

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING DEPARTMENT PERMIT

Permit Number: 021375

This is to certify that Older Brother Llc & /Planet on Sign  
has permission to Amendment to permit # 0212 sign with 54.88 Ft.  
AT 615 Warren Ave 314 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

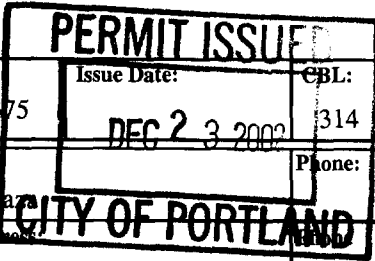
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1375	Issue Date: DEC 23 2002	CBL: 314 A003001
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Location of Construction: 615 Warren Ave	Owner Name: Older Brother Llc &	Owner Address: One Canal Plaza	Phone: 
Business Name: n/a	Contractor Name: Planet Neon Sign Company	Contractor Address: 11 Johnston Way Stow	Phone: 9788971550
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Amendment to Commercial	Zone: B4

Past Use: Commercial	Proposed Use: Wendy's Restaurant / Amendment to permit # 021297 original sign 100 sq. Ft. Amend. To 54.88 sq. Ft.	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: Amendment to permit # 021297 sign will be 54.88 sq. Ft.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type: n/a 12/20/02 Signature: [Signature]	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 12/16/2002	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: [Signature] 12/17/02	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION MAY NOT COMMENCE UNTIL THE PERMIT IS ISSUED

021375

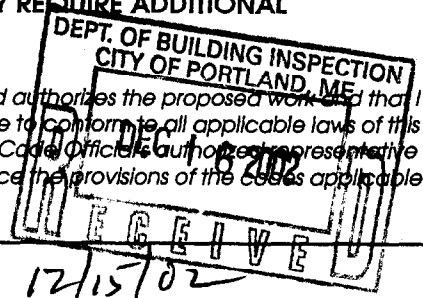
# Signage Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>549 Warren Ave</u>		
Total Square Footage of Proposed Structure <u>3,260</u>	Square Footage of Lot <u>52,192</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>314</u> Block# <u>3-A</u> Lot# <u>2</u>	Owner: <u>Wendy's International</u>	Telephone: <u>(978) 392-1200</u>
Lessee/Buyer's Name (if Applicable) <u>Wendy's</u>	Applicant name, address & telephone: <u>234 Littleton Rd Westford, MA. 01886</u>	Total s.f. of signage <u>54.88</u> 1.00 per s.f. \$ _____, plus \$30.00 base fee Fee: \$ <u>30-</u>
Current use: <u>RESTAURANT</u>		
If the location is currently vacant, what was prior use: <u>VACANT</u>		<u>Amendment</u>
Approximately how long has it been vacant: <u>UNKNOWN</u>		
Proposed use: <u>RESTAURANT</u>		<u>Reducing Footage</u>
Project description: <u>Original sign 100 ft Amended to 54.88 ft</u>		
Contractor's name, address & telephone: <u>Planet Neon 11 Johnston Way, STOW MA. 01775</u>		
Who should we contact when the permit is ready: <u>Paul Kudraskas</u>		
Mailing address: <u>Mail to: Contractor address</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$50.00 fee if a work starts before the permit is picked up. Phone:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work. I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



