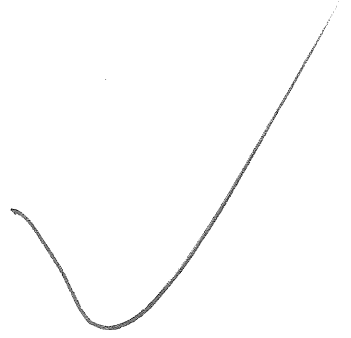


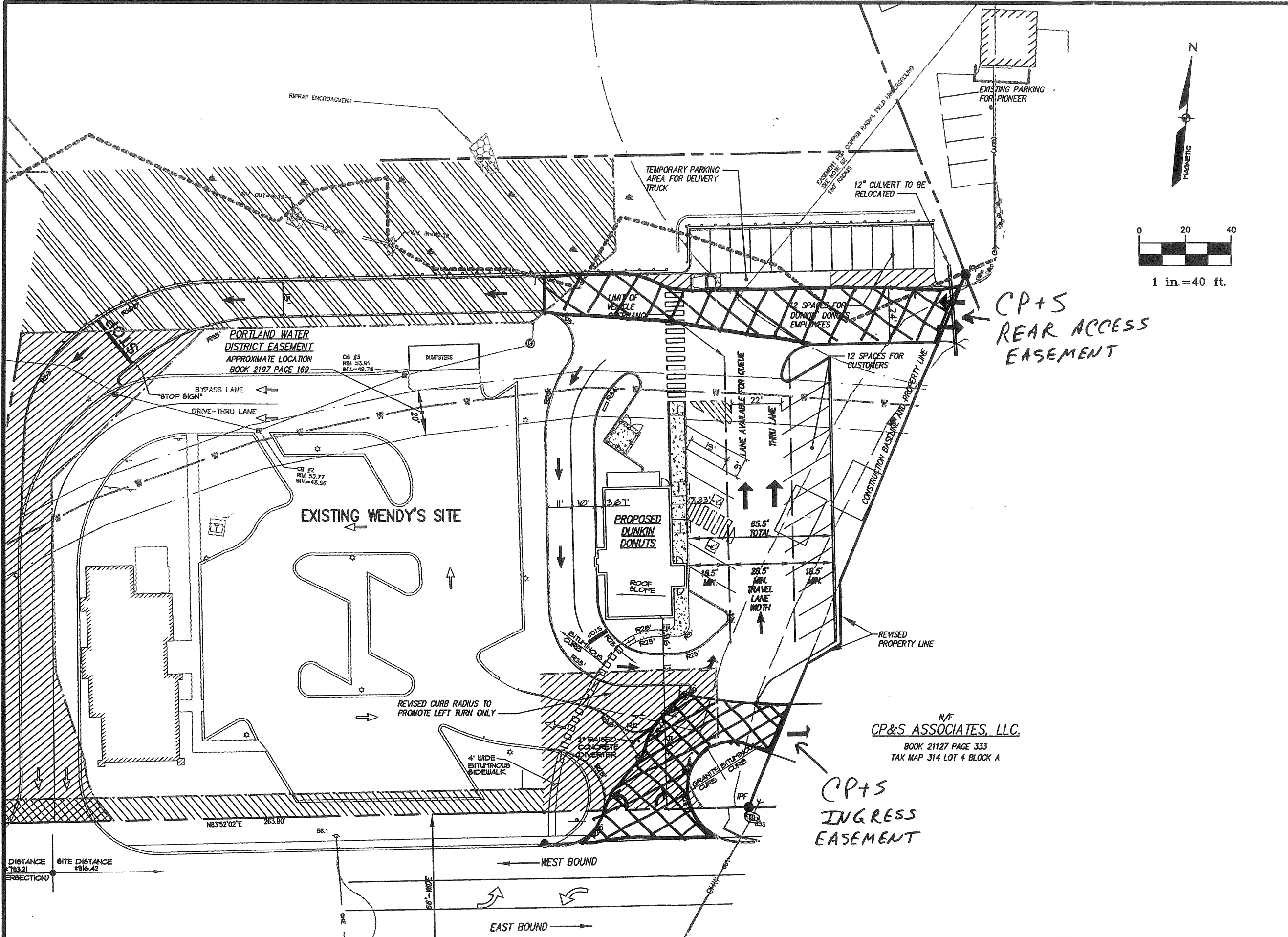
314-A-7

599 Warren Ave.

Dunkin Donuts

Kimco Realty





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 One Chabot Street  
 Westbrook, Me 04098-1339  
 Tel (207) 856-0277

**EXHIBIT C**  
 OF:  
**PROPOSED KIMCO AMENDED SITE PLAN**  
 WARREN AVENUE  
 PORTLAND, MAINE

DESIGN BY:	-
DRAWN BY:	-
CHECKED BY:	-
DATE:	7.12.05
SCALE:	1" = 40'
FIELD BK:	-
PROJ. NO:	03461
DRAWING:	03461EXH-C
<b>SHEET 3 OF 3</b>	

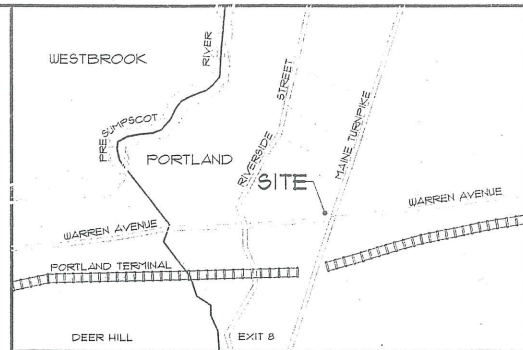
N/F  
**CP+S ASSOCIATES, LLC.**  
 BOOK 21127 PAGE 333  
 TAX MAP 314 LOT 4 BLOCK A





H/F  
FRANCIS P. DRAKE  
P.O. BOX 1378  
PORTLAND, MAINE  
8229/47  
TAX MAP 314  
LOT A-6 LOT 2

H/F  
FULLER-JEFFREY  
RADIO OF MAINE, INC.  
583 WARREN AVE.  
12575/100, TAX MAP 314  
LOT 314-A1



LOCATION MAP N.T.S.

**GENERAL NOTES:**

- THE RECORD OWNER OF THE PROPERTY IS OLDER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314, BLOCK A, DEPICTED AS LOT 1 AND IS LOCATED IN THE B-4 (COMMERCIAL CORRIDOR BUSINESS).
- SPACE AND BULK CRITERIA: (B-4 COMMERCIAL CORRIDOR BUSINESS)
 

ITEM:	ORDINANCE:	SUBJECT:
MIN. LOT SIZE:	10,000 SF	58,242 SF
MIN. STREET FRONTAGE:	60'	101.4'
MIN. FRONT YARD:	20'	30'
MIN. SIDE YARD:	10'	21'
MIN. REAR YARD:	20'	100'
MAX. BUILDING HEIGHT:	65 FT	75'
MAX. LOT COVERAGE:	80%	98%
IMPERVIOUS AREA:		78,749 SF.
- PLAN REFERENCES:
  - EXISTING CONDITIONS PLAN PREPARED BY OWEN HASKELL, INC. DATED JAN. 30, 2002, REVISED AUGUST 12, 2002.
  - WETLANDS HAVE BEEN DELINEATED BY DUKE ENGINEERING AND FIELD LOCATED BY OWEN HASKELL, INC.
  - BEARINGS AND GRID COORDINATES SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE. CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.
- THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER SYSTEMS.
- ALL MATERIALS AND INSTALLATIONS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARDS AND SPECIFICATIONS.
- APPARENT UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON THE LOCATION OF EXISTING PAINT MARKINGS TOGETHER WITH THE VISIBLE ABOVE GROUND FEATURES OF UNDERGROUND UTILITY STRUCTURES. DISSAFE MUST BE NOTIFIED PRIOR TO ANY UNDERGROUND EXCAVATION ON THIS SITE TO CONFIRM THE LOCATION OF UNDERGROUND UTILITIES THAT EXIST.
- ALL TRAFFIC SIGNS SHALL MEET MUTCD STANDARDS.
- LANDSCAPING SHALL MEET THE "ARBOICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES. (SEE ABOVE)
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

