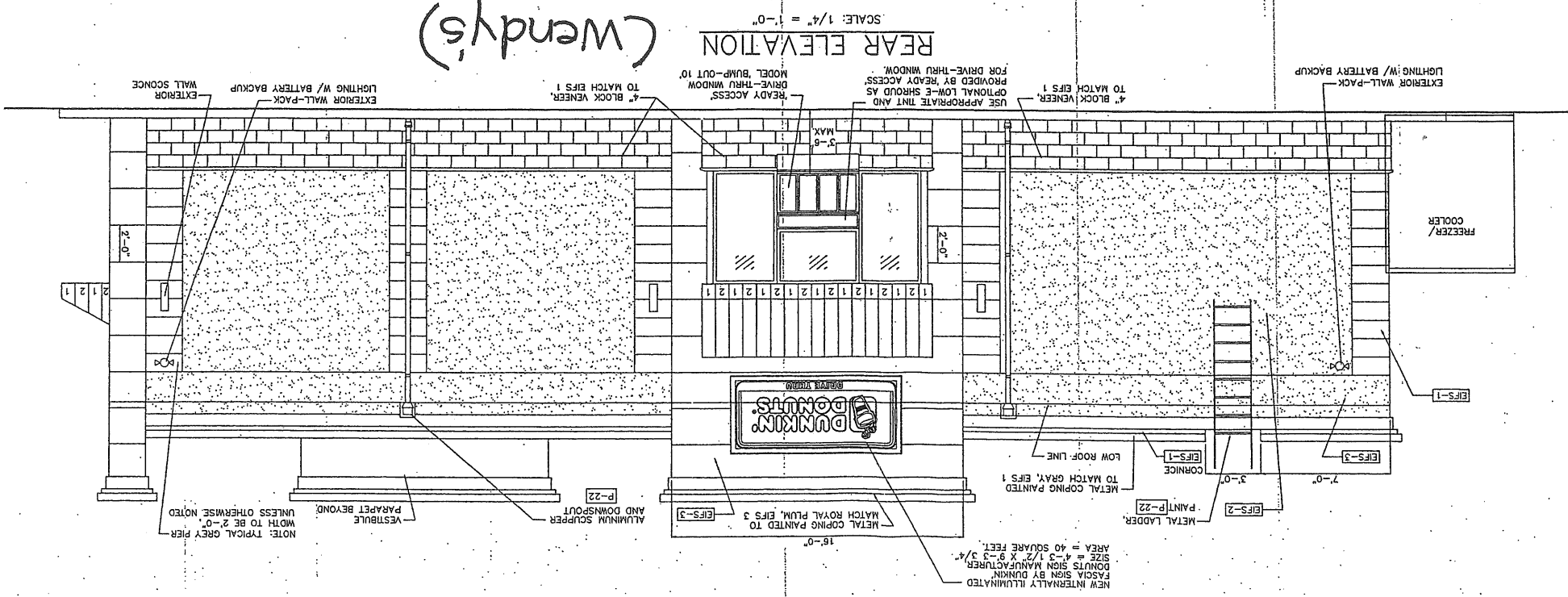
PRELIMINARY EXTERIOR ELEVATIONS:

JOB LOCATION:
 PORTLAND, ME
 WARREN AVENUE

NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JR	06/09/04

NEW ENGLAND DESIGN

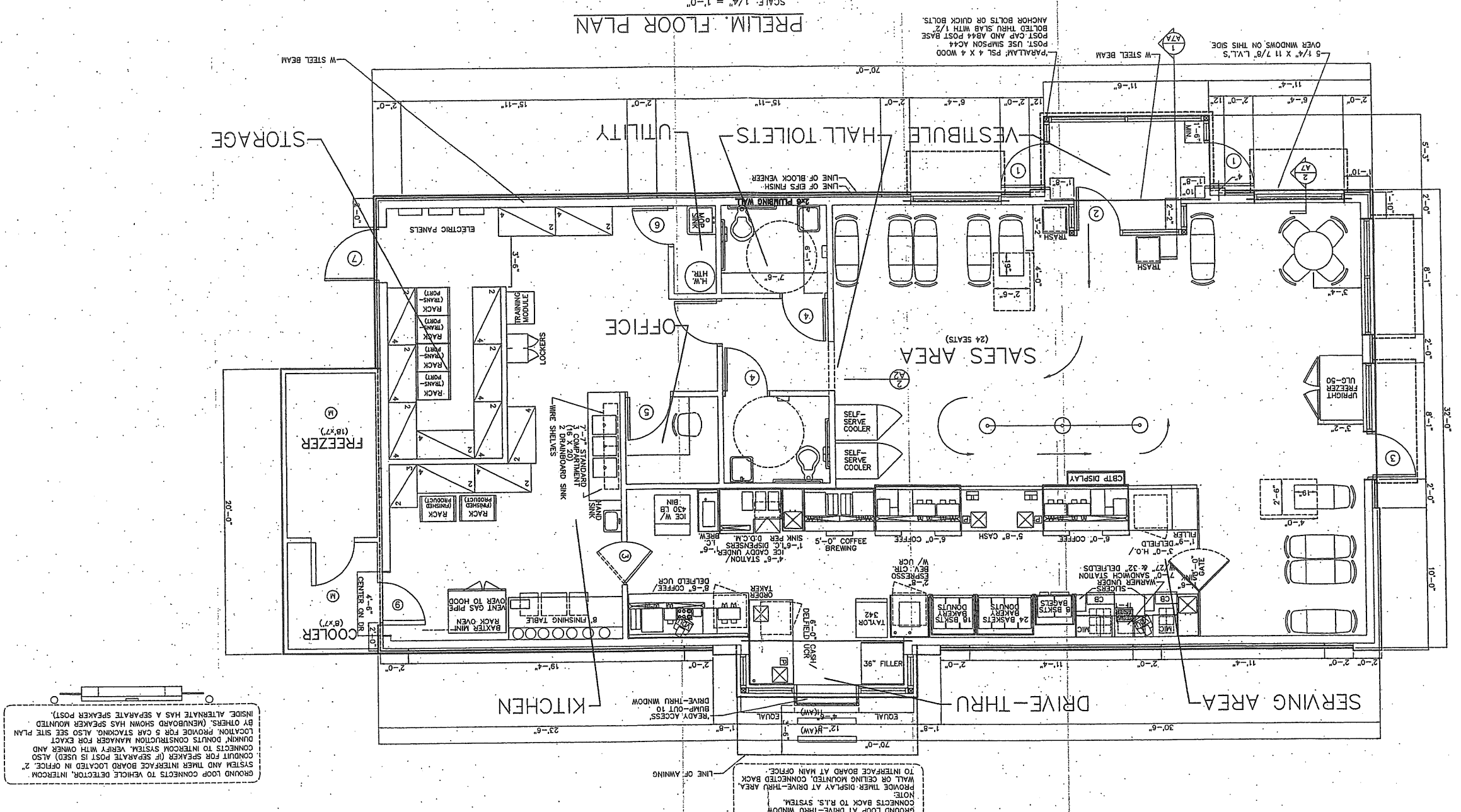
P.O. BOX 311
 509-562-9724
 LEWIS, MA 02668



REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JR	05/09/04

DB

PRELIM. FLOOR PLAN
 SCALE: 1/4" = 1'-0"



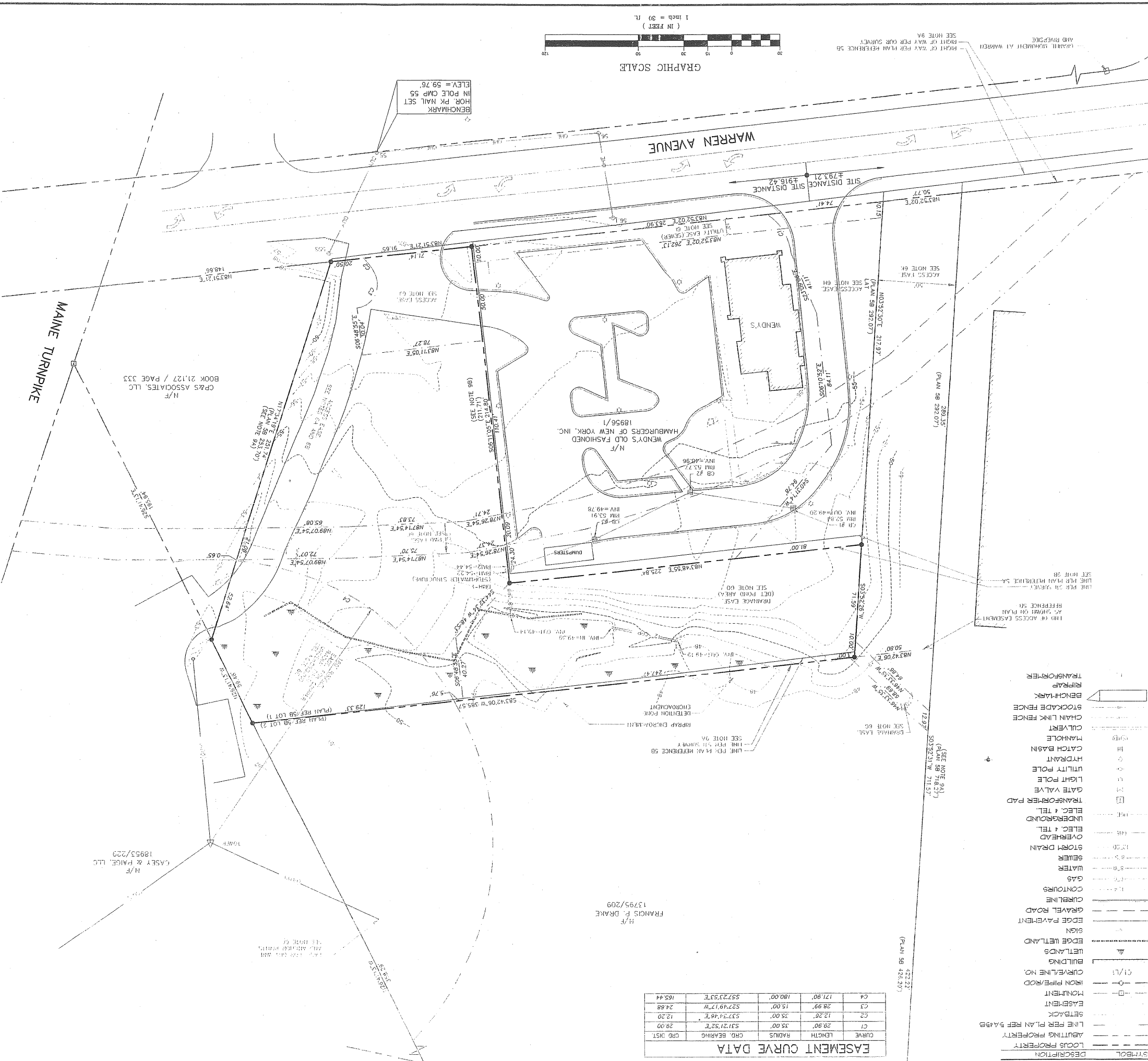
GROUND LOOP CONNECTS TO VEHICLE DETECTOR, INTERCOM SYSTEM AND TIMER INTERFACE BOARD LOCATED IN OFFICE. 2 CONDUIT FOR SPEAKER (IF SEPARATE POST IS USED) ALSO CONNECTS TO INTERCOM SYSTEM. VERIFY WITH OWNER AND DUNKIN' DONUTS CONSTRUCTION MANAGER FOR EXACT LOCATION. PROVIDE FOR 5 CAR STACKING. ALSO SEE SITE PLAN BY OTHERS. (MNUBOARD SHOWN HAS SPEAKER MOUNTED INSIDE ALTERNATE HAS A SEPARATE SPEAKER POST).