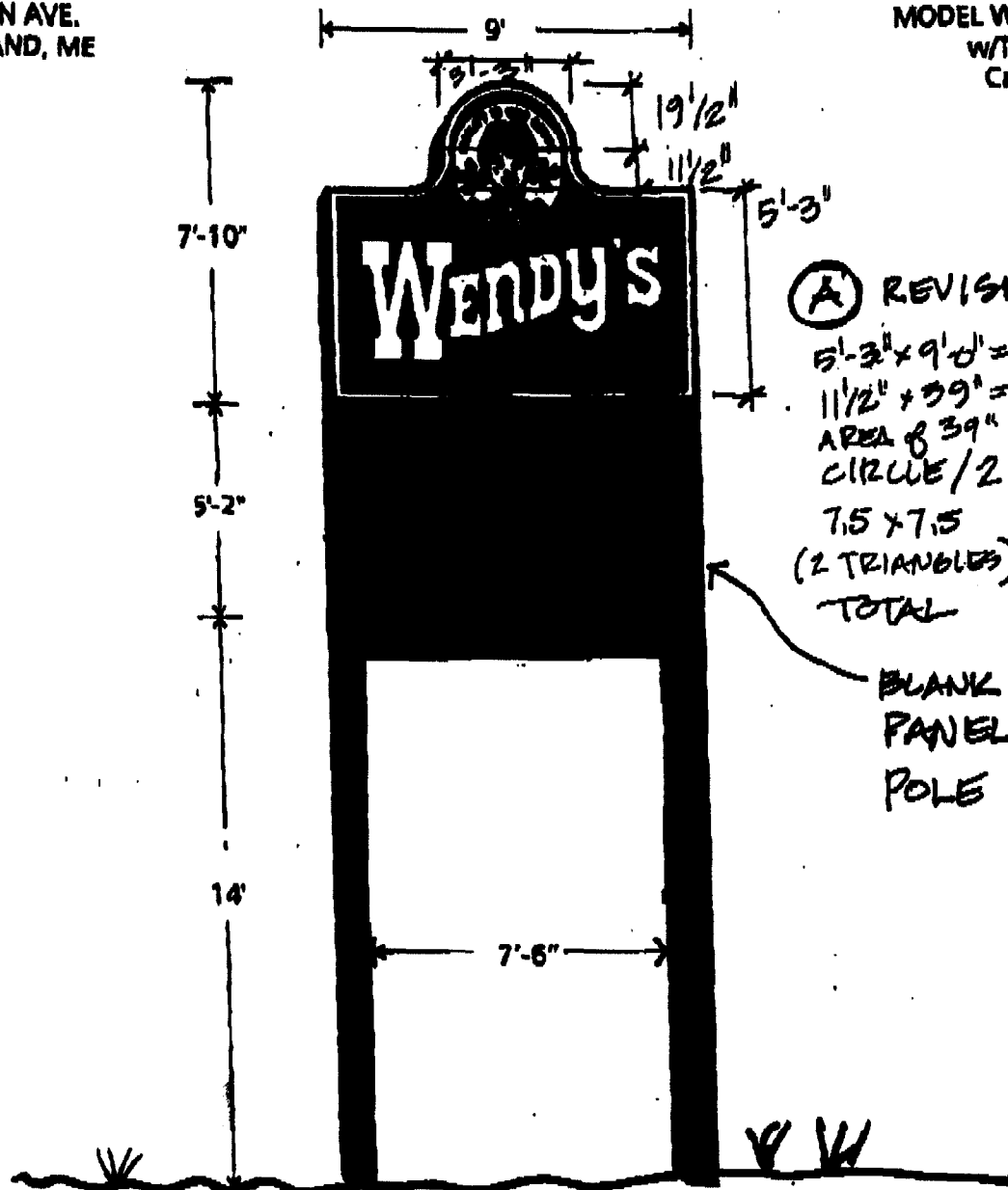
Signature of applicant: <u>[Signature]</u>	Date: <u>12/15/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

REVISED & RESUBMITTED DECEMBER 9, 2002

WENDY'S  
WARREN AVE.  
PORTLAND, ME

PYLON SIGNAGE  
MODEL WP100  
w/Tenant  
Cabinet



(A) REVISED

$5'-3" \times 9'-0" = 47.25$	SF
$11\frac{1}{2}" \times 39" = 3.11$	SF
AREA of 39"	
$CIRCLE / 2 = 4.14$	SF
$7.5 \times 7.5 = .79$	SF
(2 TRIANGLES)	
<b>TOTAL</b>	<b>54.89 SF</b>

BLANK BRONZE  
PANEL TO MATCH  
POLE BASE

DOUBLE FACE  
ILLUMINATED  
GROUND

- 10" SA ALUMINUM CABINETS PAINTED DK. BRONZE
- .180" PAN FORMED EMBOSSED SOLAR GRADE POLYCARBONATE FACES
- FLUORESCENT ILLUMINATION
- STEEL SQUARE TUBES WITH CROSS TUBE PAINTED DK. BRONZE