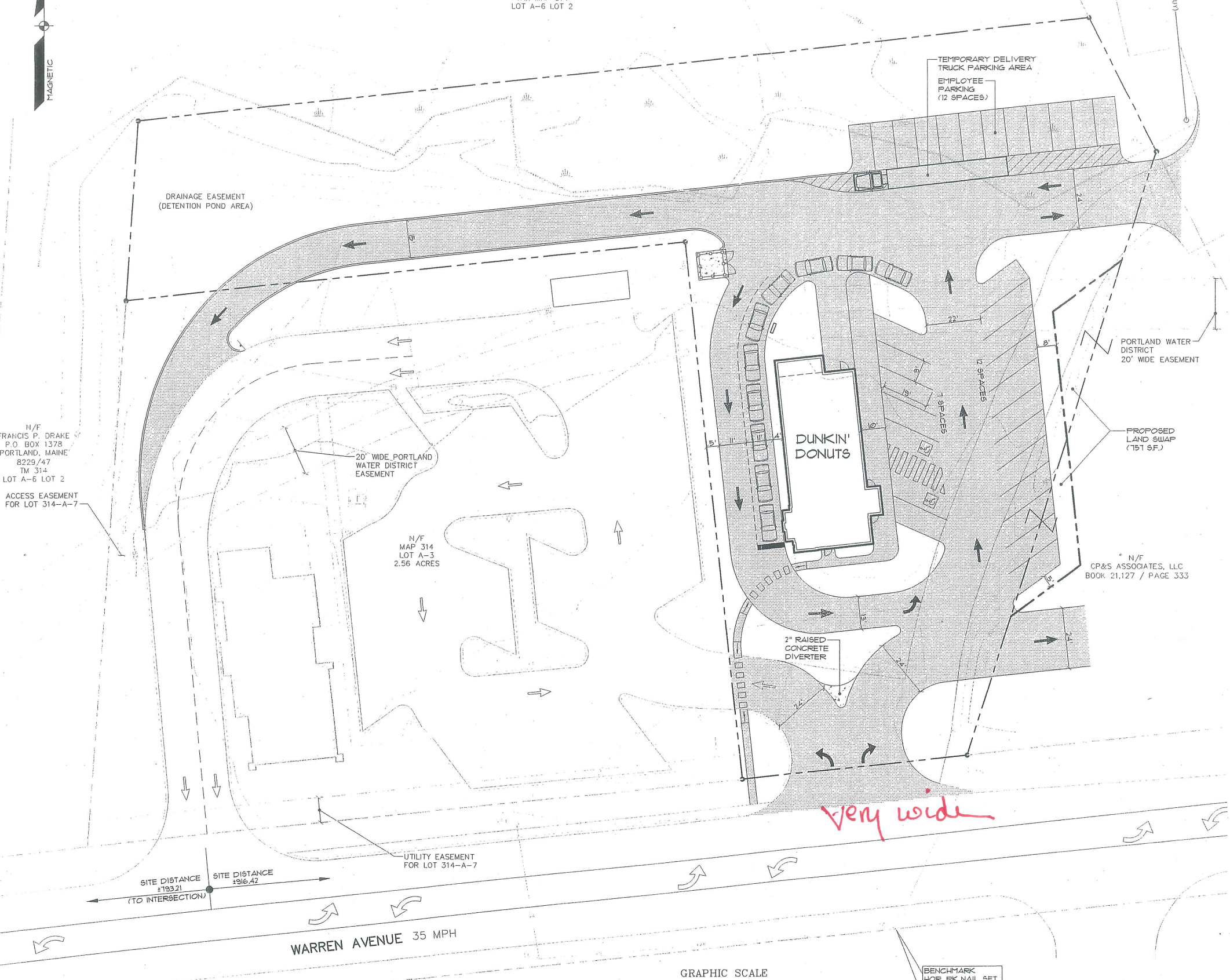
REV.	BY:	DATE:	STATUS:
D	JRP	12-1-04	REVISED SITE LAYOUT
C	JRP	10-7-04	REVISED LAYOUT AND STORMWATER DETENTION
B	JRP	8-19-04	SUBMITTED FOR M.D.O.T. SCOPING MEETING
A	JRP	6-14-04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

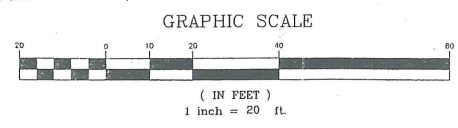
**Sebago Technics**  
Engineering Expertise You Can Build On  
One Church Street, Suite 1339  
Warren, ME 04092-1339  
Tel: (207) 856-0277

PROJECT NO. 03461  
FIELD BOOK DESIGN CHD DRAWN JRP MNL

**SITE PLAN**  
OF:  
**DUNKIN' DONUTS**  
WARREN AVENUE  
PORTLAND, MAINE  
FOR:  
**KIMCO**  
25 SPURWINK ROAD  
SCARBOROUGH, MAINE 04074

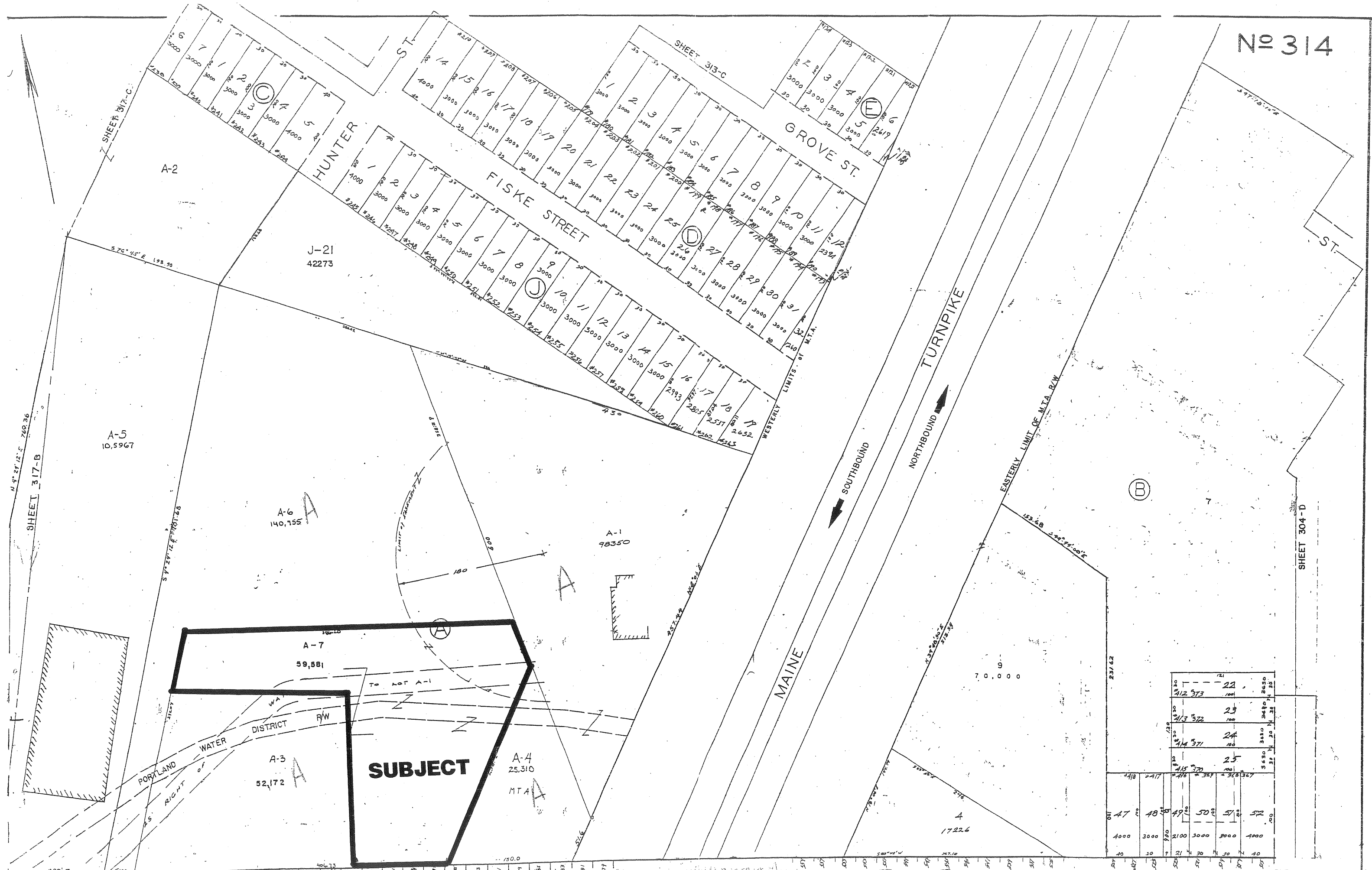


*Very wide*



BENCHMARK  
HOR. PK NAIL SET  
IN POLE CMP 95  
ELEV. = 59.16'





22	22	8630
23	23	3490
24	24	3810
25	25	3690
26	26	3690
27	27	3690
28	28	3690
29	29	3690
30	30	3690



**SUBJECT**

**№315**

317

314

1  
74664

(A)

2

P.W.D. R/W

AVENUE

WARREN

5  
L7045

STREET

316

CENTRAL MAINE POWER RIGHT OF WAY

(B)