GROUND LOOP AT DRIVE-THRU WINDOW CONNECTS BACK TO R.T.S. SYSTEM. PROVIDE TIMER DISPLAY AT DRIVE-THRU AREA. WALL OR CEILING MOUNTED, CONNECT BACK TO INTERFACE BOARD AT MAIN OFFICE.

SYMBOL	DESCRIPTION
---	LOCAL PROPERTY
---	ADJOINING PROPERTY
---	LINE PER PLAN REF 5A, 5B
---	SETBACK
---	EASEMENT
---	MOUNT
---	IRON PIPE/ROD
---	CURVE/LINE NO.
---	BUILDING
---	WETLANDS
---	EDGE WETLAND
---	SIGN
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	CURVE/LINE
---	CONTOURS
---	GAS
---	WATER
---	SEWER
---	STORM DRAIN
---	OVERHEAD
---	ELEC. & TEL.
---	UNDERGROUND
---	ELEC. & TEL.
---	TRANSFORMER PAD
---	GATE VALVE
---	LIGHT POLE
---	UTILITY POLE
---	HYDRANT
---	CATCH BASIN
---	MANHOLE
---	CULVERT
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	BENCHMARK
---	RIPPRAP
---	TRANSFORMER

CURVE	LENGTH	RAIUS	CRD. BEARING	CRD DIST.
C4	171.90'	180.00'	S57.23.53"E	165.44
C3	28.99'	15.00'	S27.19.17"W	24.68
C2	12.26'	35.00'	S37.54.46"E	12.20
C1	29.90'	35.00'	S31.21.92"E	29.00

EASEMENT CURVE DATA



GENERAL NOTES:

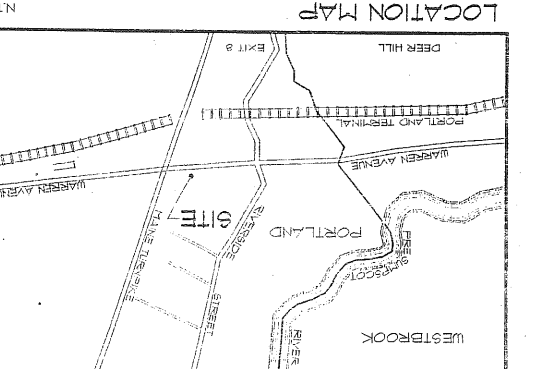
1. THE RECORDED OWNER OF THE PROPERTY IS OLDER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED BOOK 1814, PAGE 313, RECORDED AT THE CUMBERLAND COUNTY REGISTER OF DEEDS (CCRD).
2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314, BLOCK A, DEPICTED AS LOT 1 AND IS LOCATED IN THE B-1 ZONE (COMMERCIAL CORRIDOR BUSINESS).
3. THE TOTAL AREA OF SAID PARCEL IS APPROXIMATELY 59,465 SQ. FT. OR 1.34 ACRES.
4. SPACE AND BULK CRITERIA: (A) 4' COMMERCIAL CORRIDOR BUSINESS; (B) 4' COMMERCIAL CORRIDOR BUSINESS; (C) 4' COMMERCIAL CORRIDOR BUSINESS.

ITEM	CRITERIA	COMPLIANCE
MIN. LOT SIZE	10,000 SF	59,465 SF
MIN. STREET FRONTAGE	60'	107.44'
MIN. FRONT YARD	20'	30'
MIN. SIDE YARD	5'	27'
MIN. BUILDING HEIGHT	35 FT	35 FT
MAX. LOT COVERAGE	80 %	80 %

5. EASEMENTS:
 - A. EASEMENT TO PASS OVER LAND OF THE GRANTOR AND RIGHTS THEREIN CONVEYED AND LAMBERT, ALL CONDITIONS BETWEEN THE LAND AND THEREIN CONVEYED AS SHOWN ON PLAN BOOK 2177, PAGE 180.
 - B. EASEMENT TO PASS OVER LAND OF THE GRANTOR AND RIGHTS THEREIN CONVEYED AND LAMBERT, ALL CONDITIONS BETWEEN THE LAND AND THEREIN CONVEYED AS SHOWN ON PLAN BOOK 1934, PAGE 232.
 - C. AN EASEMENT FOR THE PLACEMENT AND MAINTENANCE OF A GUY WIRE AND ANCHOR POINT SERVING A TRANSMITTING TOWER AS DESCRIBED IN DEED BOOK 1934, PAGE 232.
 - D. ACCESS EASEMENT THROUGH THE EASEMENT AREA ALL CONDITIONS AND RIGHTS OF SAID EASEMENT AS FOUND IN DEED BOOK 1934, PAGE 232.
 - E. AN EASEMENT TO LAY A COPPER RADIAL FIELD UNDERGROUND AT A RADIUS OF 160 FEET FROM THE BASE OF A PROPOSED RADIO TOWER AS SHOWN ON A PLAN ENTITLED "PROPOSED WIRE AND TOWER" DATED APRIL 1974, FROM A SURVEY BY ENGINEERING SERVICES, INC. SAID EASEMENT DESCRIPTION AND CONDITIONS FOUND IN DEED BOOK 3951, PAGE 198.
 - F. A 20' WIDE EASEMENT TO PORTLAND WATER DISTRICT AS DESCRIBED IN DEED BOOK 2177, PAGE 180 AND AS SHOWN ON PLAN.
 - G. A 10' WIDE DRIVEWAY EASEMENT FROM DETENTION POND ACROSS LOT 2 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - H. ACCESS EASEMENT FOR LOT 314-3-2 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - I. UTILITY EASEMENT FOR LOT 314-3-1 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - J. ACCESS EASEMENT FOR LOT 314-3-1 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - K. AN ACCESS-UTILITY EASEMENT TO LOT 1 FOR USE OF 80' STRIP RUNNING NORTHERLY FROM WARREN AVE AS SHOWN ON SAID PLAN IN REFERENCE 5B.
 - L. A DRIVEWAY EASEMENT APPROPRIATE TO PARCEL B FOR PARCEL A, EASEMENT AND ACCESS PARCEL A, AS SHOWN ON SAID PLAN IN REFERENCE 5A, DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - M. A SIGN EASEMENT FOR LOT A AND LOT B, SAID LOTS AS SHOWN ON SAID PLAN IN REFERENCE 5A, EASEMENT DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - N. A SEWERLINE EASEMENT FOR LOCALS PARCEL, AND MTA LOT AS DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - O. A DRIVEWAY EASEMENT FOR DETENTION POND AREA AS DESCRIBED IN DEED BOOK 1934, PAGE 173, AN AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - P. COVENANT LIMITING USE OF LOCALS PARCEL AS DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - Q. BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH AND MAKE WEST ZONE DATUM.
 - R. ALL BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN WAS DERIVED FROM AN SURVEY CONDUCTED BY SEBAGO TECHNICS, INC. ON JULY 2002.