- DARK BRONZE
- WHITE
- UNIQUE RED
- PMS 310 BLUE
- BLACK
- GOLDEN YELLOW
- PMS 185 PLESH

**CUSTOM SIGN CENTER**

200 Valleyton Dr. Columbus, Ohio 43244  
800 979-7888 FAX 614-291-7888

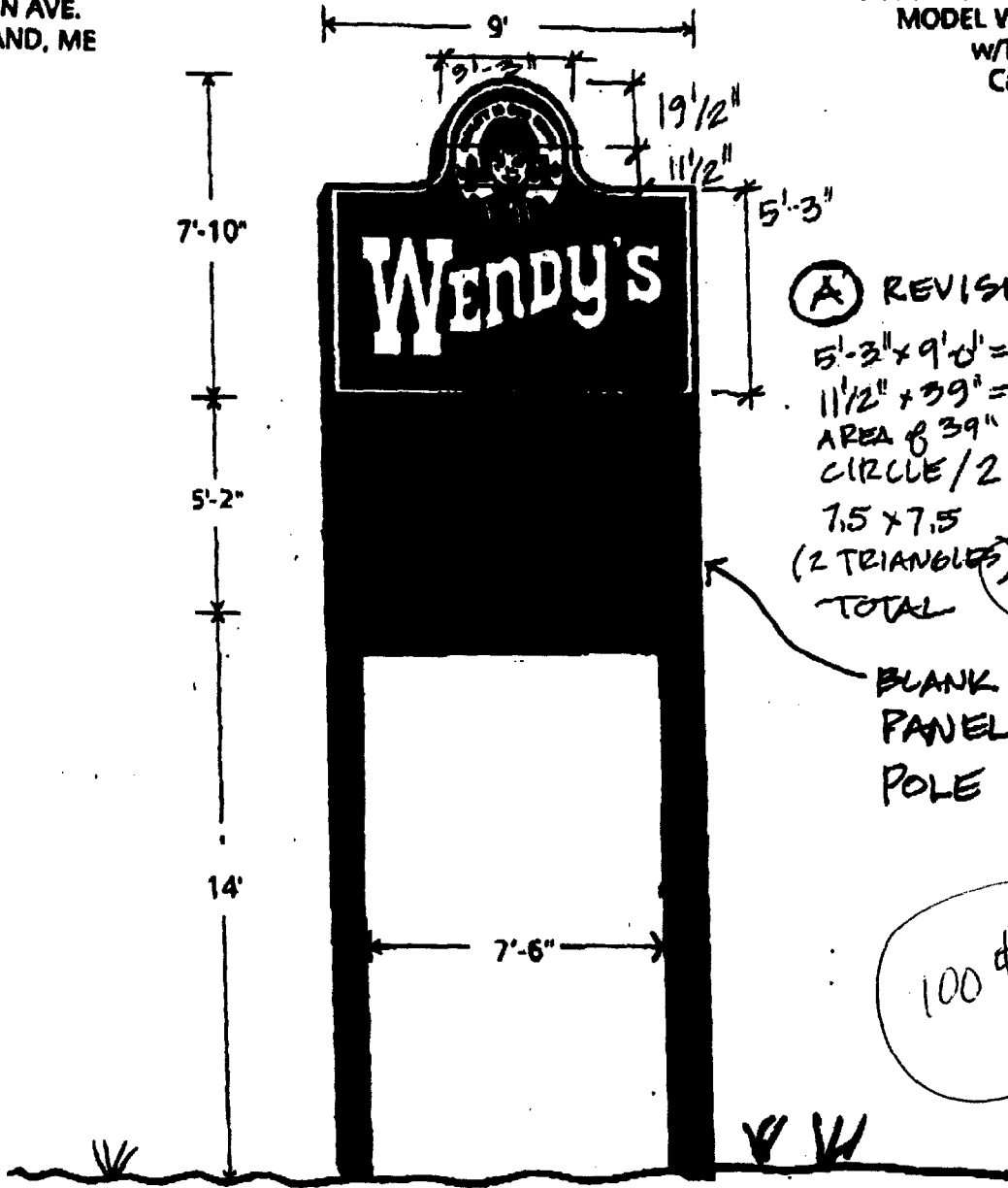
DRAWING# \_\_\_\_\_ REV# \_\_\_\_\_ DATE: 7/22/02 DESIGNED BY: GDS/NER/LAS SCALE: 1/4"=1' FILENAME: WENDY'S WP100 FOR BARD OFFICE APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