628791

RIVERSIDE

WESTERLY LIMITS of M.T.A. R/W

MAINE

TURNPIKE

SOUTHBOUND

NORTHBOUND

271

2  
43527

6  
96543

PORTLAND

TERMINAL

COMPANY

268

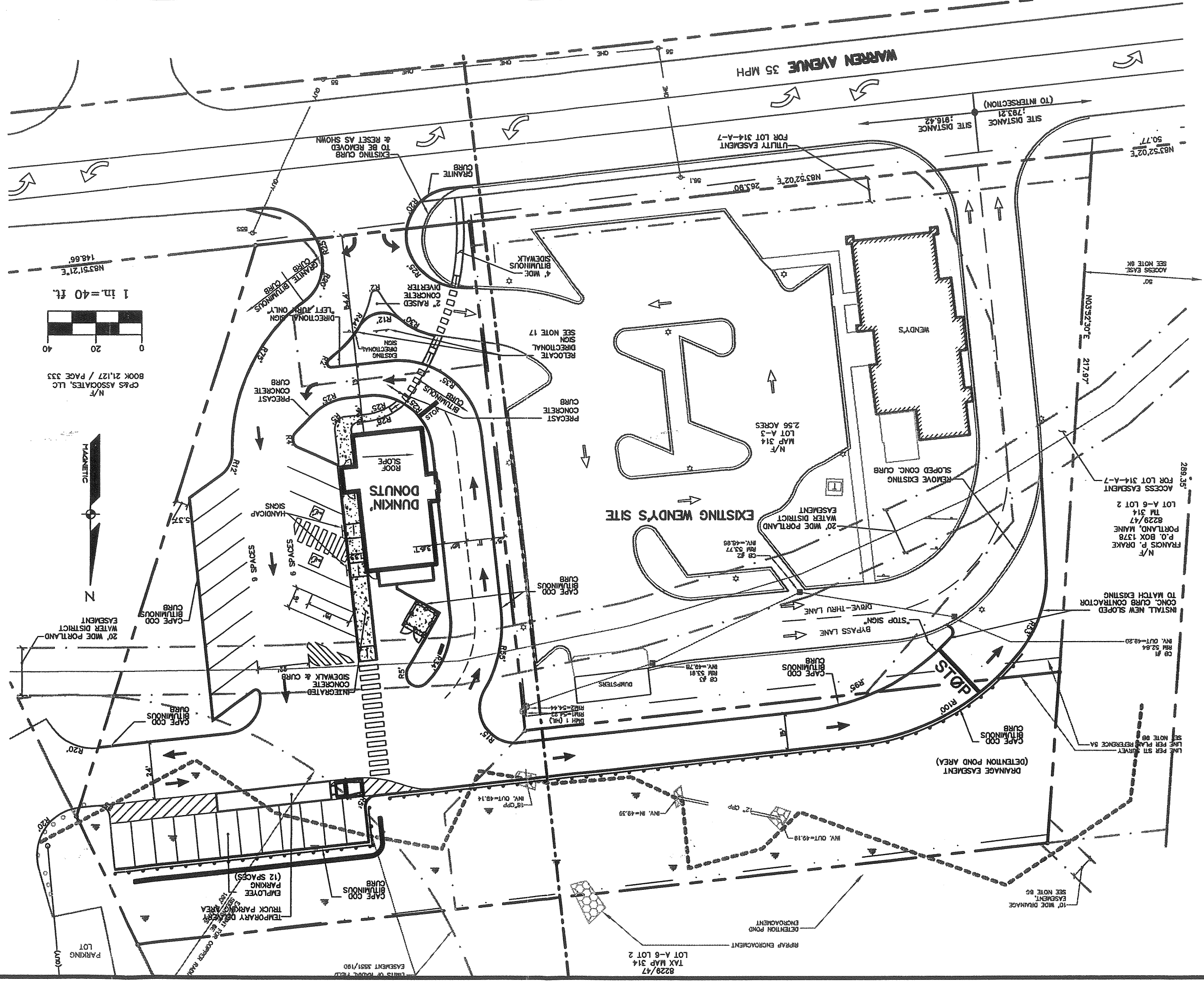
LEGEND  
68.....ADJACENT MAPS  
--- MATCH LINE

CITY OF PORTLAND  
ASSESSORS PLAN  
SCALE 1 INCH = 100 FEET

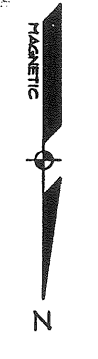
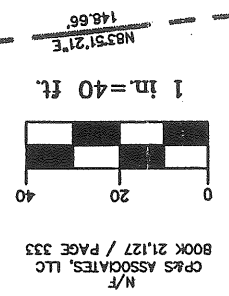
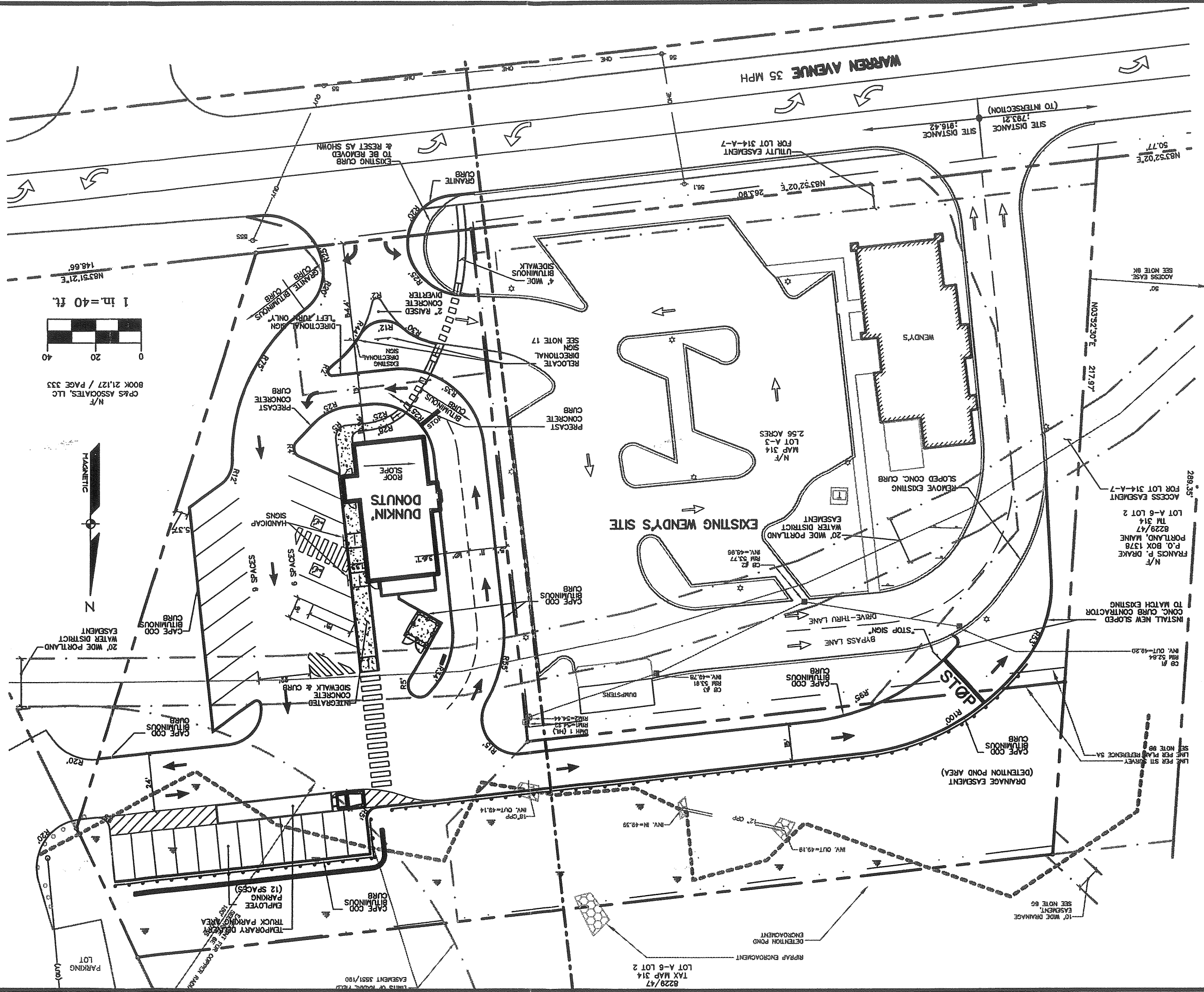
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 PROJ. NO: 03461  
 FIELD BK: -  
 SCALE: 1"=40'  
 DATE: 7.12.05  
 CHECKED BY: JRP  
 DRAWN BY: ASB  
 DESIGN BY: JRP

EXHIBIT A  
 OF:  
 APPROVED KIMCO SITE PLAN  
 WARREN AVENUE  
 PORTLAND, MAINE  
 FOR:  
 KIMCO  
 25 SPURWINK ROAD  
 SCARBOROUGH, MAINE 04074