6. EASEMENTS:
 - A. EASEMENT TO PASS OVER LAND OF THE GRANTOR AND RIGHTS THEREIN CONVEYED AND LAMBERT, ALL CONDITIONS BETWEEN THE LAND AND THEREIN CONVEYED AS SHOWN ON PLAN BOOK 1934, PAGE 232.
 - B. EASEMENT TO PASS OVER LAND OF THE GRANTOR AND RIGHTS THEREIN CONVEYED AND LAMBERT, ALL CONDITIONS BETWEEN THE LAND AND THEREIN CONVEYED AS SHOWN ON PLAN BOOK 1934, PAGE 232.
 - C. AN EASEMENT FOR THE PLACEMENT AND MAINTENANCE OF A GUY WIRE AND ANCHOR POINT SERVING A TRANSMITTING TOWER AS DESCRIBED IN DEED BOOK 1934, PAGE 232.
 - D. ACCESS EASEMENT THROUGH THE EASEMENT AREA ALL CONDITIONS AND RIGHTS OF SAID EASEMENT AS FOUND IN DEED BOOK 1934, PAGE 232.
 - E. AN EASEMENT TO LAY A COPPER RADIAL FIELD UNDERGROUND AT A RADIUS OF 160 FEET FROM THE BASE OF A PROPOSED RADIO TOWER AS SHOWN ON A PLAN ENTITLED "PROPOSED WIRE AND TOWER" DATED APRIL 1974, FROM A SURVEY BY ENGINEERING SERVICES, INC. SAID EASEMENT DESCRIPTION AND CONDITIONS FOUND IN DEED BOOK 3951, PAGE 198.
 - F. A 20' WIDE EASEMENT TO PORTLAND WATER DISTRICT AS DESCRIBED IN DEED BOOK 2177, PAGE 180 AND AS SHOWN ON PLAN.
 - G. A 10' WIDE DRIVEWAY EASEMENT FROM DETENTION POND ACROSS LOT 2 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - H. ACCESS EASEMENT FOR LOT 314-3-2 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - I. UTILITY EASEMENT FOR LOT 314-3-1 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - J. ACCESS EASEMENT FOR LOT 314-3-1 AS SHOWN ON SAID PLAN IN REFERENCE 5A.
 - K. AN ACCESS-UTILITY EASEMENT TO LOT 1 FOR USE OF 80' STRIP RUNNING NORTHERLY FROM WARREN AVE AS SHOWN ON SAID PLAN IN REFERENCE 5B.
 - L. A DRIVEWAY EASEMENT APPROPRIATE TO PARCEL B FOR PARCEL A, EASEMENT AND ACCESS PARCEL A, AS SHOWN ON SAID PLAN IN REFERENCE 5A, DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - M. A SIGN EASEMENT FOR LOT A AND LOT B, SAID LOTS AS SHOWN ON SAID PLAN IN REFERENCE 5A, EASEMENT DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - N. A SEWERLINE EASEMENT FOR LOCALS PARCEL, AND MTA LOT AS DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - O. A DRIVEWAY EASEMENT FOR DETENTION POND AREA AS DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - P. COVENANT LIMITING USE OF LOCALS PARCEL AS DESCRIBED IN DEED BOOK 1934, PAGE 173.
 - Q. BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH AND MAKE WEST ZONE DATUM.
 - R. ALL BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN WAS DERIVED FROM AN SURVEY CONDUCTED BY SEBAGO TECHNICS, INC. ON JULY 2002.

7. BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH AND MAKE WEST ZONE DATUM.
8. ALL BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN WAS DERIVED FROM AN SURVEY CONDUCTED BY SEBAGO TECHNICS, INC. ON JULY 2002.
9. SURVEY COMMENTS:
 - A. PLAN REFERENCE 5B WAS A TYPED DIVISION APPROVED BY THE PLANNING BOARD. THIS IT WAS A SIMULTANEOUS CONVEYANCE. THE PLAN SHOWS THE WARREN AVENUE RIGHT OF WAY AS AN ASSUMED SIDELINE. DURING OUR SURVEY WE DETERMINED THE WARREN AVENUE RIGHT OF WAY, UTILIZING FOUND MONUMENTATION AND PLAN REFERENCE 5C. THE RIGHT OF WAY WE DETERMINED WAS DIFFERENT FROM THAT SHOWN ON PLAN REFERENCE 5B. DUE TO THE SIMULTANEOUS CONVEYANCE A PREPARATION WAS REQUIRED ON THE WESTERLY SIDELINE OF THE OVERALL PROPERTY.
 - B. THE SUBSEQUENT CONVEYANCE OF A PORTION OF LOT 1 (NOW OR FORMERLY LOCALS PARCEL) WAS REQUIRED ON THE WESTERLY SIDELINE OF THE OVERALL PROPERTY.
 - C. OLD FASHIONED HAMBURGERS OF NEW YORK WAS HELD WITH THE DIMENSIONS AS BEST FIT THE CORRECTED RIGHT OF WAY. SEE DIMENSIONS SHOWN ON THIS PLAN FOR FURTHER INFORMATION.



EXISTING CONDITIONS PLAN
PROPOSED DUNKIN' DONUTS SITE

DATE: 7/14/04
 SCALE: 1" = 30'

FOR: KIMCO
 25 SPURWINK ROAD
 SCARBOROUGH, MAINE 04074

PROJECT NO: 778
 FIELD BOOK: DESIGN
 CHKD: MWE
 DRAWN: DPH

Sebago Technics
 Engineering Experts You Can Build On
 One Canal Street
 Westbrook, ME 04091
 Tel: (207) 566-0271

REVISIONS:

REV.	DATE	STATUS
A	8/11/04	SUBMITTED TO CLIENT FOR REVIEW
B	3/4/05	SUBMITTED FOR FINAL APPROVAL
C	8/11/04	SUBMITTED TO CLIENT FOR REVIEW

THIS PLAN SHALL NOT BE ADOPED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

DATE	12-1-04	SCALE	1"=20'
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SITE PLAN
OF
DUNKIN' DONUTS
 WARREN AVENUE
 PORTLAND, MAINE
 FOR:
KMCO
 25 SPRINGWOOD ROAD
 SCARBOROUGH, MAINE 04074

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
03461		JRP	JRP	MAL

Sebago Technics
 Engineering Experts You Can Build On
 One Chase Street
 Westbrook, Me 04092-1339
 Tel (207) 956-0277

REV	BY	DATE	STATUS	SUBMITTED FOR FINAL APPROVAL
A	JRP	3/4/05		

THIS PLAN SHALL NOT BE AMENDED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

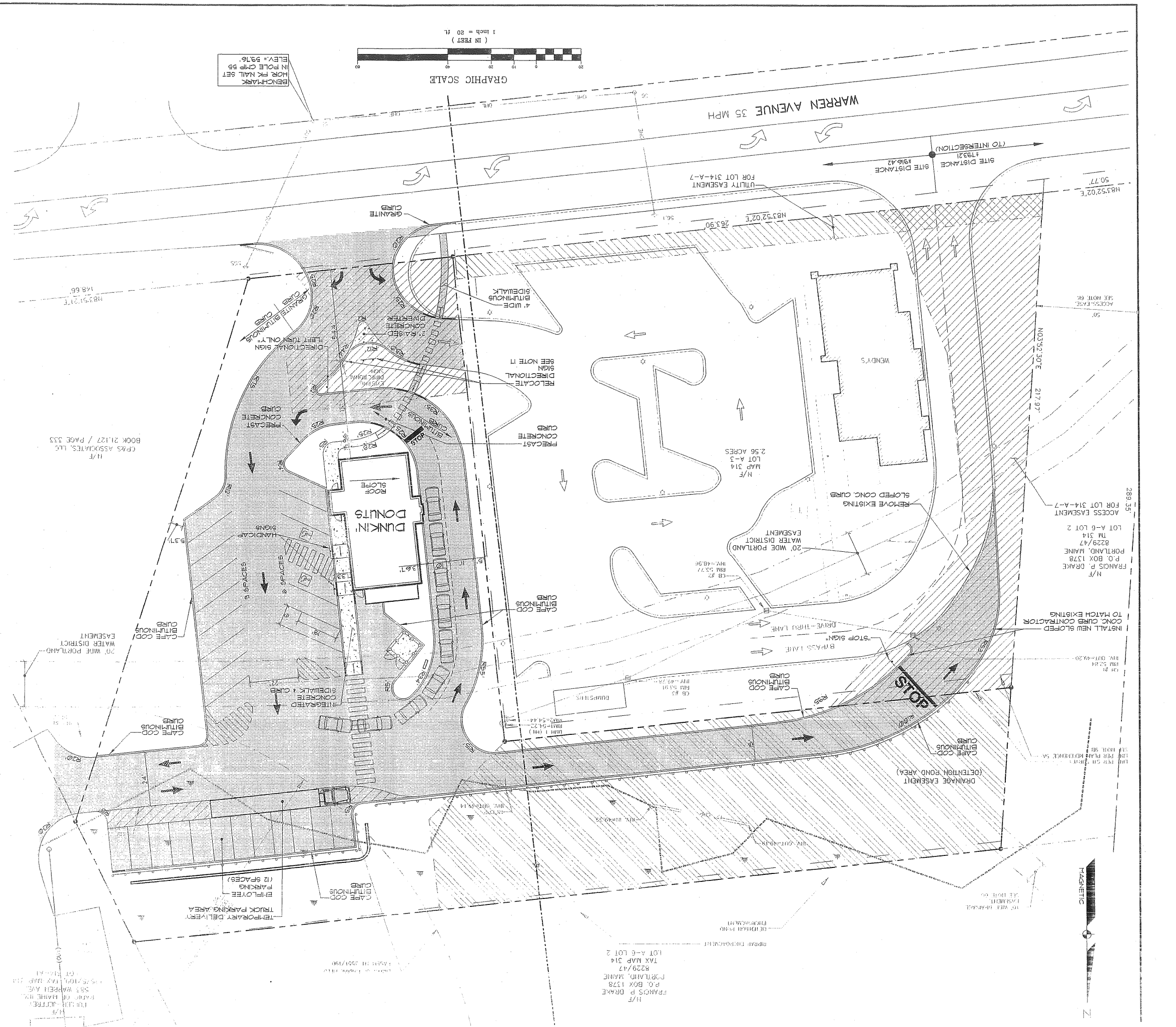
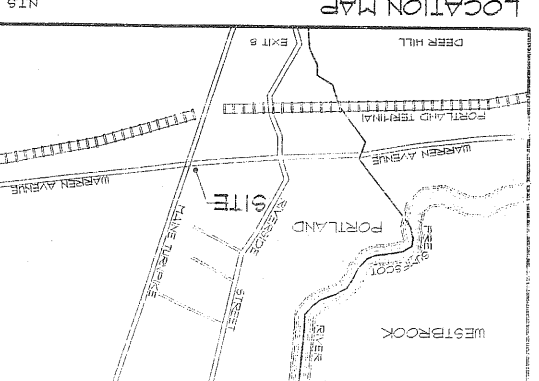
DATE	12-1-04	SCALE	1"=20'
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LEGEND