REVISED & REISSUED DECEMBER, 2002

WENDY'S  
WARREN AVE.  
PORTLAND, ME

PYLON SIGNAGE  
MODEL WP100  
w/Tenant  
Cabinet

314-A-003



(A) REVISED

$5'-3" \times 9'-0" = 47.25$  SF  
 $11\frac{1}{2}" \times 39" = 3.11$  SF  
 AREA OF 39"  
 $CIRCLE / 2 = 4.14$  SF  
 $7.5 \times 7.5 = .99$  SF  
 (2 TRIANGLES)  
**TOTAL 54.89 SF**

BLANK BRONZE  
PANEL TO MATCH  
POLE BASE

100 \$ MAX

ol  
S  
12/10/02

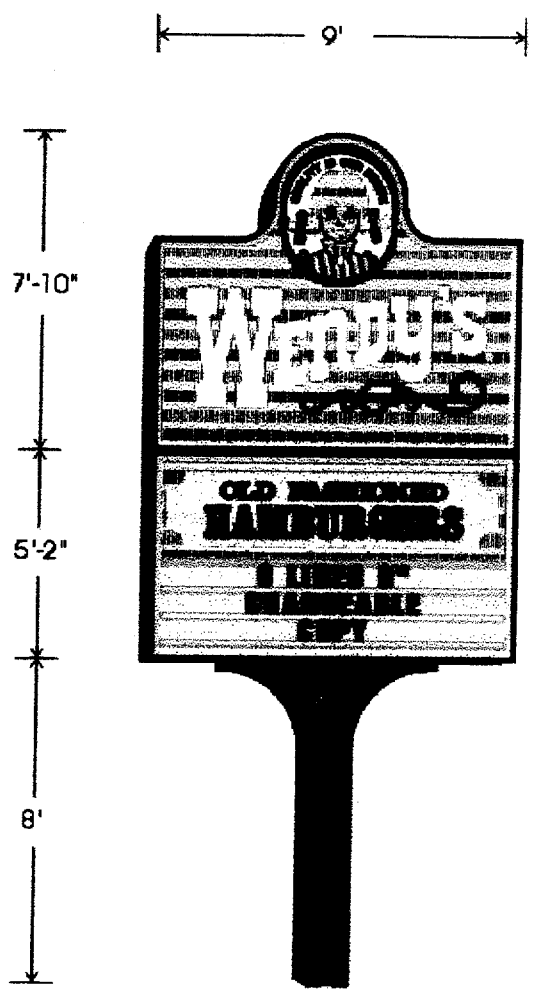
<input type="checkbox"/> DOUBLE FACE <input type="checkbox"/> ILLUMINATED <input type="checkbox"/> GROUND	• 10" SA ALUMINUM CABINETS PAINTED DK BRONZE • .190" PAN FORMED EMBOSSED SOLAR GRADE POLYCARBONATE FACES • FLUORESCENT ILLUMINATION • STEEL SQUARE TUBES WITH CROSS TUBE PAINTED DK BRONZE	<input type="checkbox"/> DARK BRONZE <input type="checkbox"/> WHITE <input type="checkbox"/> UNIQUE RED <input type="checkbox"/> PMS 310 BLUE <input type="checkbox"/> BLACK <input type="checkbox"/> GOLDEN YELLOW <input type="checkbox"/> PMS 195 PLESH	<b>CUSTOM SIGN CENTER</b> 2700 Valleyview Dr. Columbus Ohio 43264 FAX 270-7325 270-9900
DRAWINGS: _____ REVD: _____	DATE: 7/22/02 SCALE: 1/4" = 1'	DESIGNER: LAS FILENAME: WENDYS WP100 PORTLAND	SALESPERSON: MRC WEARNER CUSTOMER APPROVAL: _____ DATE: _____