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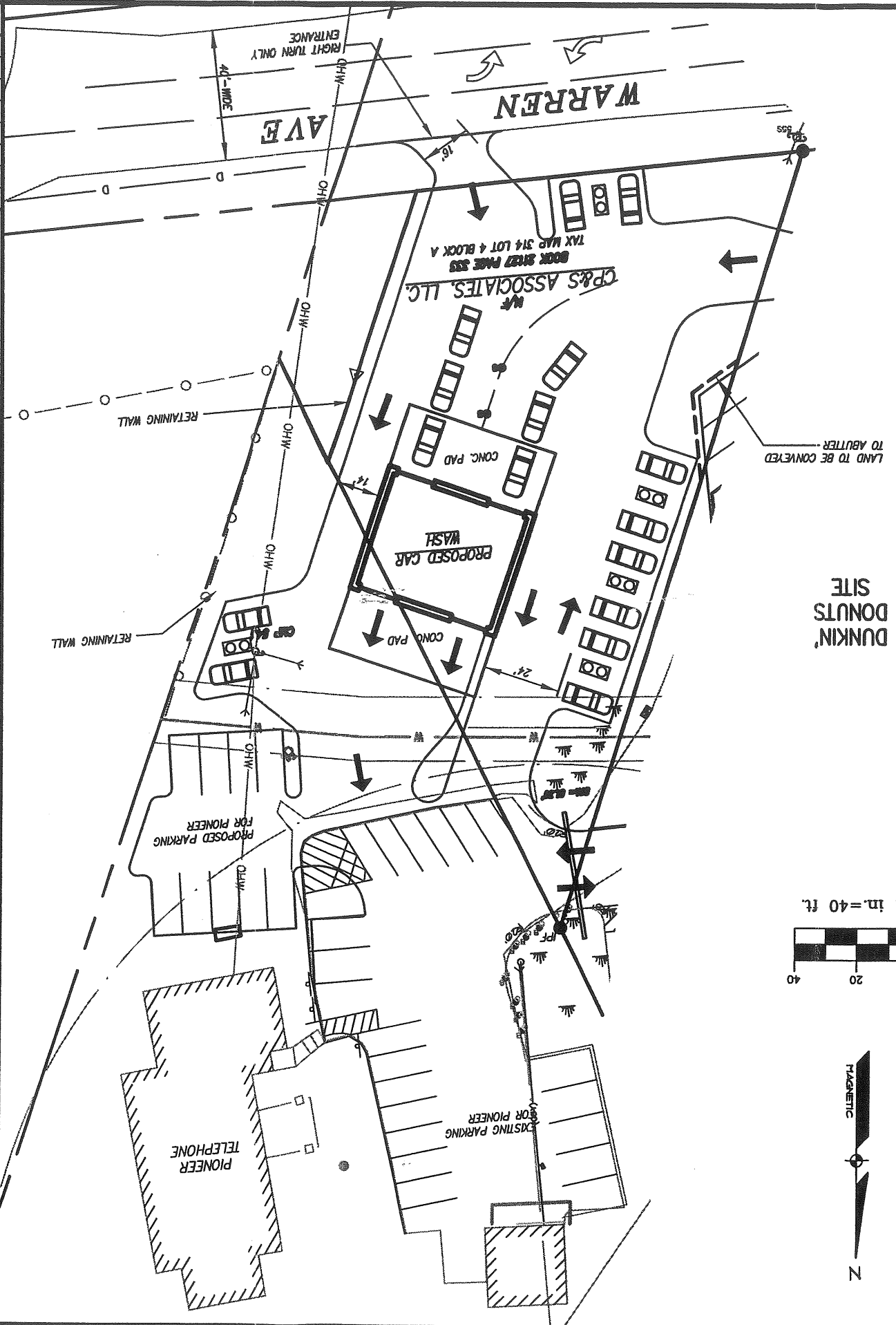
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 FIELD BK: -  
 SCALE: 1"=40'  
 DATE: 7.12.05  
 CHECKED BY: JRP  
 DRAWN BY: ASB  
 DESIGN BY: JRP

**EXHIBIT A**  
 OF:  
**APPROVED KIMCO SITE PLAN**  
 WARREN AVENUE  
 PORTLAND, MAINE  
 FOR:  
**KIMCO**  
 25 SPURWINK ROAD  
 SCARBOROUGH, MAINE 04074

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SHEET 2 OF 3  
 DRAWING: 03461EXH-B  
 PROJ. NO: 03461  
 FIELD BK: -  
 SCALE: 1"=40'  
 DATE: 7.12.05  
 CHECKED BY: -  
 DRAWN BY: -  
 DESIGN BY: -

EXHIBIT B  
 OF:  
 CP&S SITE PLAN  
 WARREN AVENUE  
 PORTLAND, MAINE



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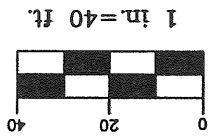




SHEET 3 OF 3  
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 PROJ. NO: 03461  
 FIELD BK: -  
 SCALE: 1"=40'  
 DATE: 7.12.05  
 CHECKED BY: -  
 DRAWN BY: -  
 DESIGN BY: -

**EXHIBIT C**  
 OF:  
**PROPOSED KIMCO AMENDED SITE PLAN**  
 WARREN AVENUE  
 PORTLAND, MAINE

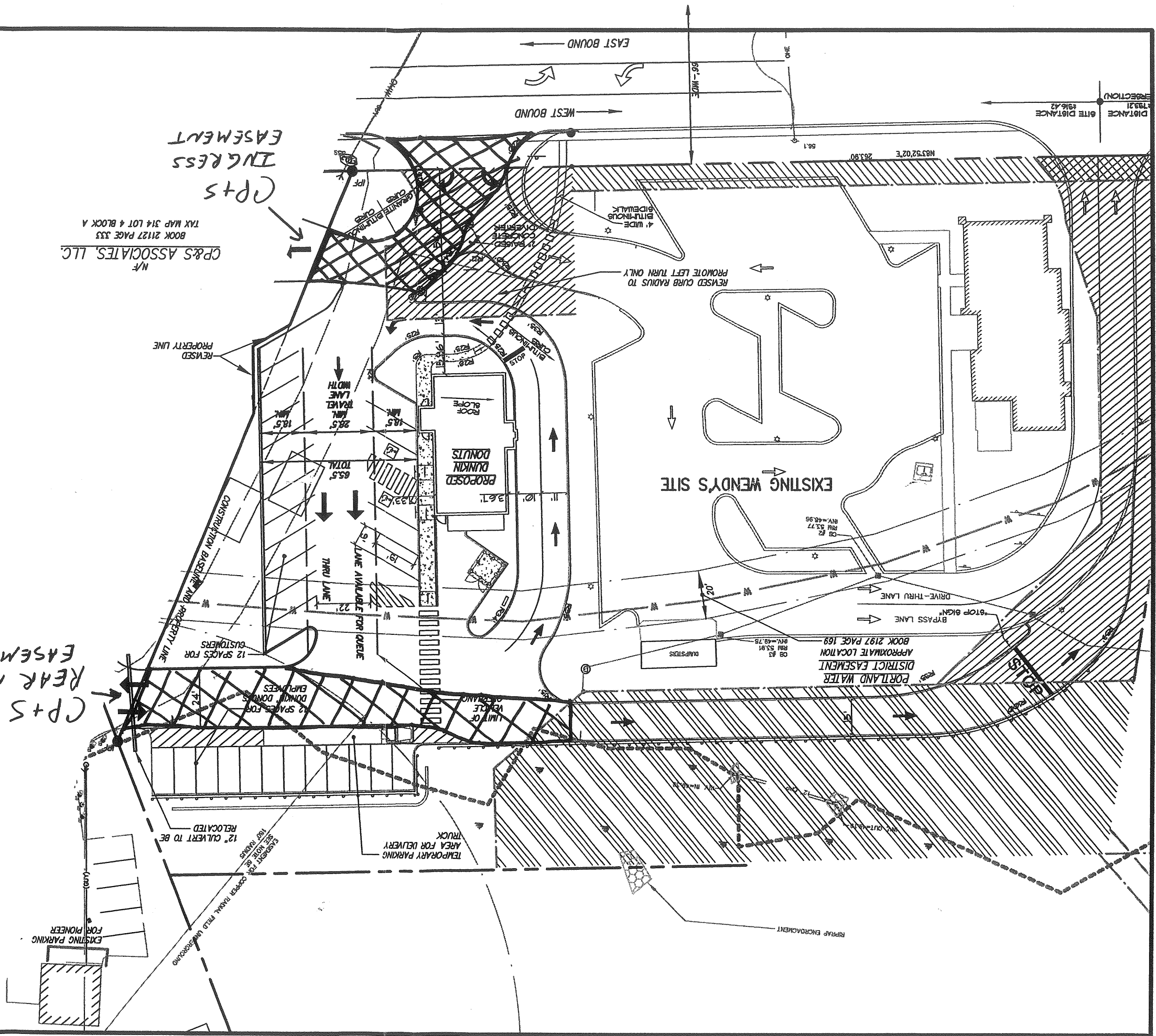
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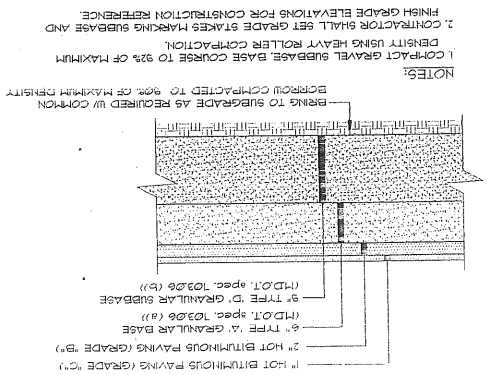
CP+S  
 REAR ACCESS  
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CP+S  
 INGRESS  
 EASEMENT