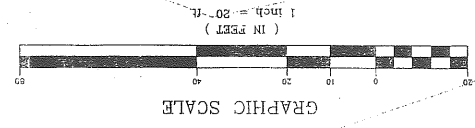
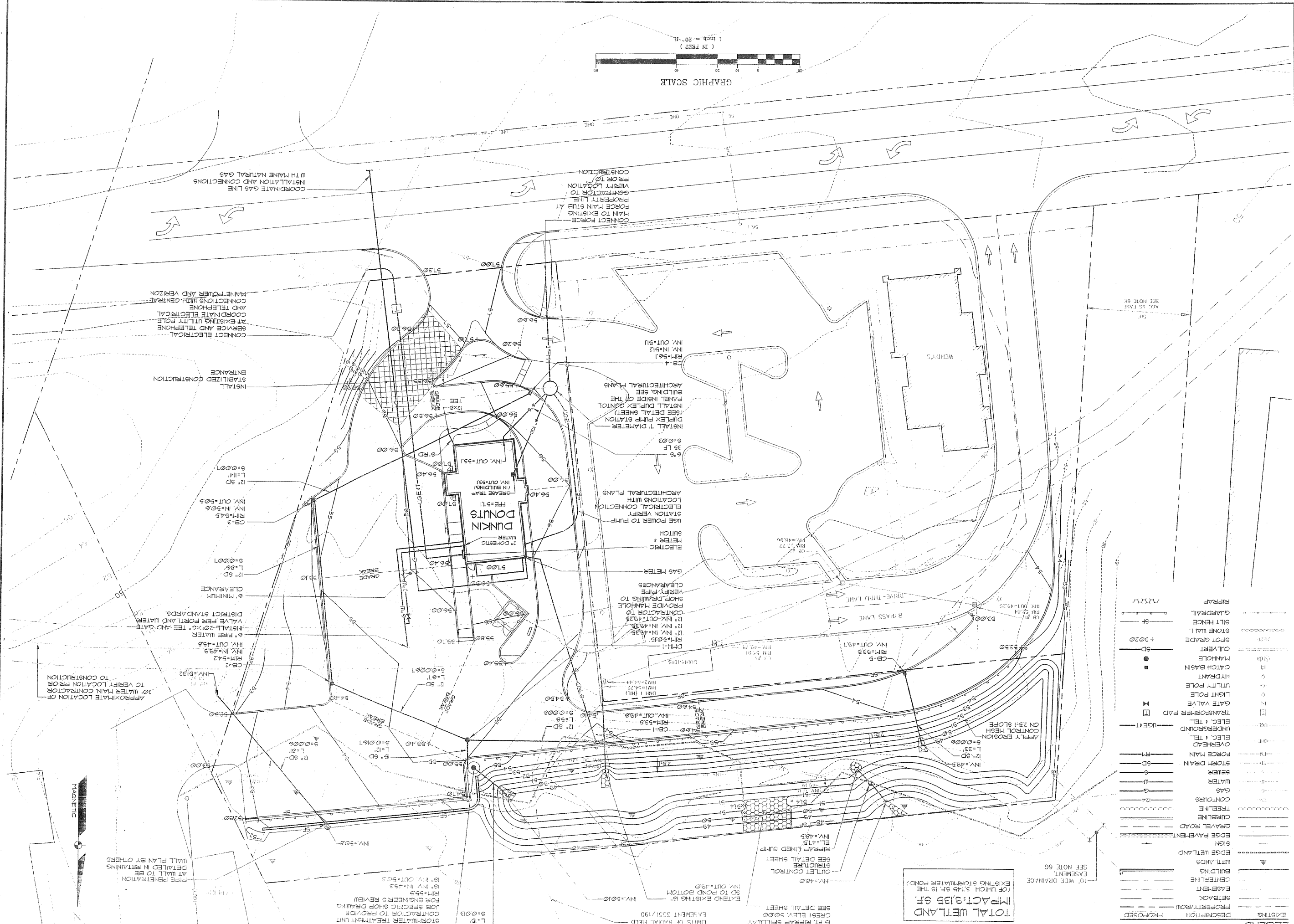
EXISTING	DESCRIPTION
	BUILDING
	PAVEMENT
	WETLANDS
	EDGE WETLAND
	SIGN
	GAS
	STORM DRAIN
	OVERHEAD
	UTILITY POLE
	CATCH BASIN
	MANHOLE

GENERAL NOTES:

1. THE RECORD QUARTER OF THE PROPERTY IS OLDER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314, BLOCK A, DEFINED AS LOT 1 AND IS LOCATED IN THE B-4 (COMMERCIAL CORRIDOR BUSINESS) ZONE.
3. SPACE AND BULK CRITERIA: (B-4 COMMERCIAL CORRIDOR BUSINESS)
 - ITEM: MIN. LOT SIZE: 10,000 SF
 - MIN. STREET FRONTAGE: 60'
 - MIN. FRONT YARD: 20'
 - MIN. SIDE YARD: 10'
 - MIN. REAR YARD: 20'
 - MAX. BUILDING HEIGHT: 35 FT
 - MAX. LOT COVERAGE: 50%
 - PERVIOUS AREA: 29,933 SF
4. PLAN REFERENCES:
 - A. EXISTING CONDITIONS PLAN PREPARED BY CUEN HASKELL, INC. DATED JAN. 30, 2003, REVISED AUGUST 2, 2002.
 - B. WETLANDS HAVE BEEN DELINEATED BY DUKE ENGINEERING AND FIELD LOCATED BY CUEN HASKELL, INC.
 - C. BEARINGS AND GRID COORDINATES SHOWN HEREON ARE BASED UPON GRID NORTH AND 1983 MEAN WEST ZONE. CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 1929 VERTICAL DATUM.
5. THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER SYSTEMS, PORTLAND STANDARDS AND SPECIFICATIONS SHALL BEET MET. CITY OF PORTLAND STANDARDS AND SPECIFICATIONS SHALL BEET MET.
6. ALL UTILITIES AND INSTALLATIONS SHALL BEET MET CITY OF PORTLAND STANDARDS AND SPECIFICATIONS.
7. APPARATUS UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON THE LOCATION OF EXISTING PLANT MARKS TOGETHER WITH THE VISIBLE ABOVE GROUND FEATURES OF UNDERGROUND UTILITIES. STRUCTURES, DISHES MUST BE NOTED PRIOR TO ANY UNDERGROUND EXCAVATION ON THIS SITE TO CONFIRM THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR IS HEREBY CAUTIONED THAT ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
8. ALL TRAFFIC SIGNS SHALL MEET MUTCD STANDARDS.
9. LANDSCAPE SHALL MEET THE AEROSOLICAL, SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
10. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEFINED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION, TOPOGRAPHY, DIMENSIONS, LOCATION, ORIENTATION OF AREAS, AND LOCATION AND SIZE OF BUILDINGS.
11. ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
12. SPECIAL AND CURBS SHALL BE DESIGNED AND BUILT WITH THE DOWN RAMP AT ALL STREET CORNERS AND DEVIATIONS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
13. ALL REGION AND SEPTIC CONTROL FEATURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE REGION AND SEPTIC CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
14. ALL REGION CONTROL FEATURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
15. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES. (SEE ABOVE)
16. PRIOR TO CONSTRUCTION A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPER, COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER. THE SITE/CONSTRUCTION AND PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK AT THAT TIME. THE SITE/CONSTRUCTION AND PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE TO THE ATENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO AVERAGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
17. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. REMOVAL OF OTHER PROTECTIVE BARRIERS SHALL BE REQUIRED PRIOR TO THE INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION. THE DRAINAGE OR CURB OF CONSTRUCTION SHALL NOT TAKE PLACE WITHIN THE DRAINAGE LINE OR PRESERVATION FOR PRESERVATION OR CONSTRUCTION MATERIALS.
18. TREES DESIGNATED FOR PRESERVATION OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRAINAGE LINE OF TREES TO BE PRESERVED.
19. DIRECTIONAL SIGN WILL READ: BENT'S (LEFT ARROW) DUNKIN' DONUTS (RIGHT ARROW), PIONEER TELEPHONE (RIGHT ARROW).



EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY ROW
---	---	SETBACK
---	---	EASEMENT
---	---	CENTRINE
---	---	BUILDING
---	---	WETLANDS
---	---	EDGE WETLAND
---	---	EDGE PAVEMENT
---	---	GRAVEL ROAD
---	---	CURBLINE
---	---	TREELINE
---	---	CONTOURS
---	---	GAS
---	---	WATER
---	---	SEWER
---	---	STORM DRAIN
---	---	OVERHEAD
---	---	ELEC. 1 TEL.
---	---	ELEC. 2 TEL.
---	---	UNDERGROUND
---	---	ELEC. 1 TEL.
---	---	ELEC. 2 TEL.
---	---	TRANSFORMER PAD
---	---	GATE VALVE
---	---	LIGHT POLE
---	---	UTILITY POLE
---	---	HYDRANT
---	---	CATCH BASIN
---	---	MANHOLE
---	---	CULVERT
---	---	SPOT GRADE
---	---	90° TURN
---	---	STONE WALL
---	---	SILT FENCE
---	---	GUARDRAIL
---	---	RIPRAP



0346102.DWG
SHEET 3 OF 7
DATE 6/14/04
SCALE 1"=20'

GRADING AND UTILITY PLAN
OF:
DUNKIN DONUTS
ADDRESS
PORTLAND, MAINE
FOR:
KIMCO DEVELOPMENT CORP.
DUNKIN DONUTS PLAZA, 65 GRAY ROAD
PORTLAND, MAINE 04103

Sebago Technics
Engineering Experts You Can Build On
One Great Street
Westbrook, MA 04098-1339
Tel (207) 558-0277

PROJECT NO. FIELD BOOK DESIGN CHK'D DRAWN
03461 TPP DLR MIV

REV.	BY:	DATE:	STATUS:
D	JRP	3/4/05	SUBMITTED FOR FINAL APPROVAL
C	JRP	10/7/04	REVISED LAYOUT AND STORMWATER DETENTION POND
B	JRP	8/19/04	SUBMITTED FOR M.D.O.T. SCOPING MEETING
A	JRP	6/14/04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW

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APPROXIMATE LOCATION OF 20" WATER MAIN CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION

INSTALL 20"x6" TEE AND GATE VALVE PER PORTLAND WATER DISTRICT STANDARDS

6" MINIMUM CLEARANCE

12" SD L=86' S=0.001

12" SD L=14' S=0.001

12" SD RIM=54.5 INV. IN=50.6 INV. OUT=50.5

CB-3

INSTALL STABILIZED CONSTRUCTION ENTRANCE

CONNECT ELECTRICAL SERVICE AND TELEPHONE AT EXISTING UTILITY POLE

COORDINATE ELECTRICAL CONNECTIONS WITH GENERAL MAINS POWER AND VERTIC

CONNECT FORCE MAIN TO EXISTING AT PROPERTY LINE

CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION

INSTALL 1" DIAMETER DUPLEX PUMP STATION (SEE DETAIL SHEET)

STATION VERIFY ELECTRICAL CONNECTION LOCATIONS WITH ARCHITECTURAL PLANS

USE POWER TO PUMP SWITCH

ELECTRIC METER

GAS METER

VERIFY PIPE CLEARANCES

PROVIDE MANHOLE CONTRACTOR TO

12" INV. IN=49.5 12" INV. OUT=49.5

DMH-1

DRIVE THIRD LANE

BYPASS LANE

12" INV. IN=49.5 12" INV. OUT=49.5

CB-5

12" SD L=33' S=0.006

APPLY EROSION CONTROL MESH ON 2:1 SLOPE

UNDERGROUND ELEC. 1 TEL.

UNDERGROUND ELEC. 2 TEL.

TRANSFORMER PAD

GATE VALVE

LIGHT POLE

UTILITY POLE

HYDRANT

CATCH BASIN

MANHOLE

CULVERT

SPOT GRADE +30.20

90° TURN

STONE WALL

SILT FENCE

GUARDRAIL

RIPRAP

15 FT. RIPRAP SPILLWAY CREST ELEV. 50.00 50' TO POND BOTTOM INV. OUT=49.0

SEE DETAIL SHEET

OUTLET CONTROL STRUCTURE SEE DETAIL SHEET

RIPRAP LINED GUMP INV. 49.5

10' WIDE DRAINAGE EASEMENT SEE NOTE 66

TOTAL WETLAND IMPACT: 9,135 SF. (OF WHICH 3,745 SF. IS THE EXISTING STORMWATER POND)

15 FT. RIPRAP SPILLWAY CREST ELEV. 50.00 50' TO POND BOTTOM INV. OUT=49.0

SEE DETAIL SHEET

OUTLET CONTROL STRUCTURE SEE DETAIL SHEET

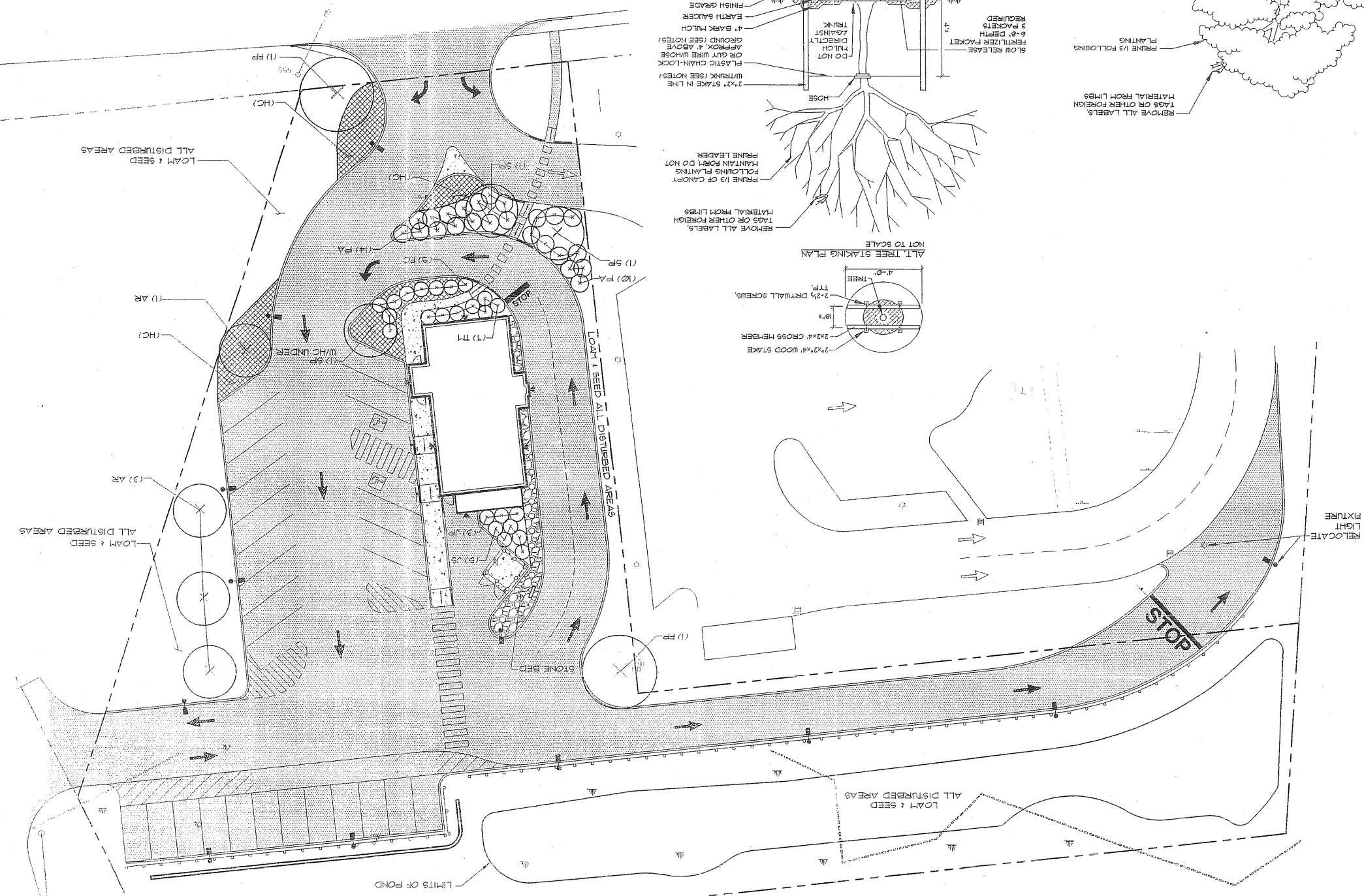
RIPRAP LINED GUMP INV. 49.5

10' WIDE DRAINAGE EASEMENT SEE NOTE 66

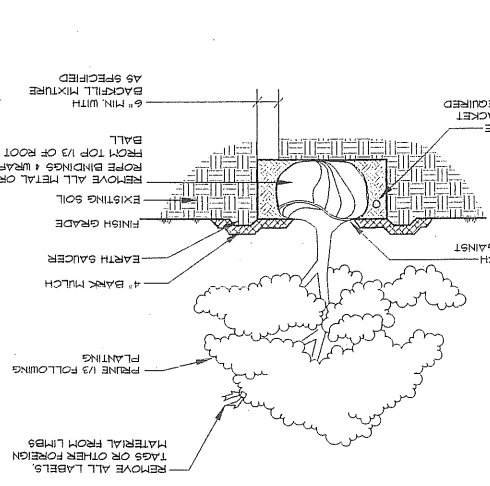
TOTAL WETLAND IMPACT: 9,135 SF. (OF WHICH 3,745 SF. IS THE EXISTING STORMWATER POND)



KEY	QNTY	POTENTIAL NAME	COMMON NAME	SIZE	COMMENTS
TR	1	TAXUS MEDIA 'TAUNTONI'	TAUNTON YEW	18"-24" B/B	
PA	24	PICEA ABIES 'PUMILA'	DWARF SPRUCE	18"-18"	
US	5	JUNIPERUS SCOPULORUM	WICHITA BLUE JUNIPER	"	
JP	3	JUNIPERUS Pfitzeriana 'COMPACTA'	Pfitzer Juniper	"	
HC	-	HEPTACOCALIS/TANUANA LOA'	DARTLY	4" POTS	3" O.C.
FC	9	'FORSTYTHIA COURTASOL'	GOLD TIDE FORSTYTHIA	"	
SHRUBS	3	STRONGIA PEKINENSIS	TREE LILAC	6"-8"	
FP	2	FRAXINUS PENNSYLVANICA 'CHIMZAM'	CHIMARON ASH	6"-8"	
AR	4	ACER RUBRUM 'KARPIK'	RED MAPLE	2" CAL.	
TREES	1	WASHINGTON FLAT LIMB	WASHINGTON FLAT LIMB	20" MOUNTING HEIGHT	
	4	METAL HALIDE WALL PACKS	METAL HALIDE WALL PACKS	15' MOUNTING HEIGHT	
	1	BUDD SERIES	BUDD SERIES	4" POTS	

