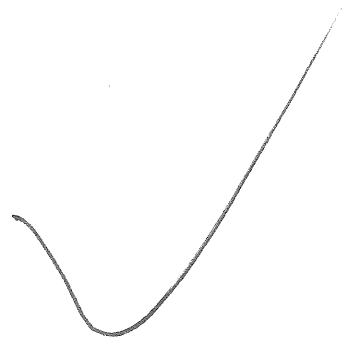


314-A-7

599 Warren Ave.

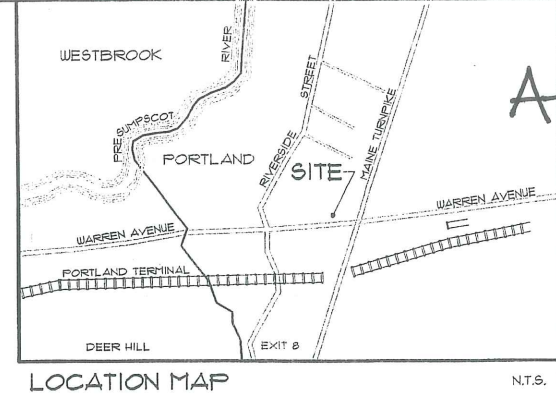
Dunkin Donuts

Kimco Realty



SYMBOL	DESCRIPTION
---	LOCUS PROPERTY
---	ADJUTING PROPERTY
---	LINE PER PLAN REF 5A45B
---	SETBACK
---	EASEMENT
□	MONUMENT
○	IRON PIPE/ROD
---	CURVE/LINE NO.
---	BUILDING
---	WETLANDS
---	EDGE WETLAND
---	SIGN
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	CURBLINE
---	CONTOURS
---	GAS
---	WATER
---	SEWER
---	STORM DRAIN
---	OVERHEAD ELEC. & TEL.
---	UNDERGROUND ELEC. & TEL.
---	TRANSFORMER PAD
---	GATE VALVE
---	LIGHT POLE
---	UTILITY POLE
---	CATCH BASIN
---	MANHOLE
---	CULVERT
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	BENCHMARK
---	RIPRAP
---	TRANSFORMER

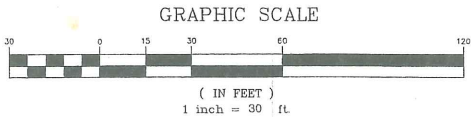
EASEMENT CURVE DATA				
CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
1	296.27	35.00'	S81°29'57"	296.00
2	71.36	4.00'	S10°24'46"	72.70
3	16.87	17.00'	S2°50'10"	14.28
4	134.02	185.00'	S1°21'57"	134.42



**GENERAL NOTES:**

- THE RECORD OWNER OF THE PROPERTY IS OLDER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED BOOK 1814, PAGE 323, RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
- THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314 BLOCK A, DEPICTED AS LOT 1 AND IS LOCATED IN THE B-4 ZONE (COMMERCIAL CORRIDOR BUSINESS).
- THE TOTAL AREA OF SAID PARCEL IS APPROXIMATELY 58,465 SQ. FT. OR 1.34 ACRES.
- SPACE AND BULK CRITERIA: (B-4 COMMERCIAL CORRIDOR BUSINESS)
 

ITEM	ORDINANCE	SUBJECT
MIN. LOT SIZE:	10,000 SF	59,242 SF
MIN. STREET FRONTAGE:	60'	70.44'
MIN. FRONT YARD:	20'	30'
MIN. SIDE YARD:	10'	21'
MIN. REAR YARD:	20'	120'
MAX. BUILDING HEIGHT:	65 FT	25'
MAX. LOT COVERAGE:	80 %	58 %
- PLAN REFERENCES:
  - "ALTA/ACSM LAND TITLE SURVEY PLAN" MADE FOR WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK, INC. PREPARED BY OWEN HASKELL, INC. DATED JAN. 30, 2002, REVISED AUGUST 12, 2002. PLAN RECORDED IN DEED BOOK 1838, PAGE 110.
  - PLAN OF PROPERTY MADE FOR NEPTUNE PROPERTIES, INC. BY R.P. TITCOMB ASSOCIATES, INC. DATED MARCH 31, 1988, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 110, PAGE 38.
  - MAINE TURNPIKE AUTHORITY, MAINE TURNPIKE SECTION 2: PORTLAND TO AUGUSTA, BY HOWARD, NEEDLES, TAYNEN & BERGENDOFF, SUPPLEMENTAL SHEET NO. 8, DATED JULY 1954, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 42, PAGE 2.
- EASEMENTS:
  - A PERPETUAL EASEMENT WITH THE RIGHTS TO PASS OVER LAND OF THE GRANTOR BETWEEN THE LAND THEREIN CONVEYED AND WARREN AVENUE. ALL CONDITIONS AND RIGHTS OF SAID EASEMENT AS FOUND IN DEED BOOK 3591, PAGE 190.
  - AMENDED EASEMENT RIGHTS FOR GRANTEES TO HAVE ACCESS ROAD, AND ANY SIMILAR ACCESS ROAD LOCATED IN SAID EASEMENT AS NOTED IN DEED BOOK 1544, PAGE 232.
  - AN EASEMENT FOR THE PLACEMENT AND MAINTENANCE OF A GUY WIRE AND ANCHOR POINT SERVING A TRANSMITTING TOWER AS DESCRIBED IN DEED BOOK 1183, PAGE 128.
  - ACCESS EASEMENT THROUGH THE EASEMENT AREA. ALL CONDITIONS AND RIGHTS OF SAID EASEMENT AS FOUND IN DEED BOOK 1838, PAGE 171. EASEMENT SHOWN ON SAID PLAN IN REFERENCE 5A.
  - AN EASEMENT TO LAY A COPPER RADIAL FIELD UNDERGROUND AT A RADIUS OF 180 FEET FROM THE BASE OF A PROPOSED RADIO TOWER AS SHOWN ON A PLAN ENTITLED "PROPOSED WJAB STUDIO AND TOWER", DATED APRIL 1914, FROM A SURVEY BY ENGINEERING SERVICES, INC. SAID EASEMENT DESCRIPTION AND CONDITIONS FOUND IN DEED BOOK 3551, PAGE 190.
  - A 20' WIDE EASEMENT TO PORTLAND WATER DISTRICT AS DESCRIBED IN DEED BOOK 2191, PAGE 169 AND AS SHOWN ON PLAN.
  - A 10' WIDE DRAINAGE EASEMENT FROM DETENTION POND ACROSS LOT 2 AS SHOWN ON SAID PLAN IN REFERENCE 5B.
  - ACCESS EASEMENT FOR LOT 314-3-A AS SHOWN ON SAID PLAN IN REFERENCE 5A. EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 118.
  - UTILITY EASEMENT FOR LOT 314-3-A AS SHOWN ON SAID PLAN IN REFERENCE 5A. EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 118.
  - ACCESS EASEMENT FOR LOT 314-3-A AS SHOWN ON SAID PLAN IN REFERENCE 5A. EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 180.
  - AN ACCESS-UTILITY EASEMENT TO LOT 1 FOR USE OF 50' STRIP RUNNING NORTHERLY FROM WARREN AVE. AS SHOWN ON SAID PLAN IN REFERENCE 5B.
  - A DRAINAGE EASEMENT, AFFURTEANAN TO PARCEL B, FOR PARCEL B OVER UNDER AND ACROSS PARCEL A, AS SHOWN ON SAID PLAN IN REFERENCE 5A. EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 112.
  - A SIGN EASEMENT FOR LOT A AND LOT B, SAID LOTS AS SHOWN ON SAID PLAN IN REFERENCE 5A. EASEMENT DESCRIBED IN DEED BOOK 1838, PAGE 112.
  - A SEWERLINE EASEMENT FOR LOCUS PARCEL AND MTA LOT AS DESCRIBED IN DEED BOOK 1838, PAGE 172. SAID EASEMENT BEING WITHIN BOUNDARIES AS DESCRIBED IN SAID REFERENCE 61.
  - A DRAINAGE EASEMENT FOR DETENTION POND AREA AS DESCRIBED IN DEED BOOK 1838, PAGE 173, AS SHOWN ON SAID PLAN IN REFERENCE 5A.
  - COVENANT LIMITING USE OF LOCUS PARCEL AS DESCRIBED IN DEED BOOK 1838 PAGE 173.
- BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH NAD MAINE WEST ZONE. CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.
- ALL BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN WAS DERIVED FROM AN ON THE GROUND SURVEY BY SEBAGO TECHNICS, INC. ON JULY 2002.
- SURVEY COMMENTS:
  - PLAN REFERENCE 5B WAS A TWO LOT DIVISION APPROVED BY THE PLANNING BOARD. THIS IT WAS A SIMULTANEOUS CONVEYANCE. THE PLAN SHOWED THE WARREN AVENUE RIGHT OF WAY AS AN ASSUMED SIDELINE. DURING OUR SURVEY WE DETERMINED THE WARREN AVENUE RIGHT OF WAY, UTILIZING FOUND MONUMENTATION AND PLAN REFERENCE 5C. THE RIGHT OF WAY WE DETERMINED WAS DIFFERENT FROM THAT SHOWN ON PLAN REFERENCE 5B. DUE TO THE SIMULTANEOUS CONVEYANCE A PROVISION WAS REQUIRED ON THE WESTERLY SIDELINE OF THE OVERALL PROPERTY.
  - THE SUBSEQUENT CONVEYANCE OF A PORTION OF LOT 1 (NOW OR FORMERLY WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK) WAS HELD WITH THE DIMENSIONS AS BEST FIT THE CORRECTED RIGHT OF WAY. SEE DIMENSIONS SHOWN ON THIS PLAN FOR FURTHER INFORMATION.