N/A  
 CP&S ASSOCIATES, LLC.  
 BOOK 21127 PAGE 333  
 TAX MAP 314 LOT 4 BLOCK A



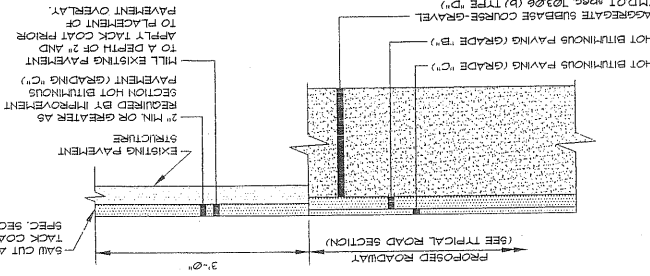
**TYP. PAVED PARKING LOT SECTION**



NOTES:

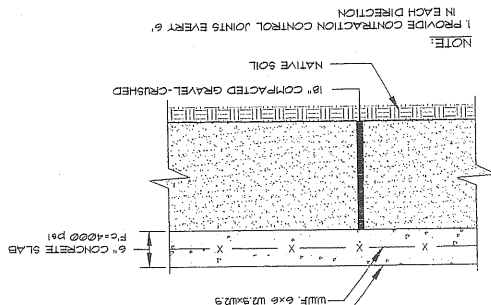
- 1. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATION FOR CONSTRUCTION REFERENCE.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION REFERENCE.
- 3. FINISH GRADE ELEVATION FOR CONSTRUCTION REFERENCE.

**TYPICAL PAVEMENT JOINT**

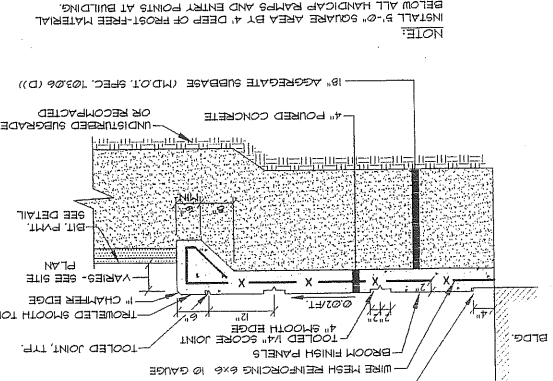


- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION REFERENCE.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION REFERENCE.
- 3. FINISH GRADE ELEVATION FOR CONSTRUCTION REFERENCE.

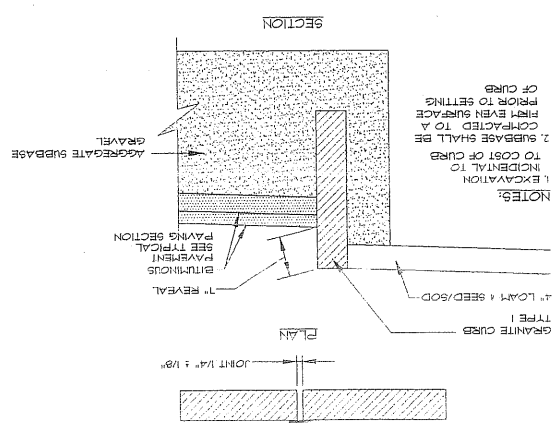
**TYPICAL CONCRETE SLAB**



**CONCRETE SIDEWALK**



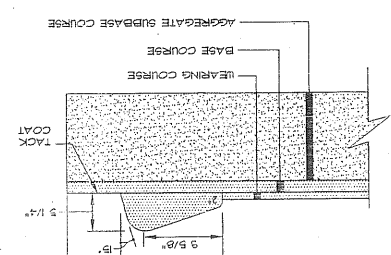
**VERTICAL GRANITE CURB**



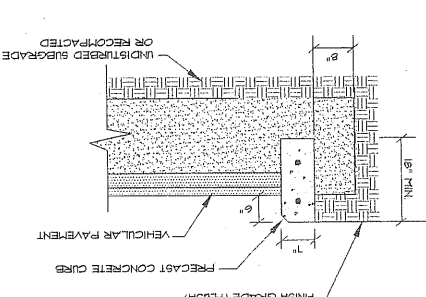
NOTES:

- 1. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATION FOR CONSTRUCTION REFERENCE.
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- 3. FINISH GRADE ELEVATION FOR CONSTRUCTION REFERENCE.

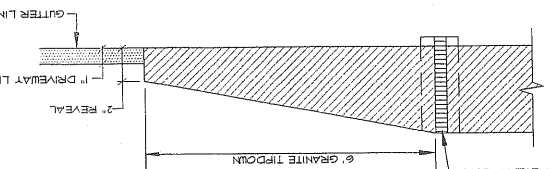
**CAPE COD CURB**



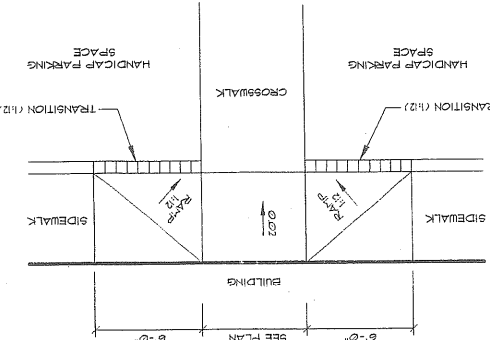
**PRECAST CONCRETE CURB**



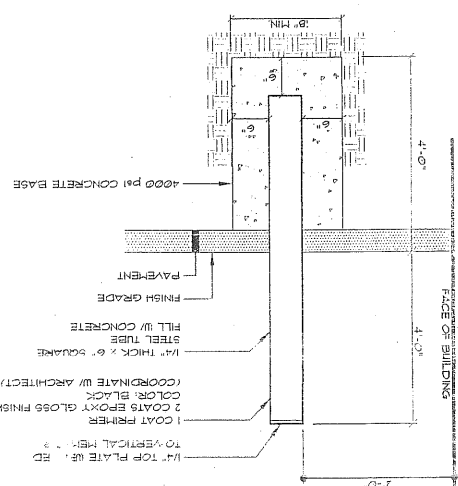
**TYPICAL TIPDOWN CURB INSTALLATION**



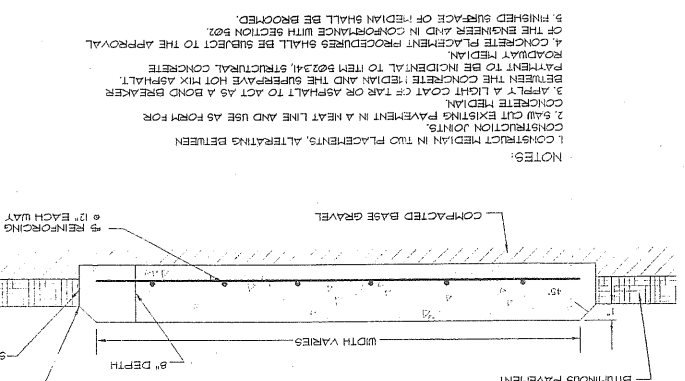
**HANDICAP RAMP**



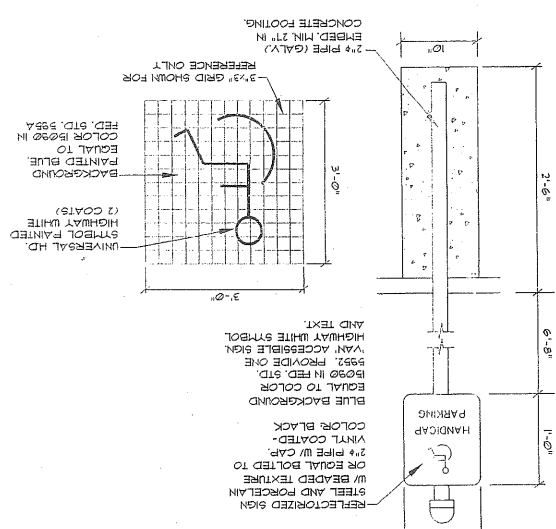
**METAL BOLLARD**



**RAISED CONCRETE DIVERTER**



**HANDICAP SIGNS**



**CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS AND CONSIDERING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES" PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARSH MANAGEMENT PRACTICES. PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARSH MANAGEMENT PRACTICES. PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARSH MANAGEMENT PRACTICES. PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARSH MANAGEMENT PRACTICES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEVIATION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
11. CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS MEMBER UTILITIES ABOUT THE DIG WITHIN THE DIG SAFE MEMBER'S SERVICE AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND NOTIFYING ALL OTHER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SHALL LOCAL UTILITIES, AS WELL AS USE PUBLIC WORKS SYSTEMS.
12. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS 336-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROVED UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
13. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
14. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
15. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
16. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
17. THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS SHALL REPLACE REPLACEMENT AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS AND TO MAINTAIN THE PROPER FOREST GROWTH.
18. DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
19. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS AND TO MAINTAIN THE PROPER FOREST GROWTH.
20. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
21. WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNIC, INC.
22. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
23. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
24. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATIONS OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
25. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
26. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.

**CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS AND CONSIDERING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES" PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARSH MANAGEMENT PRACTICES. PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARSH MANAGEMENT PRACTICES. PUBLISHED BY THE GIBBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARSH MANAGEMENT PRACTICES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEVIATION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
11. CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS MEMBER UTILITIES ABOUT THE DIG WITHIN THE DIG SAFE MEMBER'S SERVICE AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND NOTIFYING ALL OTHER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SHALL LOCAL UTILITIES, AS WELL AS USE PUBLIC WORKS SYSTEMS.
12. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS 336-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROVED UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
13. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
14. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
15. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
16. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
17. THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS SHALL REPLACE REPLACEMENT AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS AND TO MAINTAIN THE PROPER FOREST GROWTH.
18. DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
19. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RELOCATION OF ALL DAMAGED AND DEFECTIVE MATERIALS AND TO MAINTAIN THE PROPER FOREST GROWTH.
20. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
21. WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNIC, INC.
22. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
23. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
24. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATIONS OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
25. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
26. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.

DATE: 5-14-04  
SCALE: AS SHOWN

OF: DUNKIN DONUTS  
WARREN AVENUE  
PORTLAND, MAINE

FOR: KIMCO DEVELOPMENT CORP.  
DUNKIN DONUTS  
FAIRBOUTH, MAINE 04103

PROJECT NO.: FIELD BOOK  
DESIGN: JRP  
CHECK: JRP  
DRAWN: ASB

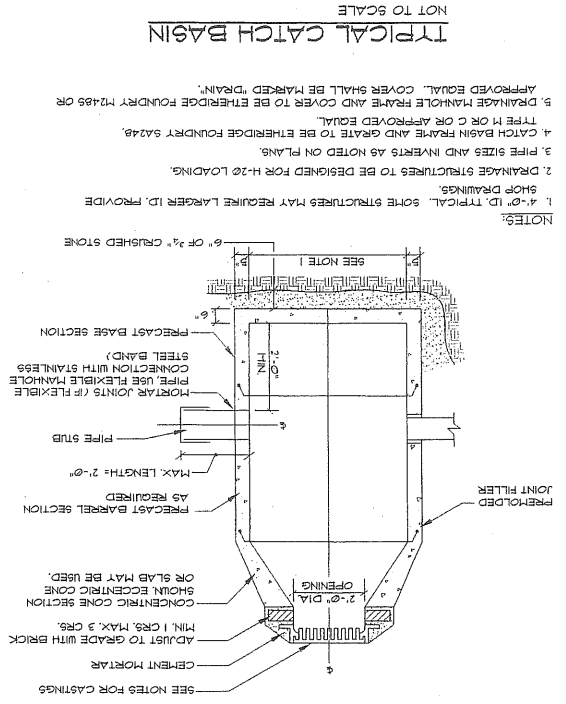
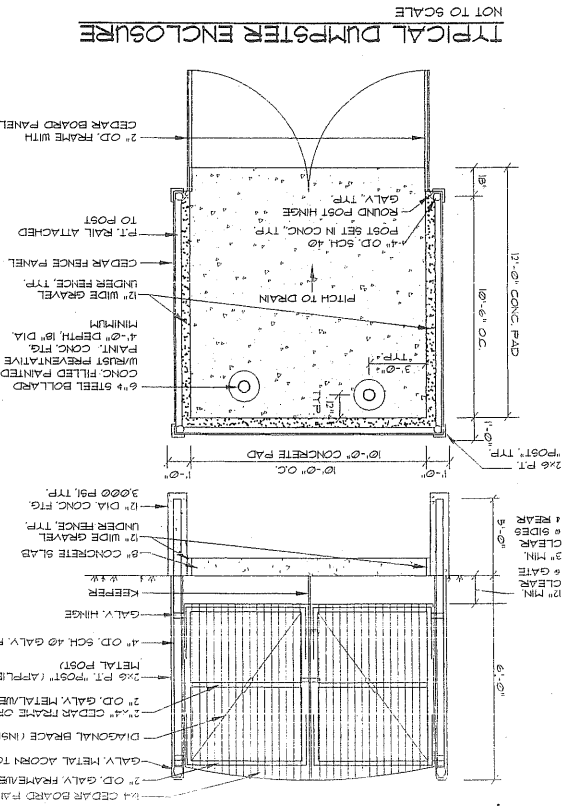
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Engineering Expertise You Can Build On  
One Chestnut Street  
Westbrook, Me 04095-1339  
Tel (207) 858-0277

REV.	BY:	DATE:	STATUS:
D	JRP	3/4/05	SUBMITTED FOR FINAL APPROVAL
C	JRP	10/7/04	REVISED LAYOUT AND STORMWATER
B	JRP	8/19/04	SUBMITTED FOR M.D.O.T. SCORING MEETING
A	JRP	3-29-04	SUBMIT FOR SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIC, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIC, INC.





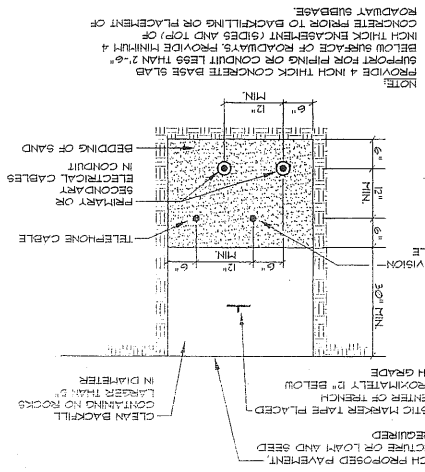


- NOTES:
1. 4'-0\"/>

- SEE NOTES FOR CALLINGS
- CEMENT MORTAR
- MIN. 1 CRS, MAX. 3 CRS.
- ADJUST TO GRADE WITH BRICK
- SHOW ECCENTRIC CONE
- CONCENTRIC CONE SECTION
- OR SLAB MAY BE USED.
- PRECAST BARREL SECTION
- AS REQUIRED
- MAX LENGTH: 2'-0"
- PIPE SUB
- PORTAR JOINTS (IF FLEXIBLE)
- PIPE USE FLEXIBLE MANHOLE CONNECTION WITH STAINLESS STEEL BAND)
- PRECAST BASE SECTION
- 6" OF 3/4" CRUSHED STONE
- SEE NOTE 1

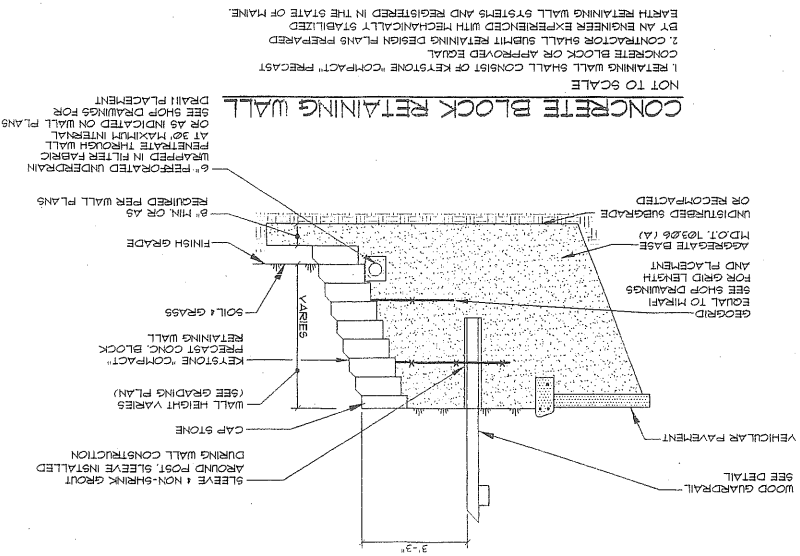
### TYPICAL UNDERGROUND CABLE INSTALLATION