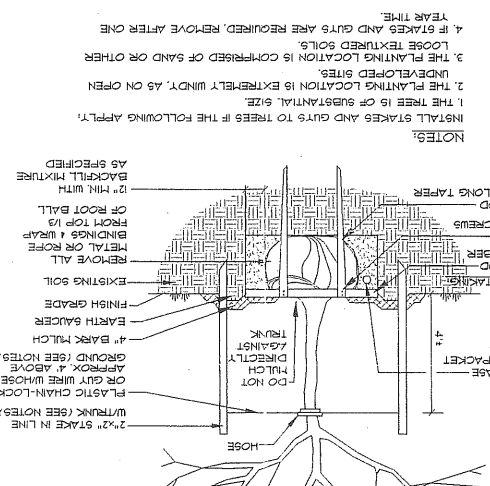


DECIDUOUS & EVERGREEN SHRUB

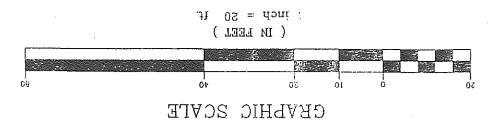


- NOTES:
1. THE TREE IS OF SUBSTANTIAL SIZE
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS
 4. IF STAKES AND GUY Wires ARE REQUIRED, REMOVE AFTER ONE YEAR TIME
- INSTALL STAKES AND GUY Wires TO TREES IF THE FOLLOWING APPLY:

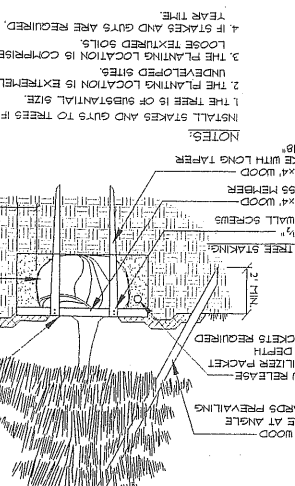
DECIDUOUS TREES 2" TO 4" CALIBER



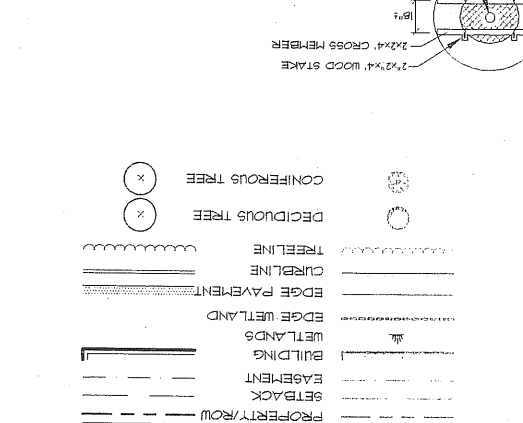
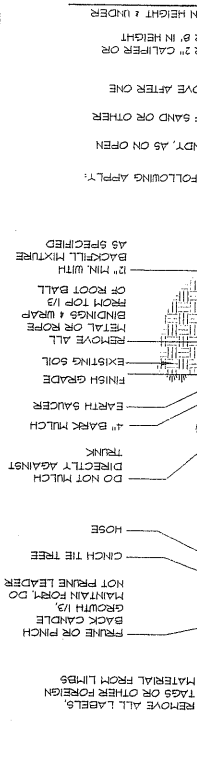
- NOTES:
1. THE TREE IS OF SUBSTANTIAL SIZE
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS
 4. IF STAKES AND GUY Wires ARE REQUIRED, REMOVE AFTER ONE YEAR TIME
- INSTALL STAKES AND GUY Wires TO TREES IF THE FOLLOWING APPLY:



DECIDUOUS TREES UNDER 2" CALIBER OR EVERGREEN TREES UNDER 6" IN HEIGHT



- NOTES:
1. THE TREE IS OF SUBSTANTIAL SIZE
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS
 4. IF STAKES AND GUY Wires ARE REQUIRED, REMOVE AFTER ONE YEAR TIME
- INSTALL STAKES AND GUY Wires TO TREES IF THE FOLLOWING APPLY:



LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONFORMANCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "USA STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, WATERING, STAKING, PRUNING, FERTILIZATION, PLANTING AND ADJACENT MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER FROM DATE OF INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND GUARANTEEING PLANT MATERIAL.
6. ALL PLANNING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE CONSTRUCTION AND DIGGING OPERATIONS. LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODED OR SEED. PLANTING AREAS SHALL RECEIVE 1" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND FINANCIAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL PLANTERS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SLAGGERSHIRT PEAT MOSS, AND ONE PART SAND. ALL PLANTING AREAS SHALL BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

LANDSCAPING AND LIGHTING PLAN

DATE: 4/7/04
SCALE: 1" = 20'

OR: **DUNKIN' DONUTS**
WARREN AVENUE
PORTLAND, MAINE
FOR: **KIMCO**
25 SPURWINK ROAD
SCARBOROUGH, MAINE 04074

Sebago Technics
Engineering Expertise You Can Build On
One Cabot Street
Waterville, Me 04995-1339
Tel (207) 856-0277

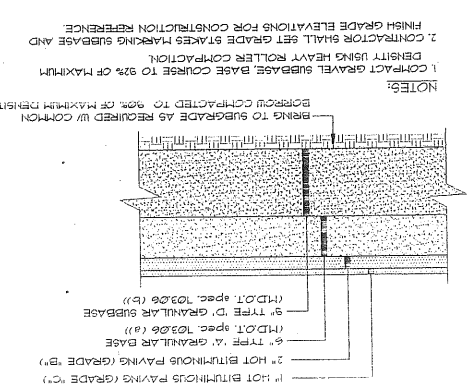
PROJECT NO. FIELD BOOK DESIGN CHNG DRAWN
03461 JRP JRP JRP FCL

REV	BY	DATE	STATUS
D	JRP	3/4/05	SUBMITTED FOR FINAL APPROVAL
C	JRP	10/7/04	REVISED LAYOUT AND STORMWATER DETENTION POND
B	JRP	8/19/04	SUBMITTED FOR M.D.O.T. SCOPING MEETING
A	JRP	6/14/04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS. NO ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

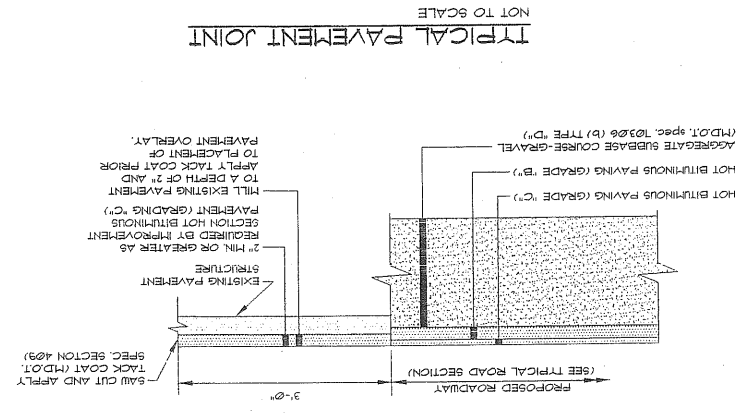
03461L2 SHEET 4 OF 7

TYP. PAVED PARKING LOT SECTION



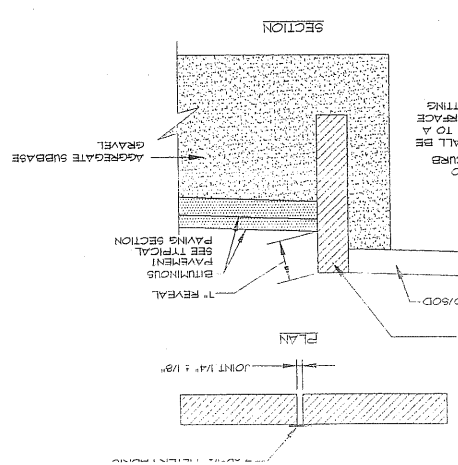
NOTES:
 1. CONTRACTOR SHALL SET GRADE STRIKES MARKING REFERENCE FINISH ELEVATIONS FOR CONSTRUCTION REFERENCE.
 2. CONTRACTOR SHALL SET GRADE STRIKES MARKING REFERENCE FINISH ELEVATIONS FOR CONSTRUCTION REFERENCE.
 3. FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE SHALL BE AS SHOWN ON THE DRAWINGS.
 4. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE PAVED PARKING LOT.

TYPICAL PAVEMENT JOINT



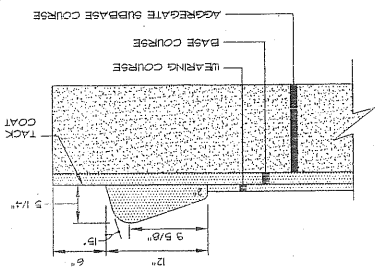
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE PAVEMENT JOINT.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE PAVEMENT JOINT.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE PAVEMENT JOINT.

VERTICAL GRANITE CURB



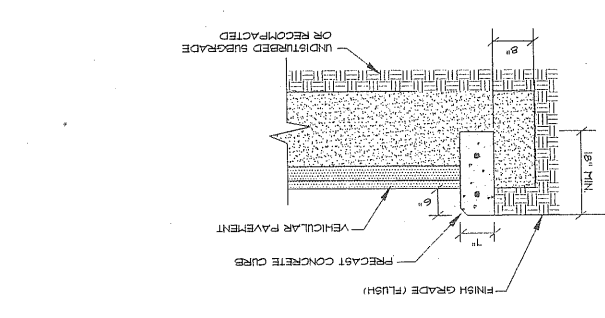
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE VERTICAL GRANITE CURB.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE VERTICAL GRANITE CURB.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE VERTICAL GRANITE CURB.