original sign permit #314-A-003  
02-1297

received  
12/10/02

Approved from 02-1297 issued 11/26/02

PYLON SIGNAGE  
MODEL WP100



Previous  
Approved

<b>ADDITIONAL SPECS</b>		
<ul style="list-style-type: none"> <li>■ <b>DOUBLE FACE ILLUMINATED</b></li> <li>■ <b>GROUND</b></li> </ul>	<ul style="list-style-type: none"> <li>- 10" SA ALUMINUM CABINET PAINTED DK. BRONZE</li> <li>- .150" PAN FORMED EMBOSSED SOLAR GRADE POLYCARBONATE FACES</li> <li>- FORMED A.B.S. POLE COVER</li> <li>- FLUORESCENT ILLUMINATION</li> </ul>	
<ul style="list-style-type: none"> <li>■ DARK BRONZE</li> <li>■ WHITE</li> <li>■ UNIQUE RED</li> <li>■ PMS 310 BLUE</li> <li>■ BLACK</li> <li>■ GOLDEN YELLOW</li> <li>■ PMS 155 FLESH</li> </ul>		
<b>DRWG.# 096484-6 REV#</b>	<b>DATE 10/96</b> <b>SCALE 1/4" = 1'</b>	<b>DATE</b> _____ <b>TITLE</b> _____

11/22/02

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1297	<b>PERMIT ISSUED</b>	Issue Date: 11/26/02	CBL: 314 A003001
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<b>Location of Construction:</b> 615 Warren Ave	<b>Owner Name:</b> Older Brother LLC	<b>Owner Address:</b> One Canal Plaza	<b>Phone:</b>
<b>Business Name:</b> n/a	<b>Contractor Name:</b> Planet Neon Sign Company	<b>Contractor Address:</b> 11 Johnston Way Stow	<b>Phone:</b> 9788971550
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Signs - Permanent	<b>Zone:</b> B-4

<b>Past Use:</b> Commercial	<b>Proposed Use:</b> Wendy's Restaurant / Erect 291 sq. Ft. Sign	<b>Permit Fee:</b> \$321.00	<b>Cost of Work:</b> \$0.00	<b>CEO District:</b> 1
<b>Proposed Project Description:</b> Erect 291 sq. Ft. Sign <i>11/27/02 - permit revised for Bldg signs only - not the freestanding sign that will be revised &amp; amended later - drawings for free standing sign - ok</i>		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: <i>A/U</i> Type: <i>NA</i> <i>11/25/02</i> Signature: <i>[Signature]</i>	
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 11/19/2002	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/22/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
		<i>Free standing Bldg signs only</i> <i>ok with conditions</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**SIGNAGE PRE-APPLICATION**

PLEASE ANSWER ALL QUESTIONS

ADDRESS: WARREN Ave ZONE: B4  
 OWNER: Wendy's International  
 APPLICANT: Planet Neon Sign Co.  
 ASSESSOR NO. 314-3-A-2

PLEASE CIRCLE APPROPRIATE ANSWER

SINGLE TENANT LOT?  YES  NO      MULTI-TENANT LOT?  YES  NO  
 FREESTANDING SIGN? (ex. Pole Sign)  YES  NO --- DIMENSIONS 9'W X 18'H HEIGHT 27'  
 MORE THAN ONE SIGN?  YES  NO      DIMENSIONS 106 3/4 HEIGHT 57  
 SIGN ATTACHED TO BLDG.?  YES  NO      DIMENSIONS #1 3' X 22'3" #3 3' X 10'6"  
 MORE THAN ONE SIGN?  YES  NO      DIMENSIONS #2 3' X 10'6"  
 AWNING: YES  NO      IS AWNING BACKLIT? YES  NO      HEIGHT OFF SIDEWALK  
 IS THERE ANY MESSAGE, TRADEMARK OR SYMBOL ON IT?

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS:

See ATTACHED DRAWINGS  
 A Pylon - 100 ft  
 F Building 66.9 ft  
 E " 31.5 ft  
 E " 31.5 ft  
 G Menuboard 42.2 ft  
 H Directionals 3, each  
 H Presale sign 7.2 ft

\*\*\* TENANT BLDG. FRONTAGE (IN FEET): 38' front / 92' Long both sides  
 \*\*\* REQUIRED INFORMATION

AREA FOR COMPUTATION

Free Standing Sign  
 ≥ 200' Street frontage  
 (263.92' shown)  
 MAX Area: 100 ft<sup>2</sup> - reset to exactly 100 ft<sup>2</sup> for all  
 height: 35' - 27' shown  
 Setback: 5' from property - 5' shown