NOT TO SCALE

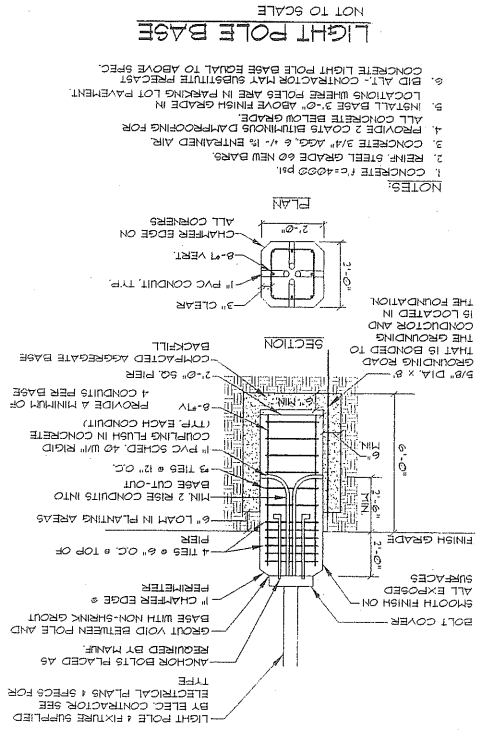


NOTE: PROVIDE A 4 INCH THICK CONCRETE BASE SLAB MINIMUM 4\"/>

CONCRETE REINFORCING TO BACKFILLING OR PLACEMENT OF ROADWAY SUBBASE



1. RETAINING WALL SHALL CONSIST OF KEYSTONE "COMPACT" PRECAST CONCRETE BLOCK OR APPROVED EQUAL.
2. CONCRETE BLOCK OR APPROVED EQUAL SHALL BE REINFORCED WITH MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS AND REGISTERED IN THE STATE OF MAINE BY AN ENGINEER EXPERIENCED WITH MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS.



- NOTES:
1. CONCRETE FC:4000 psi.
  2. REIN. STEEL GRADE 60 NEW BARS.
  3. CONCRETE 3/4" AGG. & 1/2" ENTRAINED AIR.
  4. PROVIDE 2 COATS BITUMINOUS WATERPROOFING FOR ALL CONCRETE BELOW GRADE.
  5. INSTALL BASE 3'-0" ABOVE FINISH GRADE IN LOCATIONS WHERE POLES ARE IN PARKING LOT PAVEMENT.
  6. CONCRETE LIGHT POLE BASE EQUAL TO ABOVE SPEC. BID ALL. CONTRACTOR MAY SUBSTITUTE PRECAST.

1. 4'-0\"/>

- NOTE: MATCH REPOSED PAVEMENT STRUCTURE OR LOT# AND SEED AS REQUIRED.
- PLASTIC MARKER TAPE PLACED APPROXIMATELY 1" BELOW FINISH GRADE.
- CLEAN BACKFILL CONTAINING NO ROCKS LARGER THAN 2" IN DIAMETER.
- TELEPHONE CABLE
- SECONDARY ELECTRICAL CABLES
- PRIMARY OR
- BEDDING OF SAND

REV.	BY	DATE	STATUS
A	JRP	6/14/04	SUBMITTED FOR PRELIMINARY SITE PLAN REVIEW
B	JRP	8/19/04	SUBMITTED FOR M.D.O.I. SCOPING MEETING
C	JRP	10/7/04	REVISED LAYOUT AND STORMWATER DETENTION POND
D	JRP	3/4/05	SUBMITTED FOR FINAL APPROVAL

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Tel. (207) 658-0277

PROJECT NO. 03461	DESIGN JRP	CHECK JRP	DRAWN FCL
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DETAILS

OF:

**DUNKIN DONUTS**

MARBLE AVENUE

PORTLAND, MAINE

FOR:

**KIMCO DEVELOPMENT CORP.**

DUNKIN DONUTS PLAZA, 65 GRAY ROAD

FALMOUTH, MAINE 04105

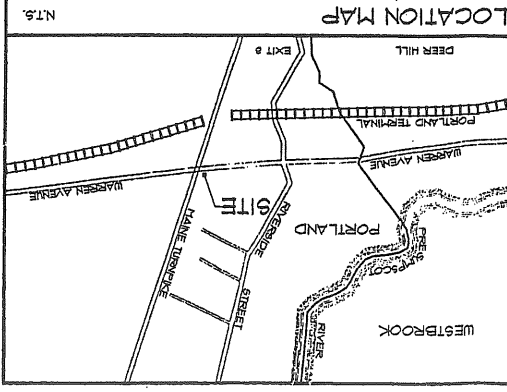


N/  
FRANCIS P. DRAKE  
P.O. BOX 1378  
PORTLAND, MAINE  
8229/47  
TAX MAP 314  
LOT A-6 LOT 2

Copper Radial Field  
Easement Area

N/  
FULLER-JEFFREY  
533 WARREN AVE.  
PORTLAND, MAINE  
12575/100, TAX MAP 314  
LOT B14-A1

Casey  
&  
Berge  
Parcel



### GENERAL NOTES:

1. THE RECORD OWNER OF THE PROPERTY IS OLIVER BROTHER LLC AND YOUNGER BROTHER LLC BY DEED AND RECORDED AT THE CLERK'S OFFICE AND COUNTY REGISTER OF DEEDS.  
2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 314, BLOCK A, DEPICTED AS LOT 1 AND IS LOCATED IN THE B-4 (COMMERCIAL CORRIDOR BUSINESS) ZONE.

3. SPACE AND BULK CRITERIA: (B-4 COMMERCIAL CORRIDOR BUSINESS)  
MIN. LOT SIZE: 10,000 SF  
MIN. STREET FRONTAGE: 100 FT  
MIN. SIDE YARD: 10 FT  
MIN. REAR YARD: 20 FT  
MIN. REAR YARD HEIGHT: 10 FT  
MAX. LOT COVERAGE: 25%  
PERMISSIBLE AREA: 2,500 SF

4. PLAN REFERENCES:  
A. EXISTING CONDITIONS PLAN PREPARED BY OWEN HASKELL, INC. DATED JAN. 50, 2002, REVISED AUGUST 8, 2002.  
C. UTILITIES HAVE BEEN DELINEATED BY DUKE ENGINEERING AND FIELD LOCATED BY OWEN HASKELL, INC.

5. THE PROJECT IS TO BE SERVICED BY PUBLIC WATER AND SEWER SYSTEMS.  
6. ALL MATERIALS AND INSTALLATIONS SHALL MEET H.D.O.T. AND/OR CITY OF PORTLAND STANDARDS AND SPECIFICATIONS.  
7. APPARENT UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON THE LOCATION OF EXISTING PART MARKERS TOGETHER WITH THE WHITE ABOVE GROUND MARKERS OF UNDERGROUND UTILITY STRUCTURES. DISCREPANCIES MUST BE NOTIFIED PRIOR TO ANY EXCAVATION OR INSTALLATION ON THIS SITE TO CONFIRM THE LOCATION OF UNDERGROUND UTILITIES THAT EXIST.

8. ALL TRAFFIC SIGNS SHALL MEET MUTCD STANDARDS.  
9. LANDSCAPE SHALL MEET THE APPLICABLE STANDARDS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.  
10. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICED ON THE SITE PLAN AND ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING LANDSCAPE, TOPOGRAPHY, DRAINAGE, RETAINING WALLS, EROSION CONTROL, AND OTHER MEASURES SHALL BE UNDERGOING REVIEW BY THE CITY OF PORTLAND AND DESIGN STANDARDS AND GUIDELINES.

11. ALL UTILITIES SHALL BE UNDERGROUND.  
12. UTILITIES AND CLOSING SHALL BE DESIGNED AND BUILT WITH TYPICAL PAVES AT ALL STREET CROSSINGS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.  
13. ALL EROSION CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH THE EROSION CONTROL HANDBOOK FOR CONSTRUCTION PUBLISHED BY THE CLERK'S OFFICE AND HAD AND HAVE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.  
14. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.

15. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOGS OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).  
16. PRIOR TO CONSTRUCTION A PRECONSTRUCTION MEETING SHALL BE HELD AT THE OFFICE OF THE ENGINEER. PARTICIPANTS SHALL INCLUDE THE OWNER, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND WORKS REPRESENTATIVE OF THE BUILDING CONTRACTOR.  
17. AT THE TIME OF THE PRECONSTRUCTION MEETING, THE BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE CITY OF PORTLAND. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.  
18. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE PLAN. ANY REMOVAL OF EXISTING VEGETATION SHALL BE DONE IN A MANNER THAT PRESERVES THE SOIL AND ROOT SYSTEMS OF REMAINING TREES. PRESERVATION OF TREES DESIGNATED FOR PRESERVATION SHALL NOT TAKE PLACE WITHIN THE DRAINAGE OR EROSION CONTROL MEASURES. PRESERVATION SHALL NOT TAKE PLACE WITHIN THE DRAINAGE OR EROSION CONTROL MEASURES.