BENCHMARK  
HOR. PK NAIL SET  
IN POLE CMP 55  
ELEV. = 59.76'

A-1.13

**Sebago Technics**  
Engineering Experience You Can Build On  
One Chestnut Street  
Westbrook, ME 04098-1339  
Tel (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN DPH  
03461EC 778 - MWE

DATE SCALE  
7/14/04 1"=30'

SHEET 1 OF 1

EXISTING CONDITIONS PLAN OF PROPOSED DUNKIN' DONUTS SITE FOR KIMCO 25 SPURWINK ROAD SCARBOROUGH, MAINE 04074

SUBMITTED TO CLIENT FOR REVIEW 8/11/04 DATE: 8/11/04 BY: A DPH REV: 1 STATUS: 1

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

DATE	SCALE
6/14/04	1"=20'
SITE PLAN	
OF: <b>DUNKIN' DONUTS</b>	
WARREN AVENUE	
PORTLAND, MAINE	
FOR: <b>KIMCO</b>	
25 SPURWINK ROAD	
SCARBOROUGH, MAINE 04074	

**Sebago Technics**  
 Engineering Experts You Can Build On  
 100 Main Street  
 Portland, Maine 04101  
 Tel: (207) 888-0277

REV.	BY	DATE	STATUS	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW
A	JRP	6/14/04	STATUS	

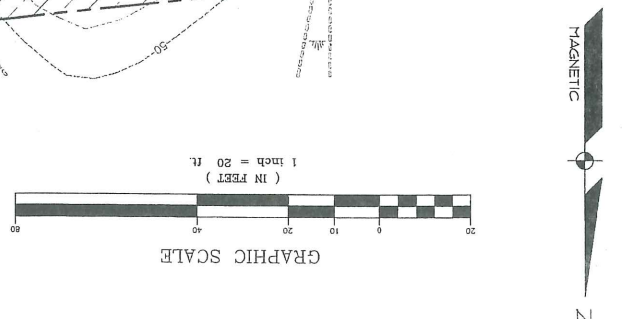
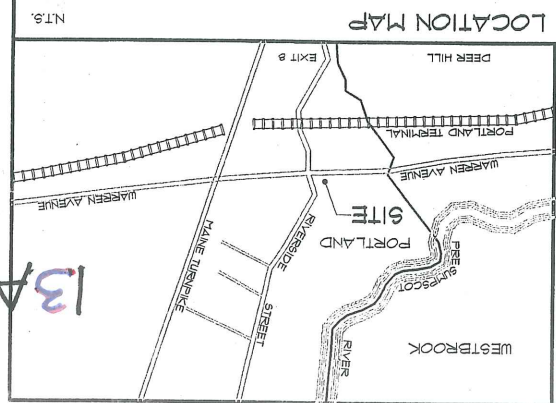
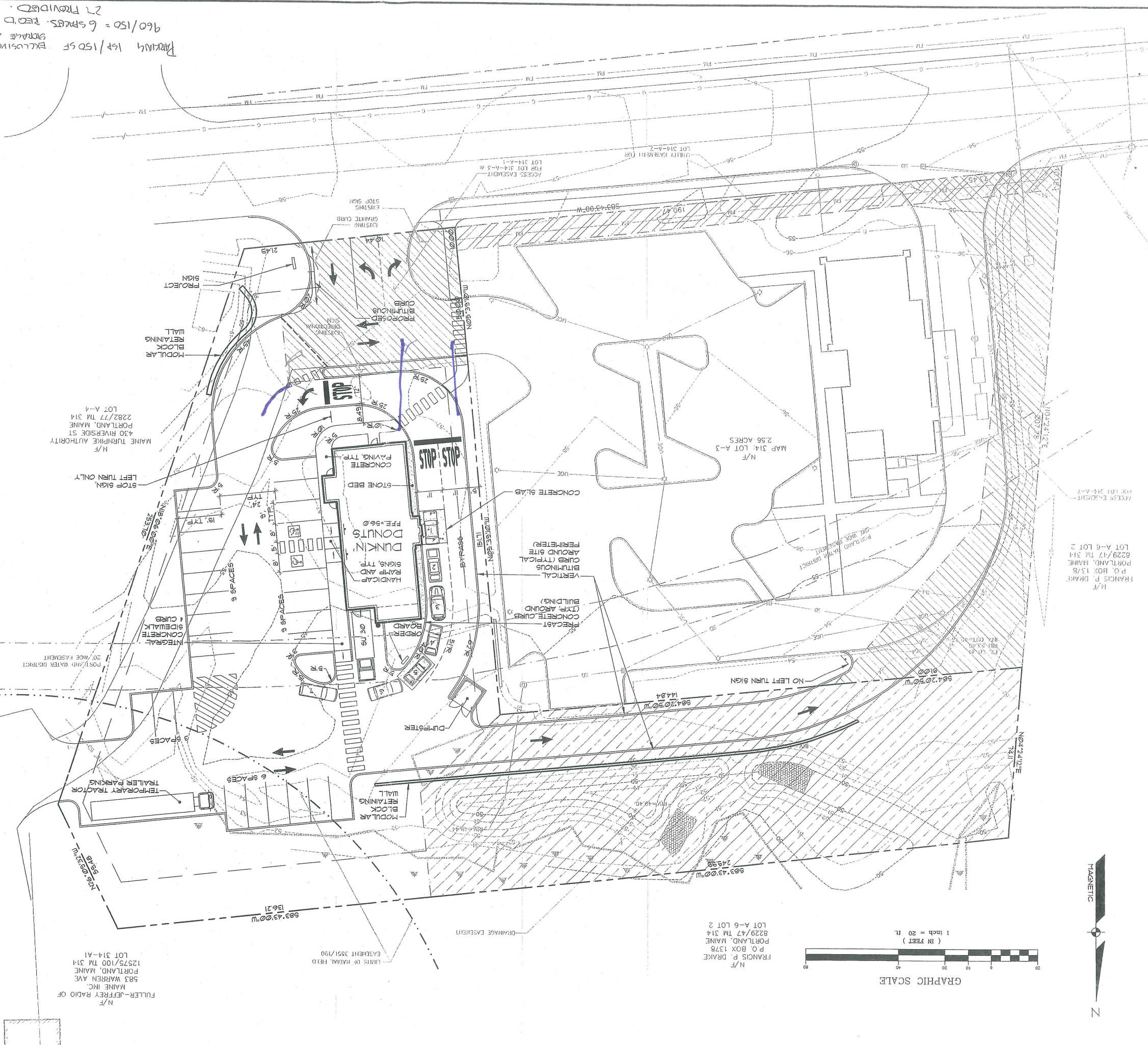
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**LEGEND**