CAPE COD CURB



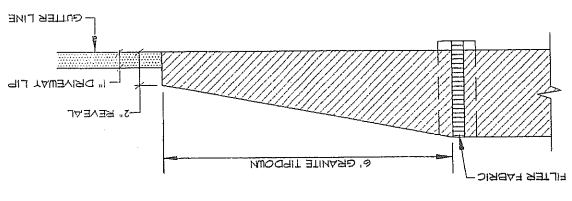
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE CAPE COD CURB.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE CAPE COD CURB.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE CAPE COD CURB.

PRECAST CONCRETE CURB



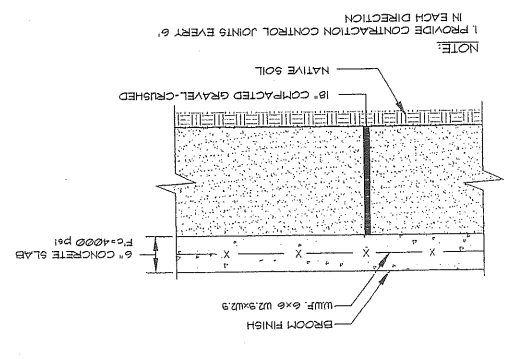
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE PRECAST CONCRETE CURB.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE PRECAST CONCRETE CURB.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE PRECAST CONCRETE CURB.

TYPICAL TIPDOWN CURB INSTALLATION



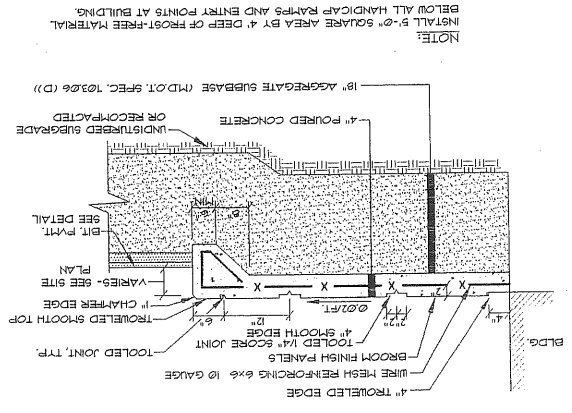
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE TIPDOWN CURB INSTALLATION.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE TIPDOWN CURB INSTALLATION.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE TIPDOWN CURB INSTALLATION.

TYPICAL CONCRETE SLAB



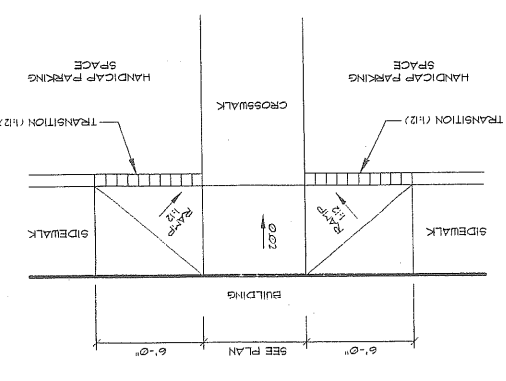
NOTES:
 1. PROVIDE CONTRACTION CONTROL JOINTS EVERY 6' IN EACH DIRECTION.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE TYPICAL CONCRETE SLAB.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE TYPICAL CONCRETE SLAB.

CONCRETE SIDEWALK



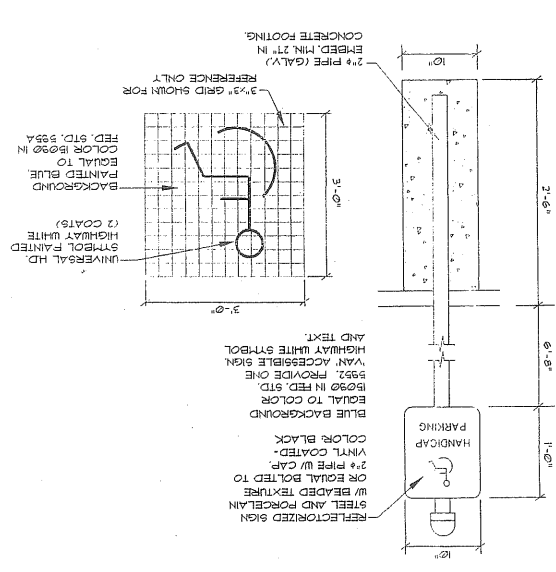
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE CONCRETE SIDEWALK.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE CONCRETE SIDEWALK.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE CONCRETE SIDEWALK.

HANDICAP RAMP



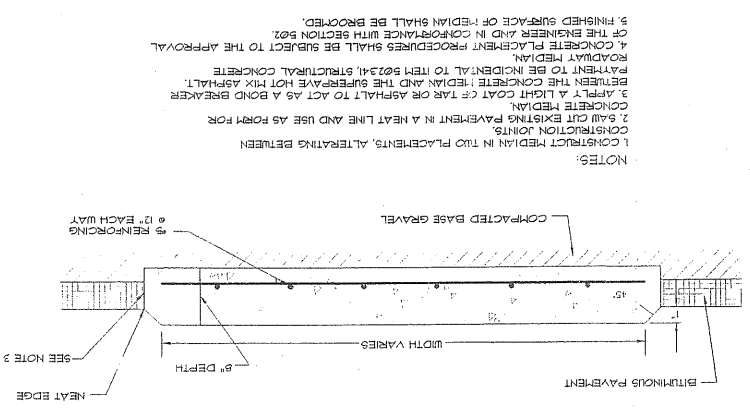
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE HANDICAP RAMP.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE HANDICAP RAMP.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE HANDICAP RAMP.

HANDICAP SIGNS



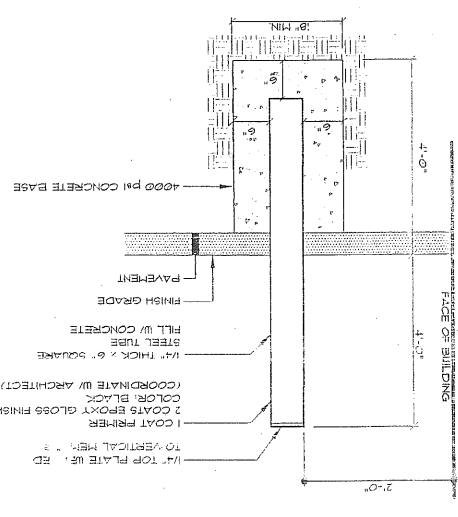
NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE HANDICAP SIGNS.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE HANDICAP SIGNS.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE HANDICAP SIGNS.

RAISED CONCRETE DIVERTER



NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE RAISED CONCRETE DIVERTER.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE RAISED CONCRETE DIVERTER.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE RAISED CONCRETE DIVERTER.

METAL BOLLARD



NOTES:
 1. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE METAL BOLLARD.
 2. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE METAL BOLLARD.
 3. CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION MATERIALS AND METHODS USED IN THE CONSTRUCTION OF THE METAL BOLLARD.

CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
 2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
 4. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
 6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
 7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
 8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
 9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION. MATCH CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION. MATCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
 10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES PRIOR TO THESE EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER. THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
 11. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
 12. ALL PAVEMENT JOINTS SHALL BE SAUCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
 13. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
 14. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
 15. THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE REFLECTIONS AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS AND REPLACEMENT AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, RELOCATION AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS. THE CONTRACTOR SHALL REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL BE SUBJECT TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
 16. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
 17. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
 18. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
 19. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
 20. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.

Sebago Technics
 Engineering Experts You Can Build On
 One Oxbow Street
 Westbrook, Me 04093-1339
 Tel (207) 888-0277

REV.	BY:	DATE:	STATUS:
A	JRP	3-29-04	REVISION FOR SITE PLAN REVIEW
B	JRP	8/19/04	SUBMITTED FOR M.D.O.T. SCORING MEETING
C	JRP	10/7/04	REVISIED LAYOUT AND STORMWATER
D	JRP	3/4/05	SUBMITTED FOR FINAL APPROVAL

PROJECT NO.	FIELD BOOK	DESIGN	GRID	DRAWN
03461		JRP	JRP	ASB

DETAILS
 OF:
DUNKIN DONUTS
 WARREN AVENUE
 PORTLAND, MAINE
 FOR:
KIMCO DEVELOPMENT CORP.
 DUNKIN DONUTS PLAZA, 65 GRANT ROAD
 FALMOUTH, MAINE 04103

SHEET 5 OF 7
 DATE: 5-14-04
 SCALE: AS SHOWN

DATE 12-1-04 SCALE 1"=20'