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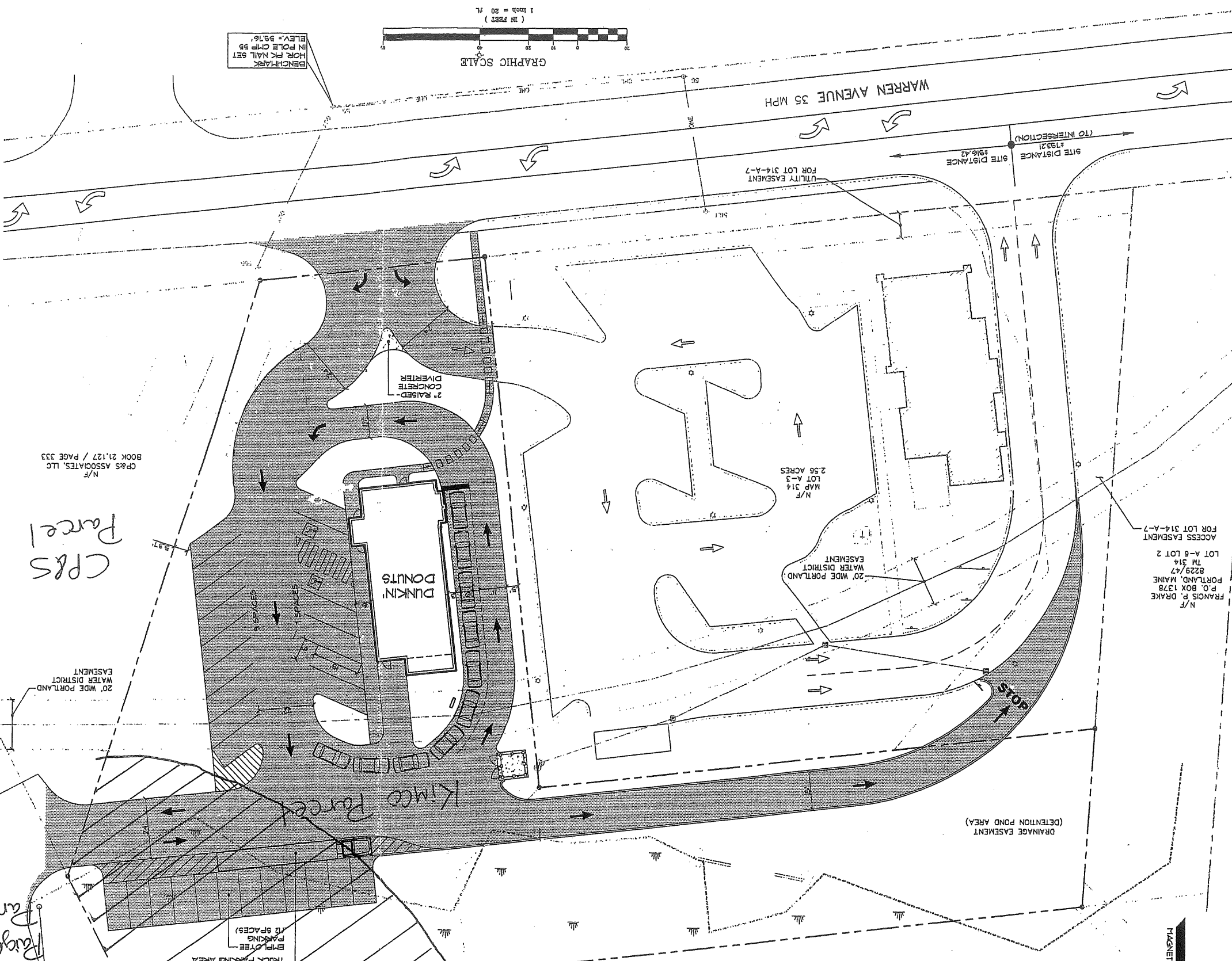
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SITE PLAN  
OF:  
DUNKIN' DONUTS  
WARREN AVENUE  
PORTLAND, MAINE  
FOR:  
KIMCO  
25 SPURWINK ROAD  
SCARBOROUGH, MAINE 04074

EXISTING	DESCRIPTION	PROPOSED
—	PROPERTY ROW	—
—	EASEMENT	—
—	BUILDING	—
—	WETLANDS	—
—	EDGE WETLAND	—
—	91KN	—
—	EDGE PAVEMENT	—
—	CURBLINE	—
—	GAS	—
—	STORM DRAIN	—
—	FORCE MAIN	—
—	OVERHEAD	—
—	ELEC. & TEL.	—
—	UNDERGROUND	—
—	ELEC. & TEL.	—
—	UTILITY POLE	—
—	CATCH BASIN	—
—	MANHOLE	—

DATE	SCALE
12-1-04	1"=20'

0346153 SHEET 1 OF 1

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Portland, ME 04107  
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PROJECT NO.	FIELD BOOK	DESIGN	CHKD.	DRAWN
03461		JRP	JRP	MAL

REV.	BY	DATE	STATUS

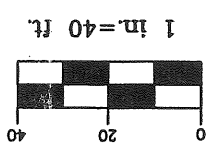
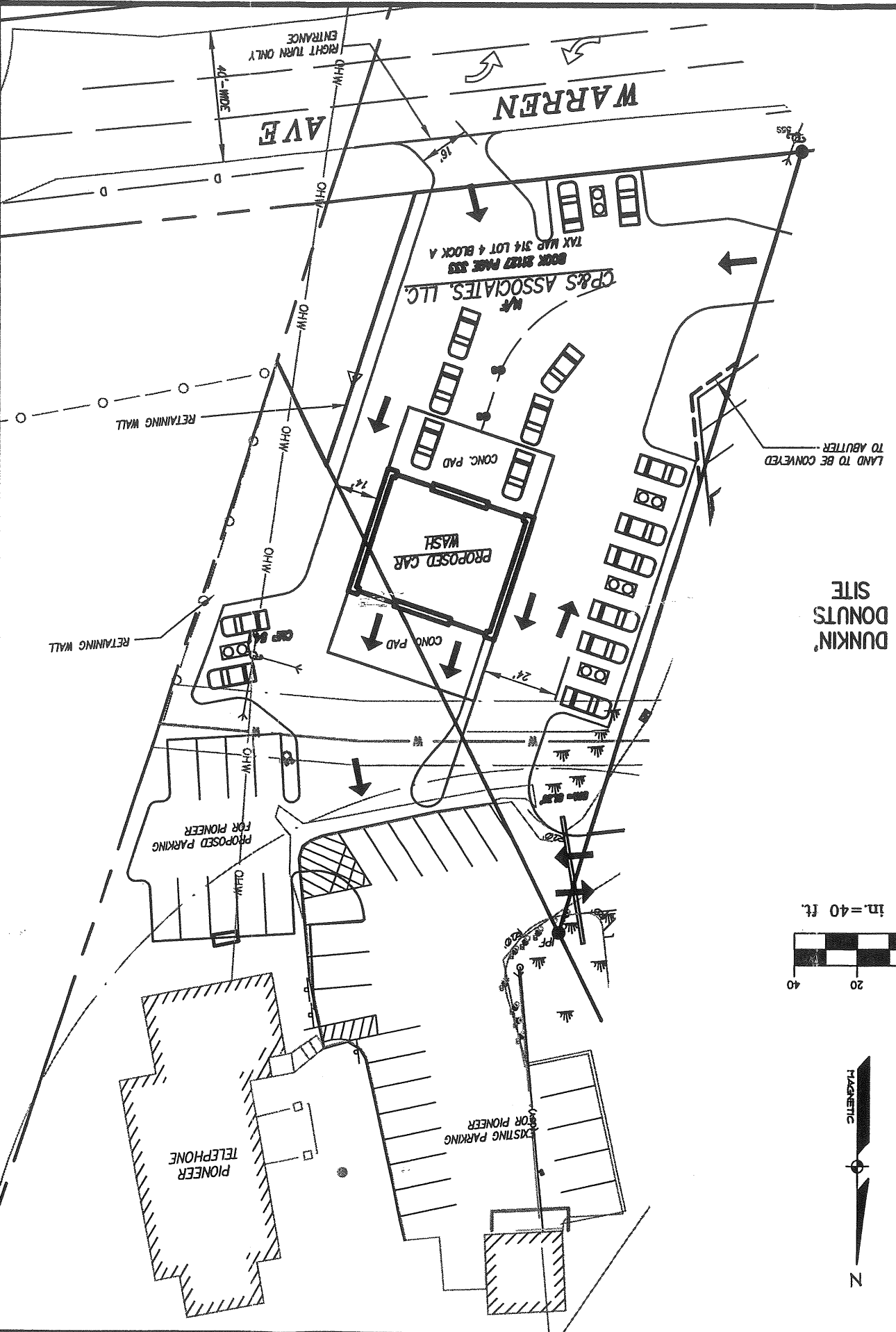
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#14



SHEET 2 OF 3  
 DRAWING: 03461EXH-B  
 PROJ. NO: 03461  
 FIELD BK: -  
 SCALE: 1"=40'  
 DATE: 7.12.05  
 CHECKED BY: -  
 DRAWN BY: -  
 DESIGN BY: -

EXHIBIT B  
 OF:  
 CP&S SITE PLAN  
 WARREN AVENUE  
 PORTLAND, MAINE



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