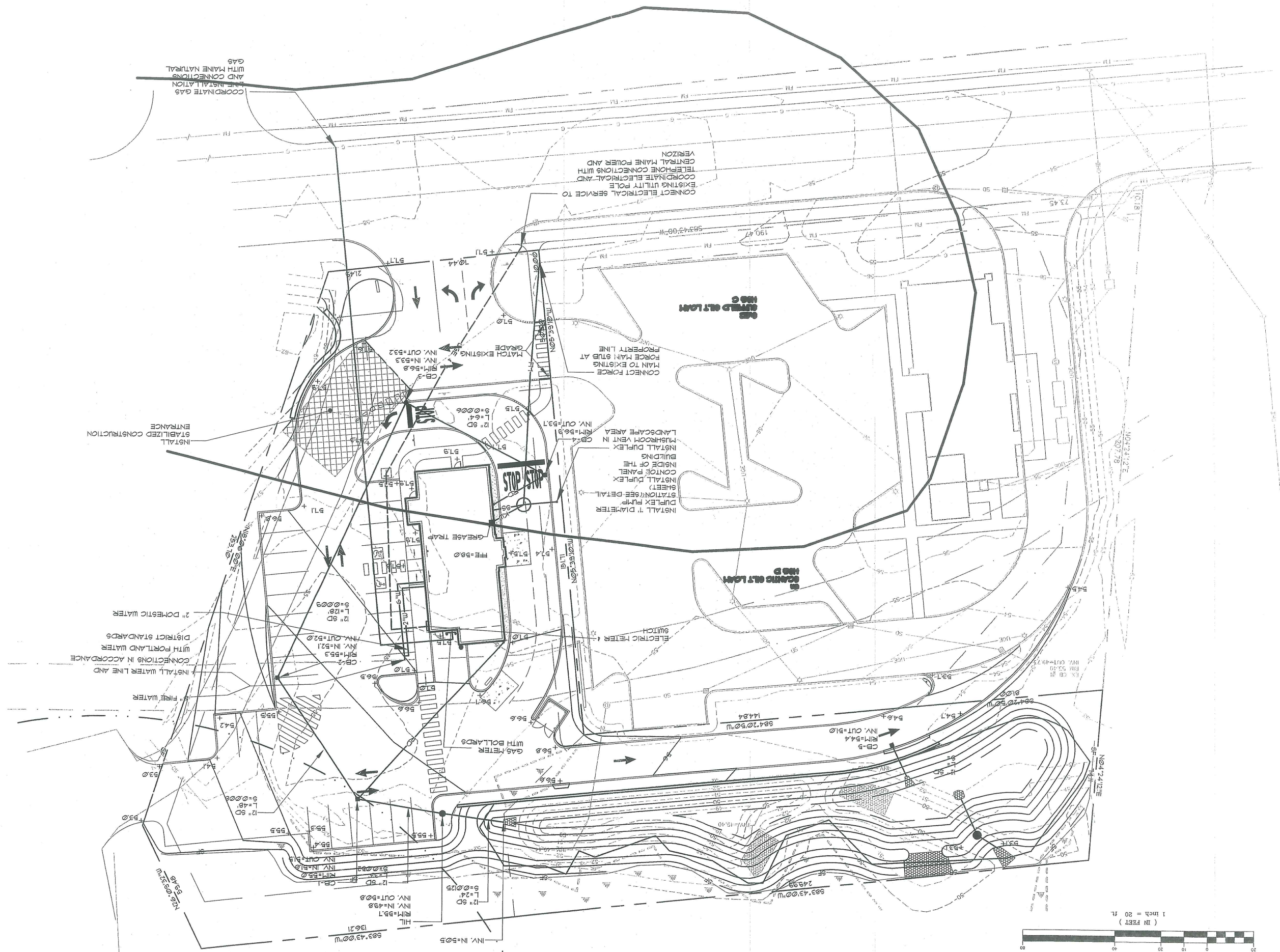
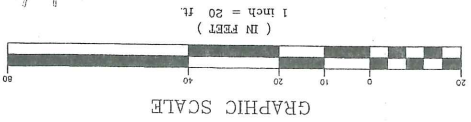
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
---	EASEMENT	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	GAS	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD	---
---	ELEC. & TEL.	---
---	UNDERGROUND	---
---	ELEC. & TEL.	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	CATCH BASIN	---
---	MANHOLE	---

**GENERAL NOTES:**

1. THE RECORD OWNER OF THE PROPERTY IS OLDER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED AND RECORDED AT THE OBERLAND COUNTY REGISTER OF DEEDS.
2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314, BLOCK A, DEPICTED AS LOT 1 AND IS LOCATED IN THE B-4 (COMMERCIAL CORRIDOR BUSINESS).
3. SPACE AND BULK CRITERIA (B-4 COMMERCIAL CORRIDOR BUSINESS).
4. PLAN REFERENCES:  
 1002, REVISED AUGUST 12, 2002.  
 A. EXISTING CONDITIONS PLAN PREPARED BY OWEN HASSELL, INC., DATED JAN. 30, 2002.  
 B. WETLANDS HAVE BEEN DELINEATED BY DIKE ENGINEERING AND FIELD LOCATED BY OWEN HASSELL, INC.  
 C. BEARINGS AND GRID COORDINATES SHOWN HEREON ARE BASED UPON GRID NORTH AND 1983 MAIN WEST ZONE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 1983 VERTICAL DATUM.  
 5. THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER SYSTEMS.
6. ALL MATERIALS AND INSTALLATIONS SHALL MEET MDOT, AND/OR CITY OF PORTLAND STANDARDS AND SPECIFICATIONS.
7. APPARENT UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON THE LOCATION OF EXISTING PLANS TAKEN WITH THE EXISTING RECORD FEATURES OF UNDERGROUND UTILTY STRUCTURES. DISCREPANCIES SHALL BE REFERRED TO ANY OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN.
8. LANDSCAPING SHALL MEET THE "HERSHEY GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
9. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICED ON THE SITE PLAN, APPROVED BY THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN.
10. ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
11. SIGNAGE AND SIGNS SHALL BE DESIGNED AND BUILT WITH THE DOWN RAMP AT ALL STREET CORNERS AND INTERSECTIONS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
12. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAIN STATE AND FEDERAL CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE AGRICULTURE AND FORESTRY DEPARTMENT OF THE STATE OF MAINE.
13. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
14. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
15. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR DEVELOPER COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE WORK AT THAT TIME. THE PRE-CONSTRUCTION MEETING SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE AGENCIES INVOLVED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRE-CONSTRUCTION MEETING.
16. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE Erected OUTSIDE THE DRIVE-LINE OF INDIVIDUAL GROUNDS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGADING SHALL NOT TAKE PLACE WITHIN THE DRIVE-LINE OR ADJACENT GROUNDS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGADING SHALL BE Erected OUTSIDE THE DRIVE-LINE OF THESE DESIGNATED TREES OR STORAGE OR CONSTRUCTION MATERIALS.
17. SHALL BE PERMITTED WITHIN THE DRIVE-LINE OF TREES TO BE PRESERVED.



Partially 1/4" x 1/50" SF. EXCLUSIVE OF BLOCK STORAGE & FOOTING.  
 960/150 = 6 SPACES. RECD. 27 PROVIDED.



13B

GRADING AND UTILITY PLAN  
OF:  
DUNKIN DONUTS  
ADDRESS  
PORTLAND, MAINE  
FOR:  
KIMCO DEVELOPMENT CORP.  
DUNKIN DONUTS PLAZA 65 GRAY ROAD  
FAULKOUTH, MAINE 04103

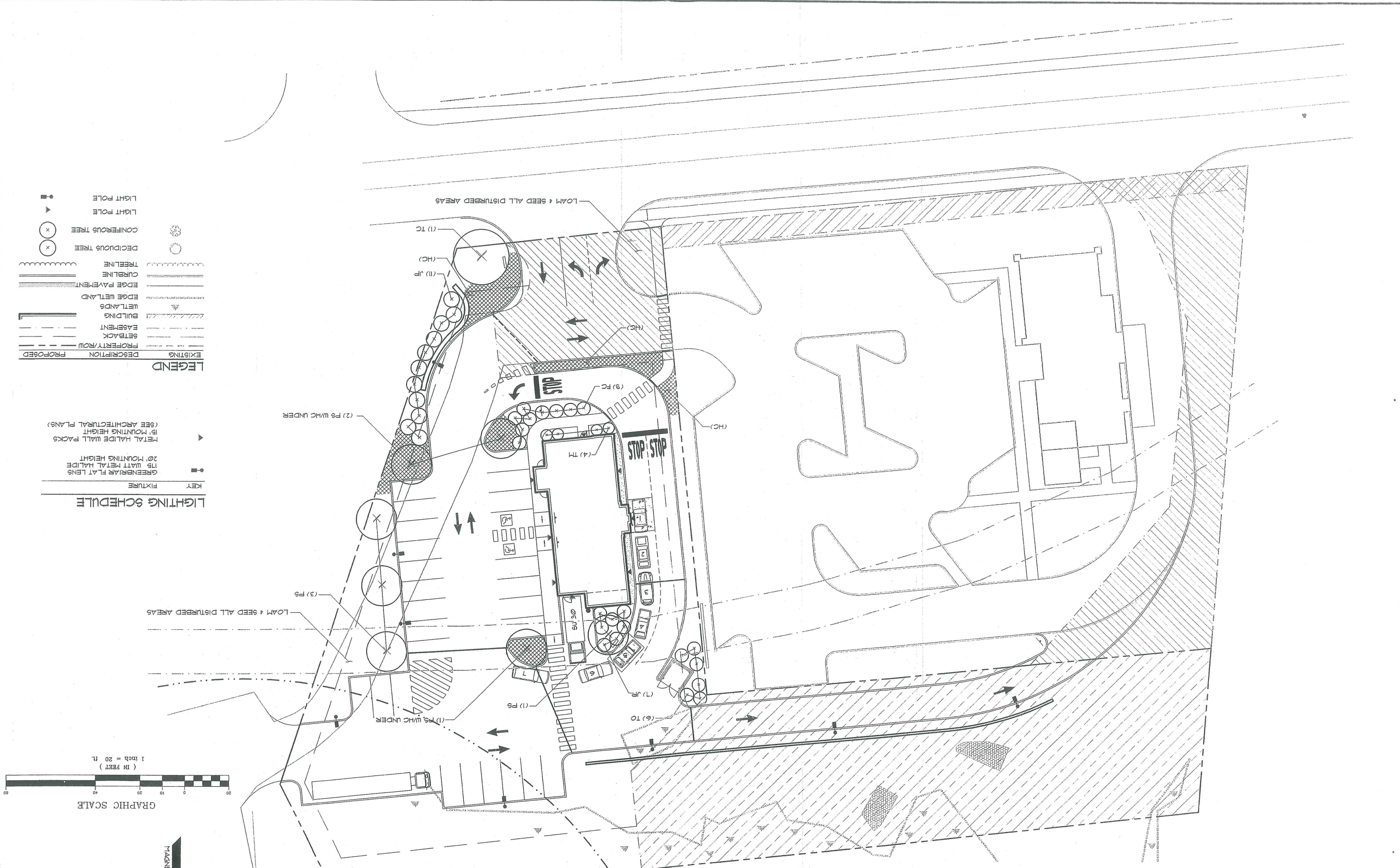
**Sebago Technics**  
Engineering Experts You Can Build On  
One Grand Street  
Westbrook, Me 04098-1339  
Tel (207) 666-0277  
PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
03461 TFP DLR MW

REV.	BY:	DATE:	STATUS:
A	JRP	6/14/04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW

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Blank space for additional notes or stamps.