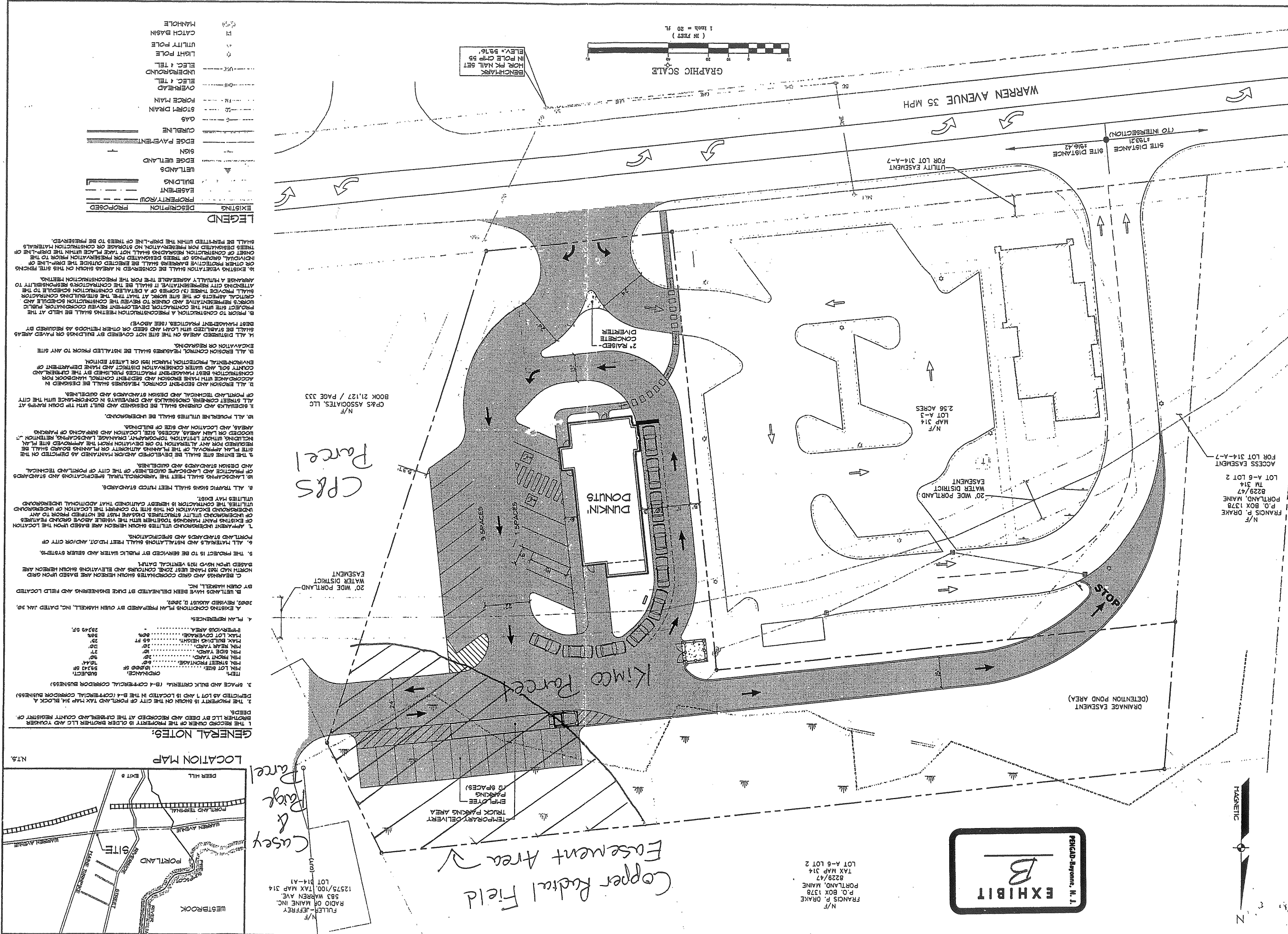
SITE PLAN OF: DUNKIN' DONUTS FOR: PORTLAND, MAINE KIMCO 25 SPURWINK ROAD SCARBOROUGH, MAINE 04074

Sebago Technics Engineering Experts You Can Build On One Church Street, Portland, ME 04101 (207) 858-9277

Table with columns: PROJECT NO., FIELD BOOK, DESIGN, CHKD, JRP, DRAWN, MAL

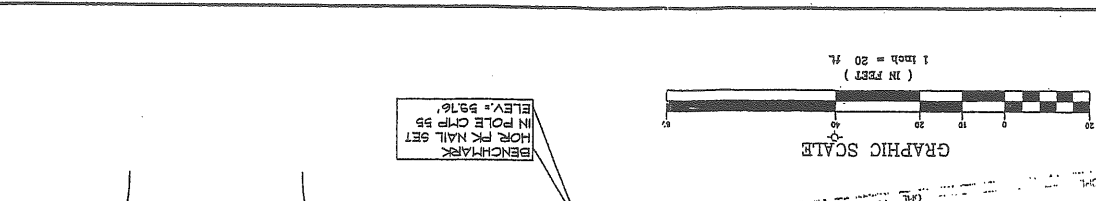
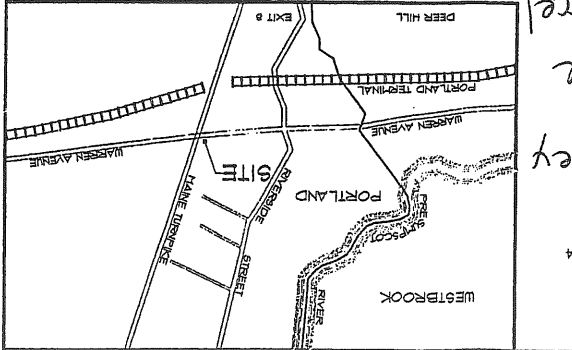
Table with columns: REV., BY, DATE, STATUS

AA 14



LEGEND table with columns: EXISTING, PROPOSED, DESCRIPTION

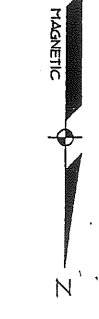
GENERAL NOTES: 1. THE RECORD OWNER OF THE PROPERTY IS OLSEN BROTHER LLC AND JOSEPH BROTHER LLC BY DEED AND RECORDED AT THE CLERK AND COUNTY REGISTRY OF DEEDS...



Handwritten note: CP&S Parcel

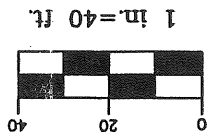
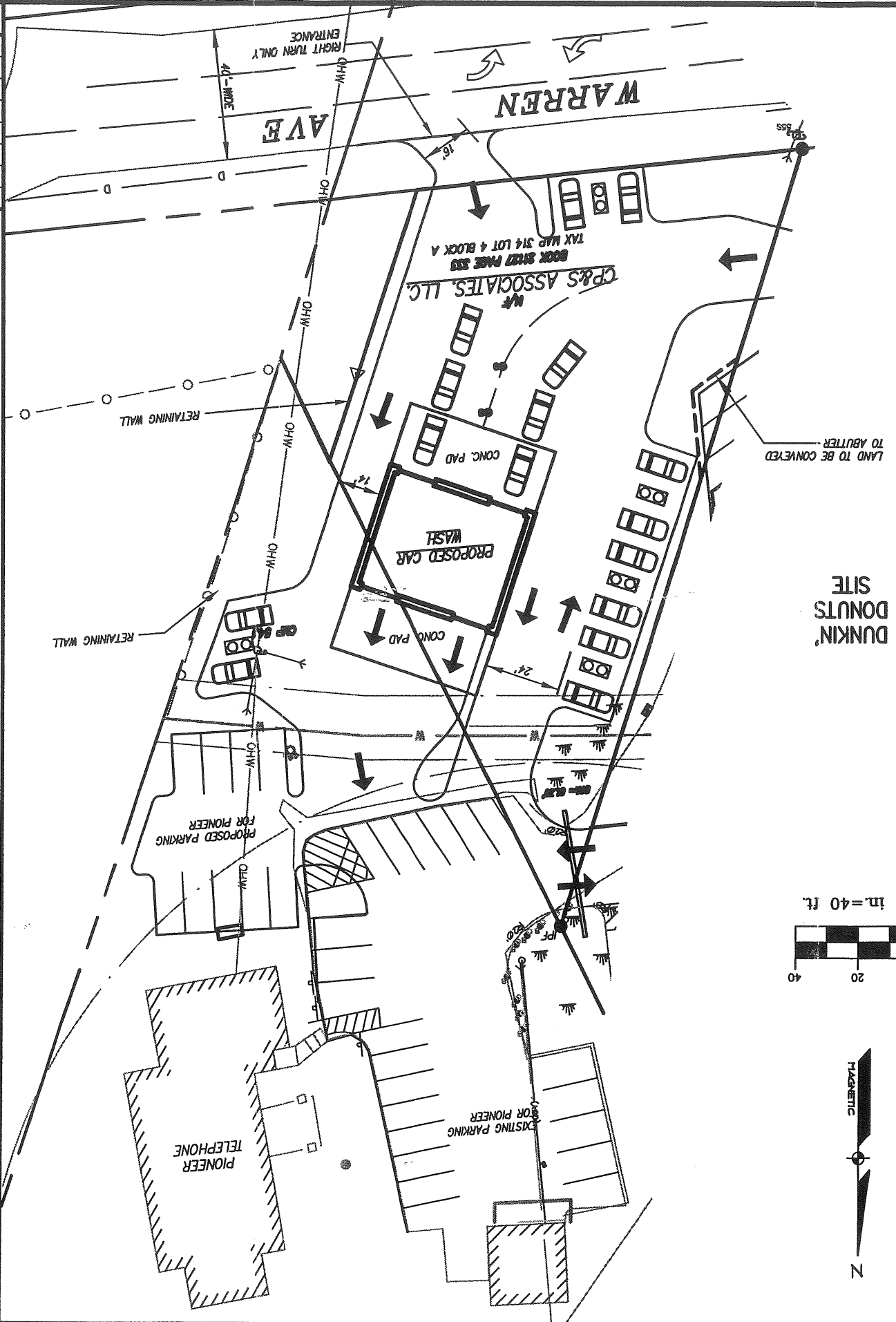
Handwritten notes: Copper Radial Field Easement Area, Casey Parcel

EXHIBIT B logo and contact information for FRANCIS P. DRAKE, N/F, PORTLAND, MAINE.



SHEET 2 OF 3
 DRAWING: 03461EXH-B
 PROJ. NO: 03461
 FIELD BK: -
 SCALE: 1"=40'
 DATE: 7.12.05
 CHECKED BY: -
 DRAWN BY: -
 DESIGN BY: -

EXHIBIT B
 OF:
 CP&S SITE PLAN
 WARREN AVENUE
 PORTLAND, MAINE



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 Tel (207) 856-0277