KEY	QNTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES	1	FRAXUS SERRALATA "KAWAZAN"	KAWAZAN CHERRY	2" - 2 1/2" CAL.	
TC	1	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LITTLELEAF LINDEN	2 1/2" - 3" CAL.	
SHRUBS	12	"FORSTHIA COURTASOL"	GOLD TIDE FORSTHIA	3"	
FC	-	HEMEROCALLIS "MAUNA LOA"	DAYLILY	4" POTS	
HC	10	JUNIPERUS PITZERIANA "COMPACTA"	PUTZER JUNIPER	3"	
JP	4	TAXUS MEDIA "TAUNTON"	TAUNTON YEW	10"-24" B&B	
TH	4	THUJA OCCIDENTALIS "WINTERGREEN"	WINTERGREEN ARBORVITAE	24"-36" B&B	



LIGHTING SCHEDULE

KEY	FIXTURE
▲	GREENRIAR FLAT LENS 20' MOUNTING HEIGHT
▲	METAL HALIDE WALL PACKS (SEE ARCHITECTURAL PLANS) 15' MOUNTING HEIGHT

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	EASEMENT	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	TREELINE	---
○	DECIDUOUS TREE	○
⊗	CONIFEROUS TREE	⊗
▲	LIGHT POLE	▲
▲	LIGHT POLE	▲

LANDSCAPING AND LIGHTING PLAN  
 OF:  
**DUNKIN' DONUTS**  
 WARREN AVENUE  
 PORTLAND, MAINE  
 FOR:  
**KIMCO**  
 23 SPURWINK ROAD  
 SCARBOROUGH, MAINE 04074

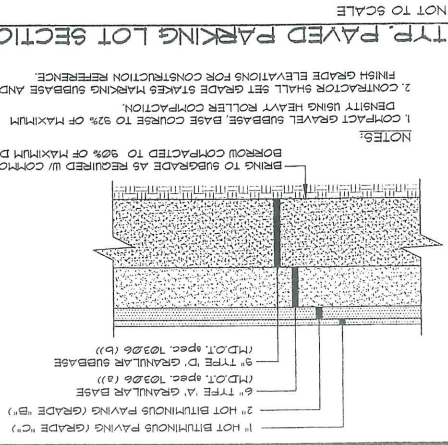
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 One Cahoon Street  
 Westbrook, Me 04098-1339  
 Tel (207) 989-0277

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
03461		JRP	JRP	FCI

REV.	BY:	DATE:	STATUS:
A	JRP	6/14/04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW

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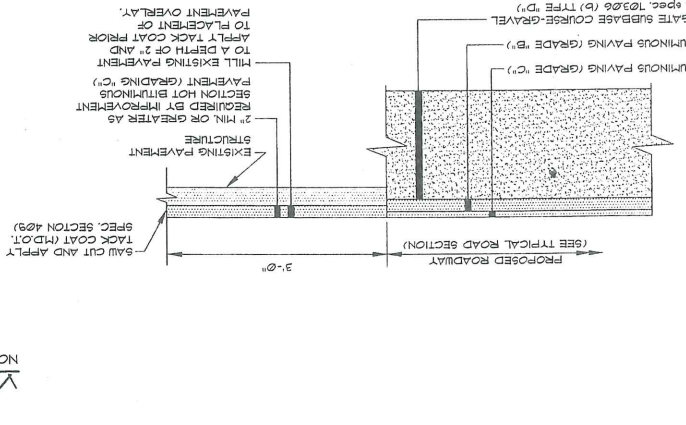
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 SHEET 4 OF 7



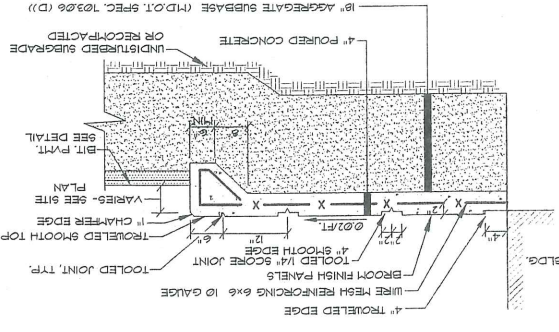
**NOTES:**

- EXCAVATION INCIDENTAL TO COST OF CURB
- BRING TO SUBGRADE AS REQUIRED W/ COMPACTION
- BRING TO SUBGRADE TO 95% OF MAXIMUM DENSITY
- AGGREGATE SUBBASE COURSE TO 3% OF MAXIMUM FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE
- CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FIRST EVEN SURFACE
- COMPACT TO A FINISH GRADE ELEVATION

TYP. PAVED PARKING LOT SECTION



TYPICAL PAVEMENT JOINT

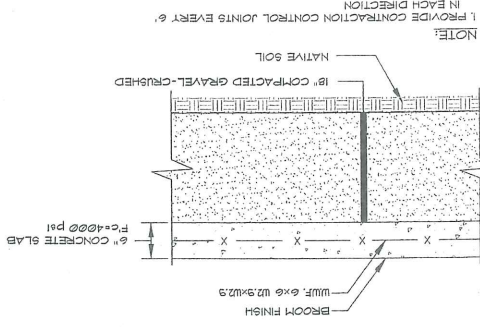


CONCRETE SIDEWALK

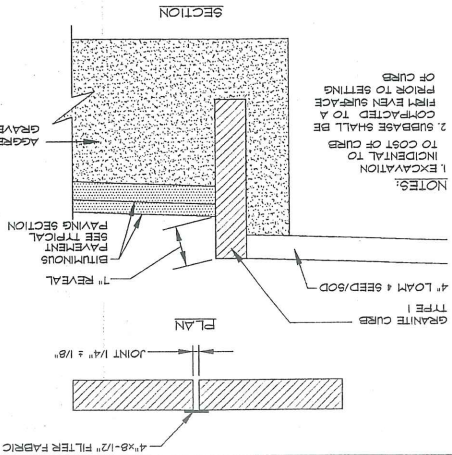
**NOTES:**

- INSTALL 9'-0\"/>
- INSTALL 9'-0\"/>

TYPICAL CONCRETE SLAB



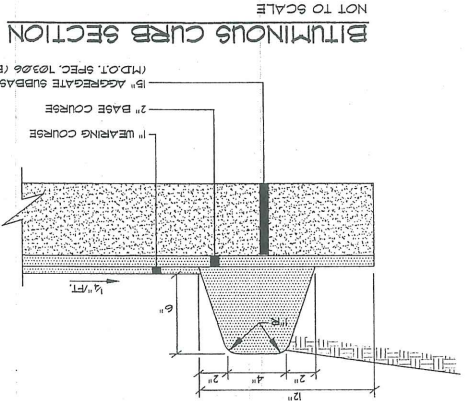
VERTICAL GRANITE CURB



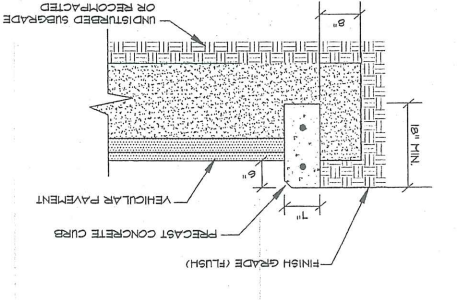
**NOTES:**

- EXCAVATION INCIDENTAL TO COST OF CURB
- AGGREGATE SUBBASE
- COMPACT TO A FINISH GRADE ELEVATION
- FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE

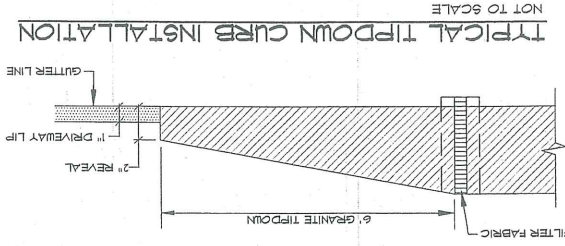
VERTICAL GRANITE CURB



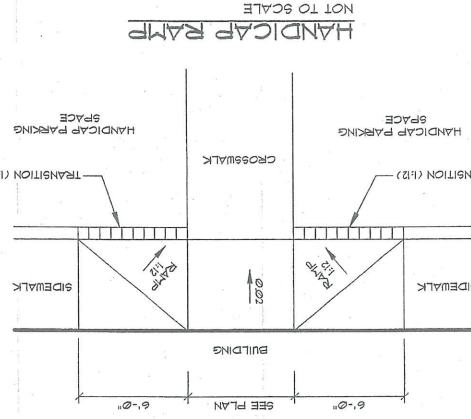
BITUMINOUS CURB SECTION



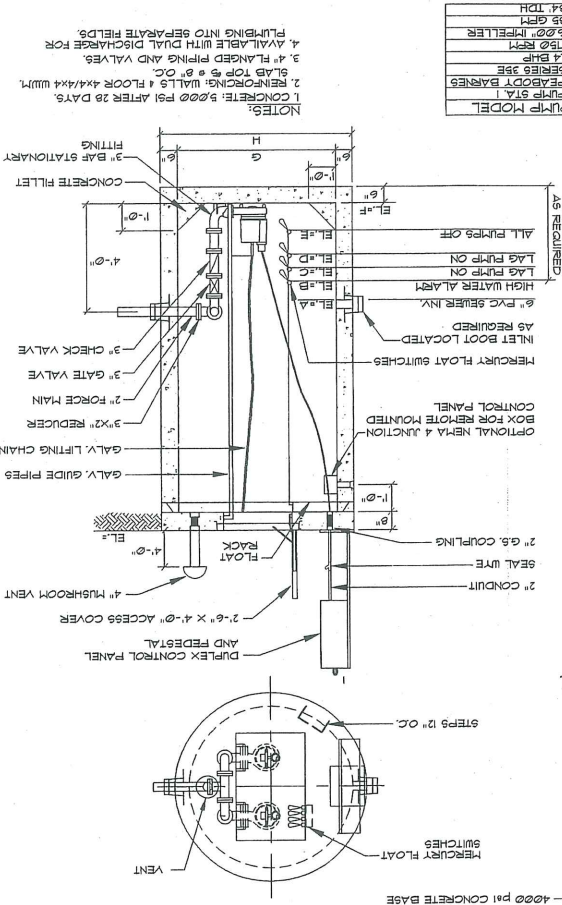
PRECAST CONCRETE CURB



TYPICAL TIPDOWN CURB INSTALLATION



HANDICAP RAMP



PUMP STATION

PUMP STATION

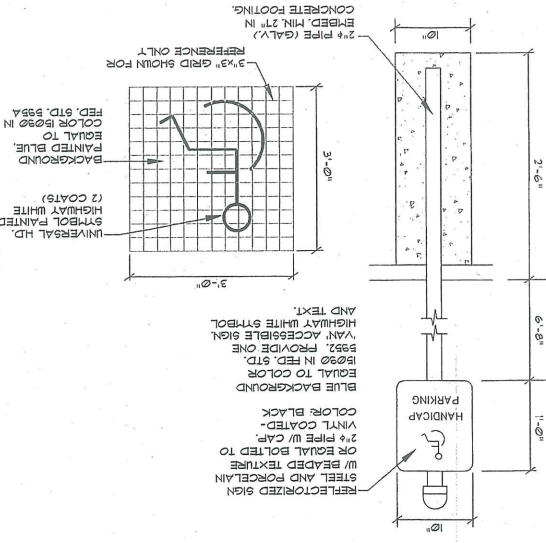
PUMP STATION

PUMP STATION

**PUMP STATION SCHEDULE**

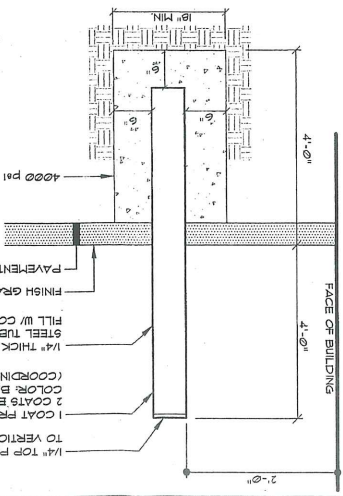
PUMP STATION	MEASUREMENT (L.F.)
A	
B	
C	
D	
E	
F	
G	
H	
I	

HANDICAP SIGNS



HANDICAP SIGNS

METAL BOLLARD



**CONSTRUCTION NOTES**

- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRMING THAT THE WORK DESCRIBED HEREIN SHALL BE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES" PUBLISHED BY THE UNITED STATES ARMY AND WATER RESOURCES DIVISION. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DESTRUCTION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES IN THIS AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SHALL LOCAL UTILITIES, AS WELL AS USE PUBLIC WORKS SYSTEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS. 336.01-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO THE PROPOSED EXCAVATION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPAIR AND DEFECTIVE MATERIAL REPLACEMENT AND RECONSTRUCTION OF ALL DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATIONS FROM THE ORIGINAL DRAWINGS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVAL PRIOR TO ANY WORK.
- BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION. CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSERVED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.

**DETAILS**

DATE: 6-14-04 AS SHOWN  
SCALE: AS SHOWN

OF: **DUNKIN DONUTS**  
WARREN AVENUE  
BURLINGTON, MAINE  
FOR: **KIMCO DEVELOPMENT CORP.**  
DUNKIN DONUTS PLAZA, 65 GRAY ROAD  
FALMOUTH, MAINE 04105

**SEBAGO TECHNICS**  
Engineering Expertise You Can Build On  
One Chobit Street  
Westbrook, Me 04098-1339  
Tel (207) 689-0277

PROJECT NO. 03461

DESIGN: JRP  
CHECK: JRP  
DRAWN: ASS

**CONSTRUCTION NOTES**

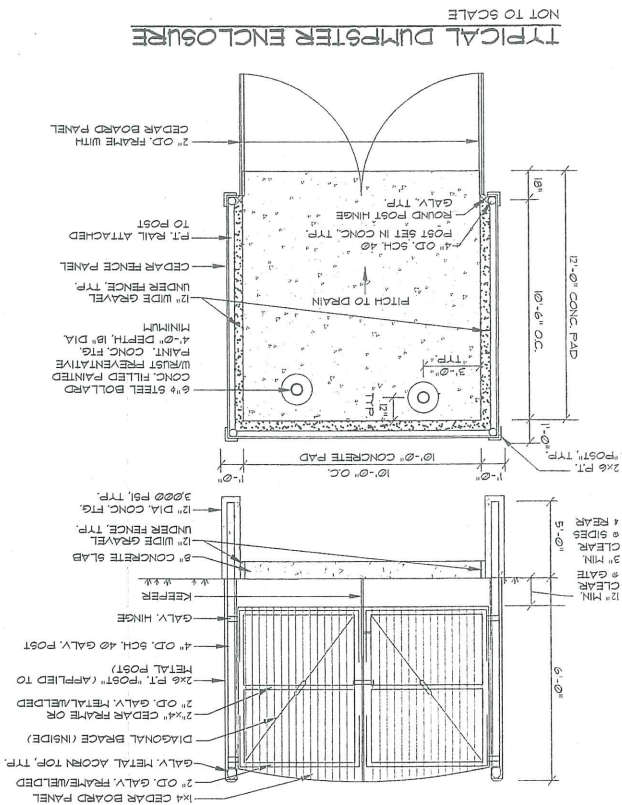
- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRMING THAT THE WORK DESCRIBED HEREIN SHALL BE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
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REVISIONS:

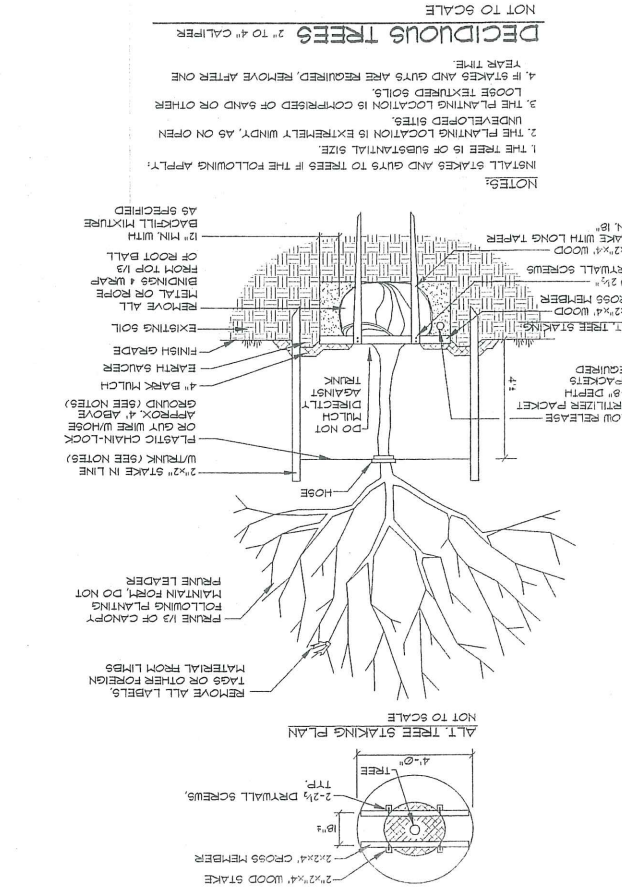
NO.	DATE	BY	REASON
1	3-29-04	JRP	SUBMIT FOR SITE PLAN REVIEW

THIS PLAN SHALL NOT BE ADOPED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



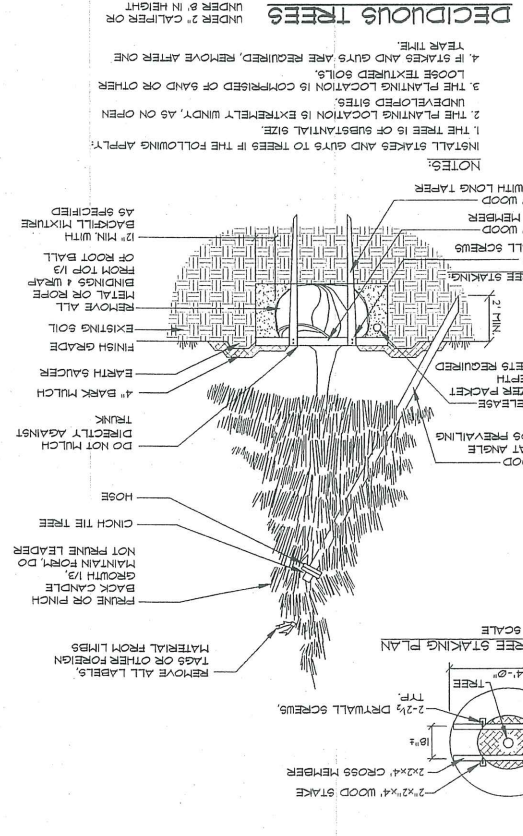


TYPICAL DUMPSTER ENCLOSURE  
NOT TO SCALE

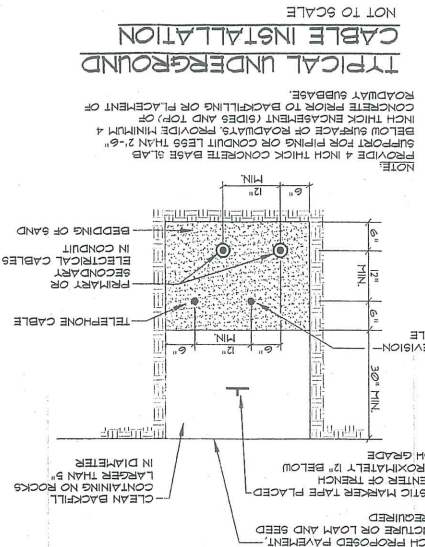


DECIDUOUS TREES 2\"/>

DECIDUOUS TREES  
NOT TO SCALE

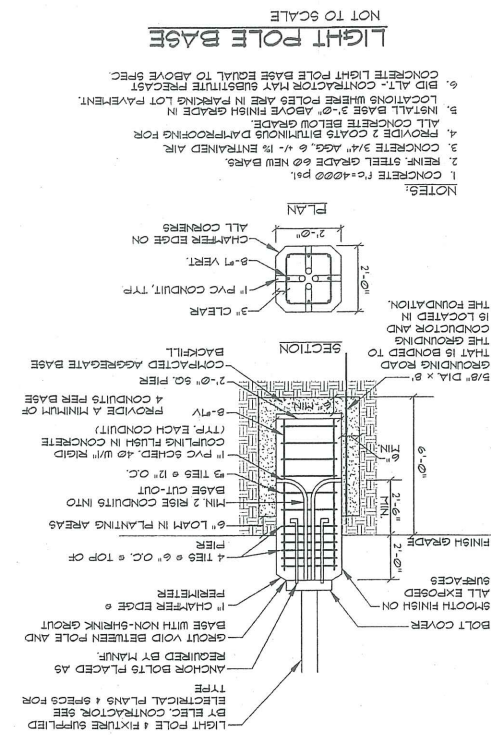
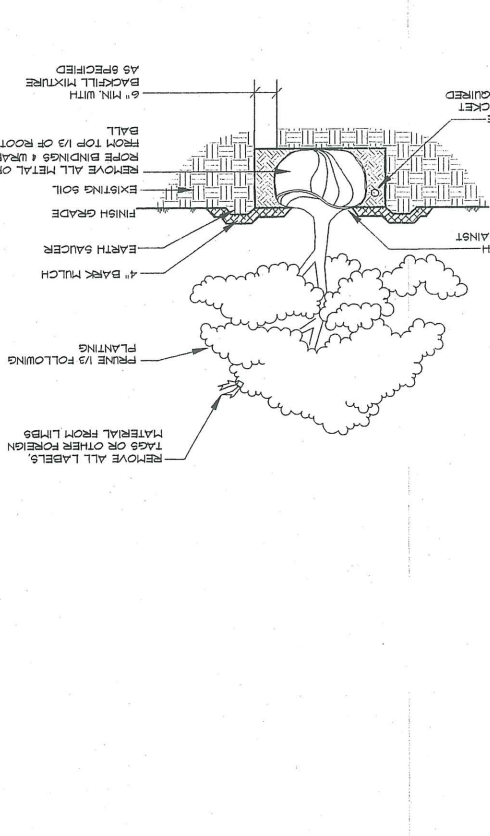


DECIDUOUS TREES 1\"/>



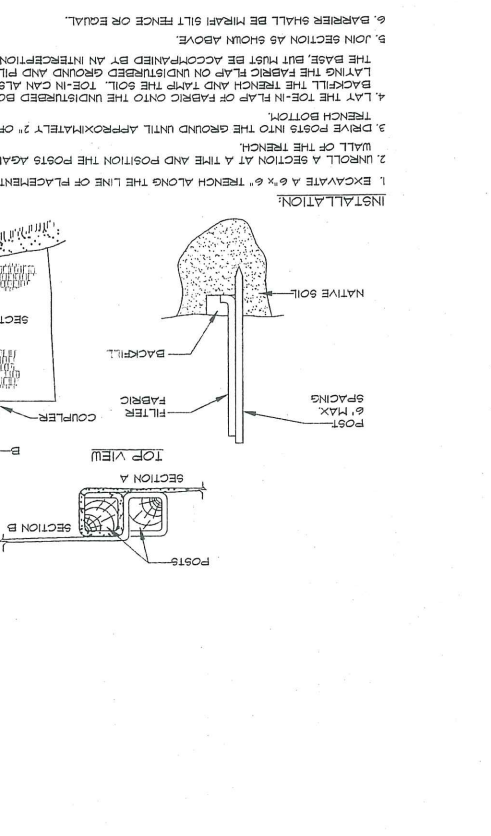
TYPICAL UNDERGROUND CABLE INSTALLATION  
NOT TO SCALE

DECIDUOUS & EVERGREEN SHRUBS  
NOT TO SCALE



LIGHT POLE BASE  
NOT TO SCALE

FILTER BARRIER  
NOT TO SCALE

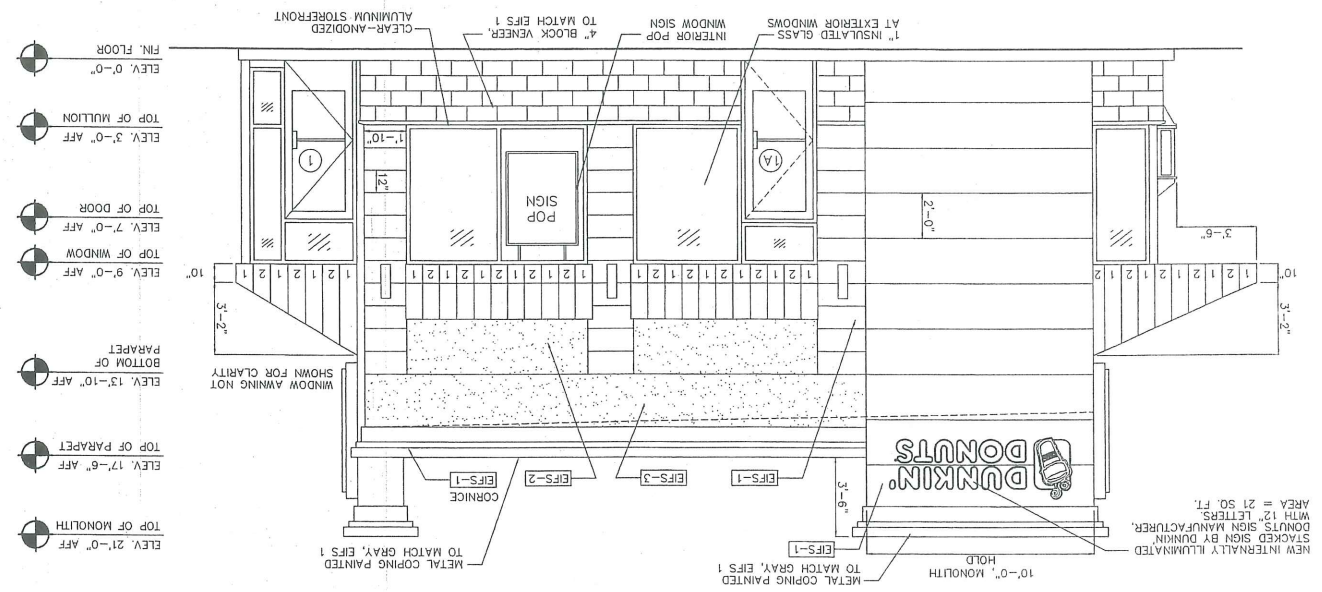


DATE		6/14/04	AS SHOWN
SCALE			
DETAILS OF: <b>DUNKIN DONUTS</b> FOR: <b>KIMCO DEVELOPMENT CORP.</b> DUNKIN DONUTS PLAZA, 65 GRAY ROAD PALMOUTH, MAINE 04103			
PROJECT NO.		03461	
DESIGN	JRP	CHKD	JRP
DEAWN	JRP	FCL	

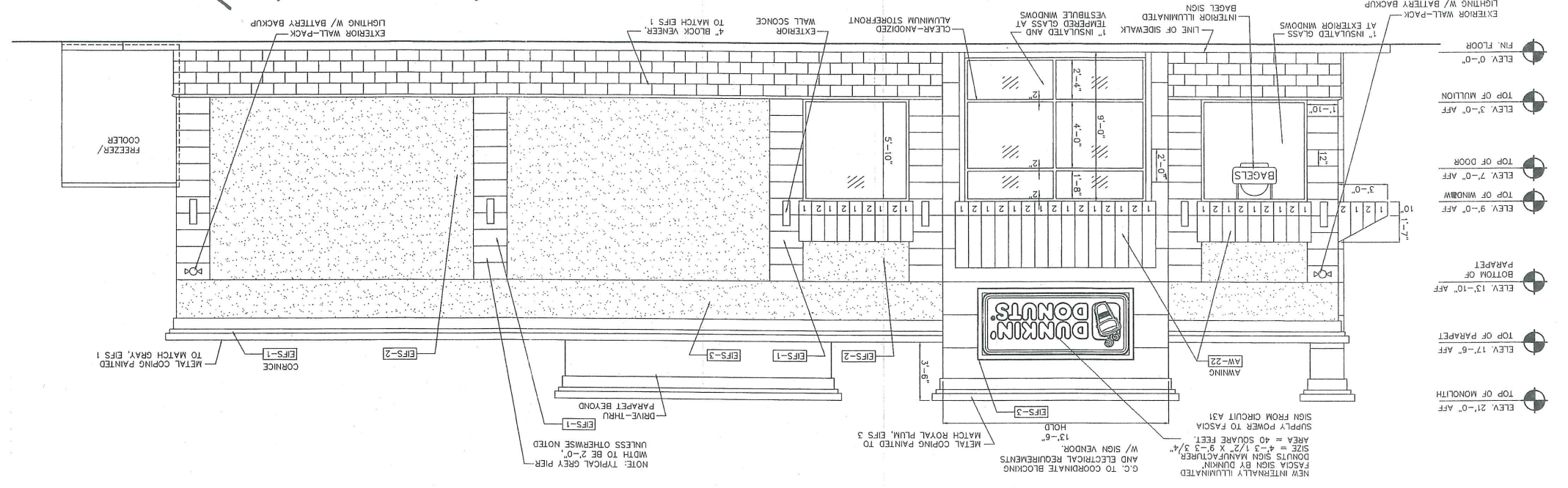
<b>Sebago Technics</b> Engineering Expertise You Can Build On One Chubok Street Westbrook, Me 04090-1339 Tel (207) 858-0277			
REV.	BY:	DATE:	STATUS:
A	JRP	6/14/04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.			



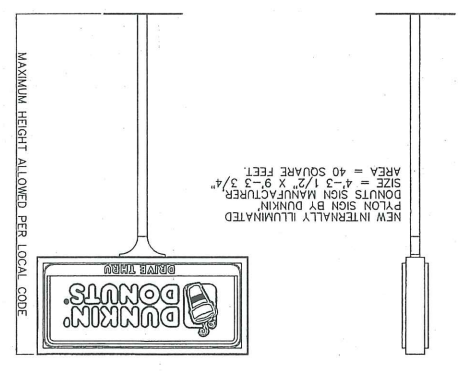
LEFT ELEVATION (Warren Avenue)



FRONT ELEVATION (Parking lot)



PLYON SIGN ELEVATION



CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
AW-22	AWNING FABRIC	3M	VG-11418 & VO-11419	PLUM & ORANGE STRIPED AWNING	
CMU-1	MASONRY VENEER	E.P. HENERY OR APP	VD EQUAL	SEE ELEV'S (SMOOTH FACE @ WALK-IN)	
ERS-1	EXTERIOR FINISH	DRYVT	GREY	# NA1-88-12-01-10 TO MATCH PMS #2U /SW7016 MANDFL GRAY	
ERS-2	INSULATION FINISH	DRYVT	TAN	# NA1-88-12-01-12 TO MATCH PMS #70U /SW6359 SOCIALB	
ERS-3	SYSTEM	DRYVT	ROYAL PLUM	# NA1-88-12-01-07 TO MATCH PMS #22U /SW6293 FABULOUS GRAPE	
P-22	PAINT	SHERWIN WILLIAMS	SW 7016	MANDFL GRAY	EXTERIOR TRML, LADDERS, DOORS

NOTES:  
 1. REFER TO DUNKIN' DONUTS DRAWINGS FOR EXACT CONFIGURATION, SIZE AND DETAILS OF AWNINGS.  
 2. PROVIDE A LIGHT FIXTURE AND EGG CRATE GRILLE AT AWNINGS LOCATED ABOVE DRIVE THRU WINDOWS.

COLOR NOTES:  
 DUNKIN', COFFEE CUP, BORDER & STEAM TO BE ORANGE, DONUTS, CUP BACKGROUND AND R TO BE RASPBERRY, PMS#165C, V17290 3M VINYL.  
 DONUTS, CUP BACKGROUND AND R TO BE RASPBERRY, PMS#219C, V12577 3M VINYL.  
 ALL VINYL TO BE APPLIED TO SECOND SURFACE. LETTERS & COFFEE CUP TO BE EMBOSSED. BACKGROUND TO BE WHITE.

NO.	DESCRIPTION	BY	DATE
	INITIAL ISSUE	JR	06/09/04

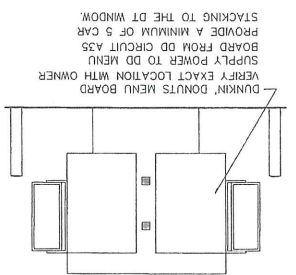
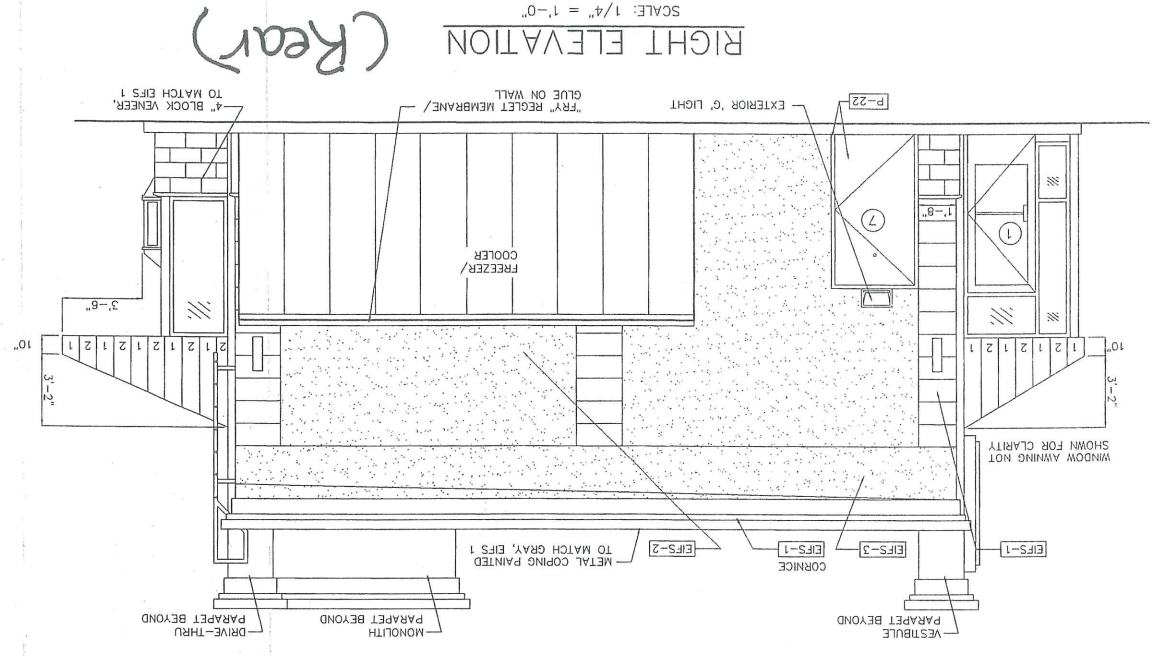
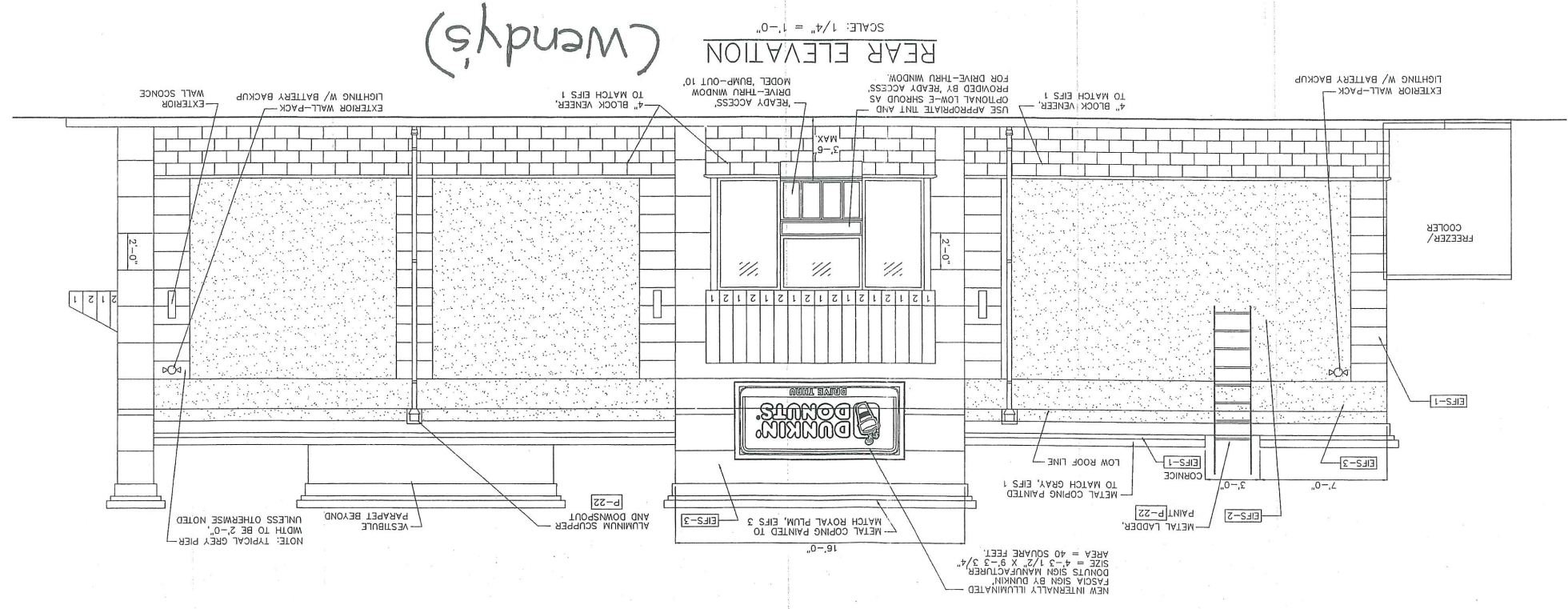
Att. 1B

REVISIONS		
NO.	DESCRIPTION	DATE

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
AW-22	AWNING FABRIC	3M	VO-11418 & VO-11419	PLUM & ORANGE STRIPED AWNING	
CMU-1	MASONRY VENEER	E. HENRY OR APPRO. EQUAL.		MATCH EFS-1	SEE ELEV'S (SMOOTH FACE @ WALK-IN)
EFS-1	EXTERIOR FINISH	DRYVIT	GREY	# N1-68-12-01-10	TO MATCH PMS #20 / SW7016 MINDFUL GRAY
EFS-2	INSULATION FINISH	DRYVIT	TAN	# N1-68-12-01-12	TO MATCH PMS #720U / SW6359 SOCIABLE
EFS-3	SYSTEM	DRYVIT	ROYAL PLUM	# N1-68-12-01-07	TO MATCH PMS #222U / SW6293 FABULOUS GRAY
P-22	PAINT	SHERWIN WILLIAMS	SW 7016	MINDFUL GRAY	EXTERIOR TRIM, LADDERS, DOORS

EXTERIOR FINISH MATERIAL SCHEDULE  
 10/03

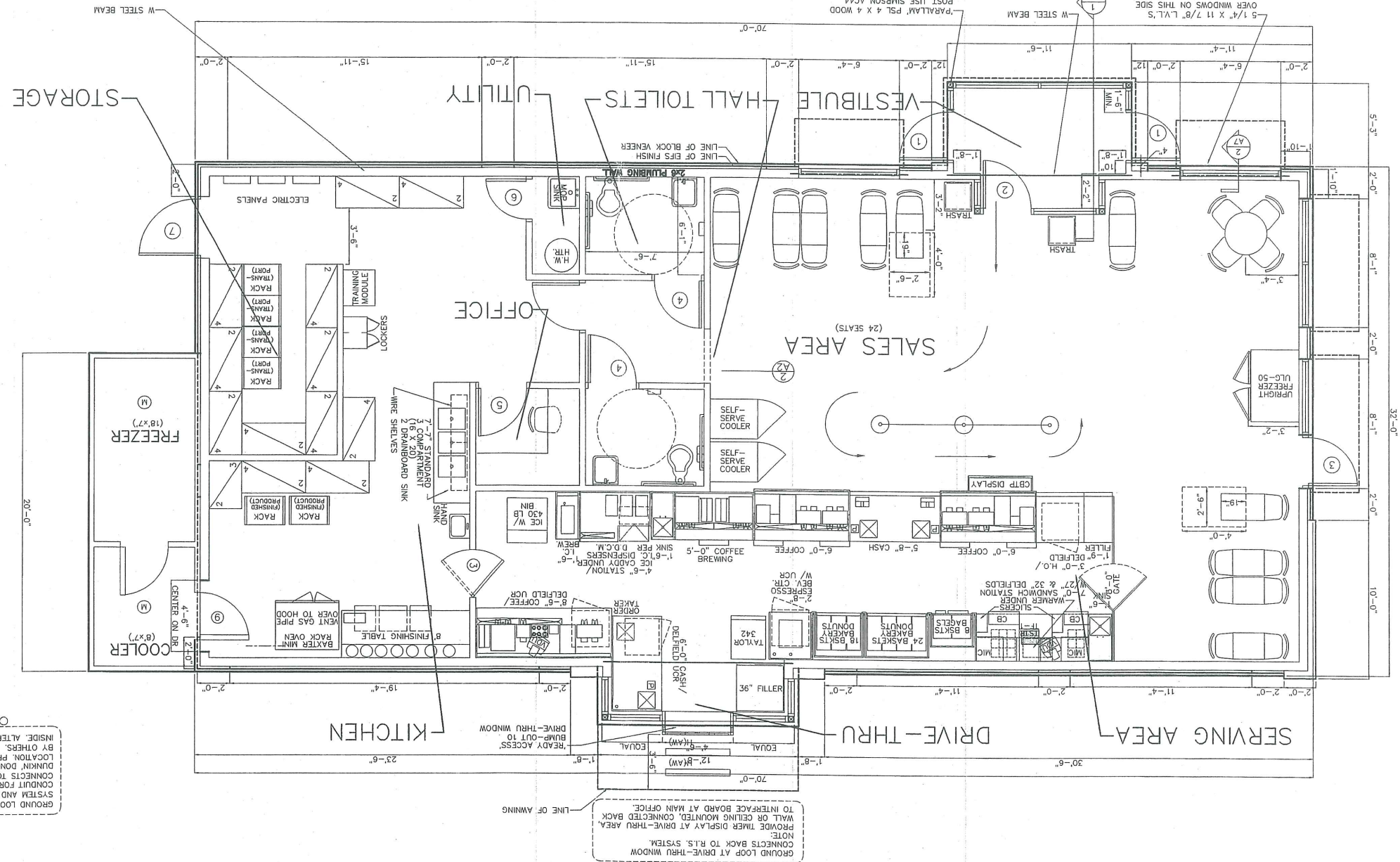
NOTES:  
 1. REFER TO DUNKIN' DONUTS DRAWINGS FOR EXACT CONFIGURATION, SIZE AND DETAILS OF AWNINGS.  
 2. PROVIDE A LIGHT FIXTURE AND EGG CRATE GRILLE AT AWNINGS LOCATED ABOVE DRIVE THRU WINDOWS.



15A

NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	J.R.	06/09/04

PRELIM. FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



GROUND LOOP CONNECTS TO VEHICLE DETECTOR, INTERCOM SYSTEM AND TIMER INTERFACE BOARD LOCATED IN OFFICE. 2' CONDUIT FOR SPEAKER (IF SEPARATE POST IS USED) ALSO CONNECTS TO INTERCOM SYSTEM KEYPAD WITH OWNER AND DRUNKIN' DONUTS CONSTRUCTION MARKER FOR EXACT LOCATION. PROVIDE FOR 5 CAR STACKING, ALSO SEE SITE PLAN BY OTHERS. (MENUBOARD SHOWN HAS SPEAKER MOUNTED INSIDE, ALTERNATE HAS A SEPARATE SPEAKER POST).

NOTE:  
 GROUND LOOP AT DRIVE-THRU WINDOW CONNECTS BACK TO R.I.S. SYSTEM.  
 PROVIDE TIMER DISPLAY AT DRIVE-THRU AREA.  
 WALL OR CEILING MOUNTED, CONNECTED BACK TO INTERFACE BOARD AT MAIN OFFICE.