(Bldg signs)  
 2 # per linear foot of Bldg facade on which the sign is to be placed  
 Front 38' x 2 = 76 ft<sup>2</sup> max # - 3 x 22.25 = 66.75 ft<sup>2</sup>  
 Sides 88' x 2 = 176 ft<sup>2</sup> max # - 3 x 10.5 = 31.5 ft<sup>2</sup>  
 OK

**YOU SHALL PROVIDE:**

**A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED ARE ALSO REQUIRED.**

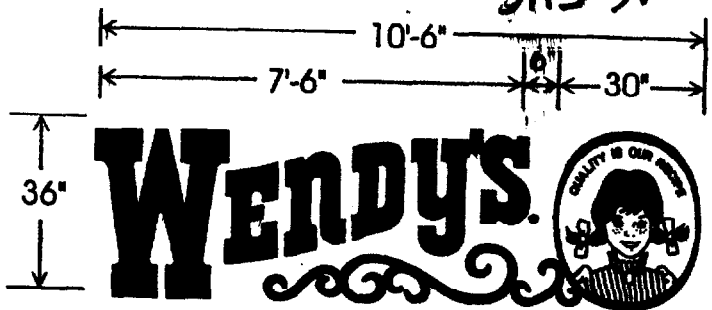
SIGNATURE OF APPLICANT: [Signature] DATE: 11/15/02





Both sides

31.5 SF



MODEL NO.

**WIL36C- Wendy's - With cameo**



(E)

FRONT

22'-3"

66.93 SF



**OLD FASHIONED HAMBURGERS**

(F)

MODEL NO.

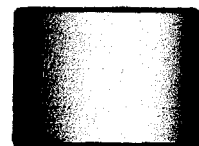
**WIL360FH- Wendy's with Cameo & Old Fashioned Hamburgers**

**NATIONAL SIGN SYSTEMS, INC.**

855 GRANDVIEW AVENUE  
COLUMBUS, OHIO 43215

COLUMBUS 614-486-3338  
TOLL FREE 1-800-544-6726  
FACSIMILE 614-486-0038

\* All Signs UL Approved



**THIS IS NOT A PERMIT/CONSTRUCTION MAY NOT COMMENCE UNTIL THE PERMIT IS ISSUED**

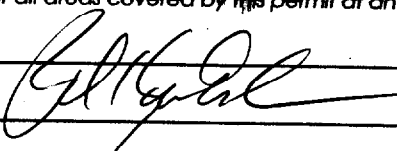
## Signage Application

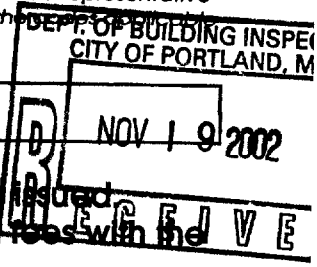
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Location/Address of Construction: <u>115 WARREN Ave</u>		
Total Square Footage of Proposed Structure <u>3,260 sq</u>	Square Footage of Lot <u>52,192 sq</u>	
Tax Assessor's Chart, Block & Lot Chart# <del>311-3-A</del> Block# <u>314</u> Lot# <u>003</u>	Owner: <u>Wendy's International</u>	Telephone: <u>(978) 392-1200</u>
Lessee/Buyer's Name (if Applicable) <u>Wendy's</u>	Applicant name, address & telephone: <u>234 Littleton Rd Westford, MA. 01886</u>	Total s.f. of signage <u>291</u> x 1.00 per s.f. \$ <u>291</u> , plus \$30.00 base fee Fee: \$ <u>321.00</u>
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: <u>VACANT</u>		
Approximately how long has it been vacant: <u>Unknown</u>		
Proposed use: <u>RESTAURANT</u>		
Project description:		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>Planet Neon Sign Co. / Paul Kudrinskis</u>		MAIL TO:
Mailing address:		<u>11 Johnston Way STOW, MA 01775</u>
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$50.00 fee if any work starts before the permit is picked up. Phone: <u>(978) 897-1550</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

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Signature of applicant: 	Date: <u>11/15/02</u>
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**November 15, 2002**

**City of Portland, ME**

**To Whom It May Concern:**

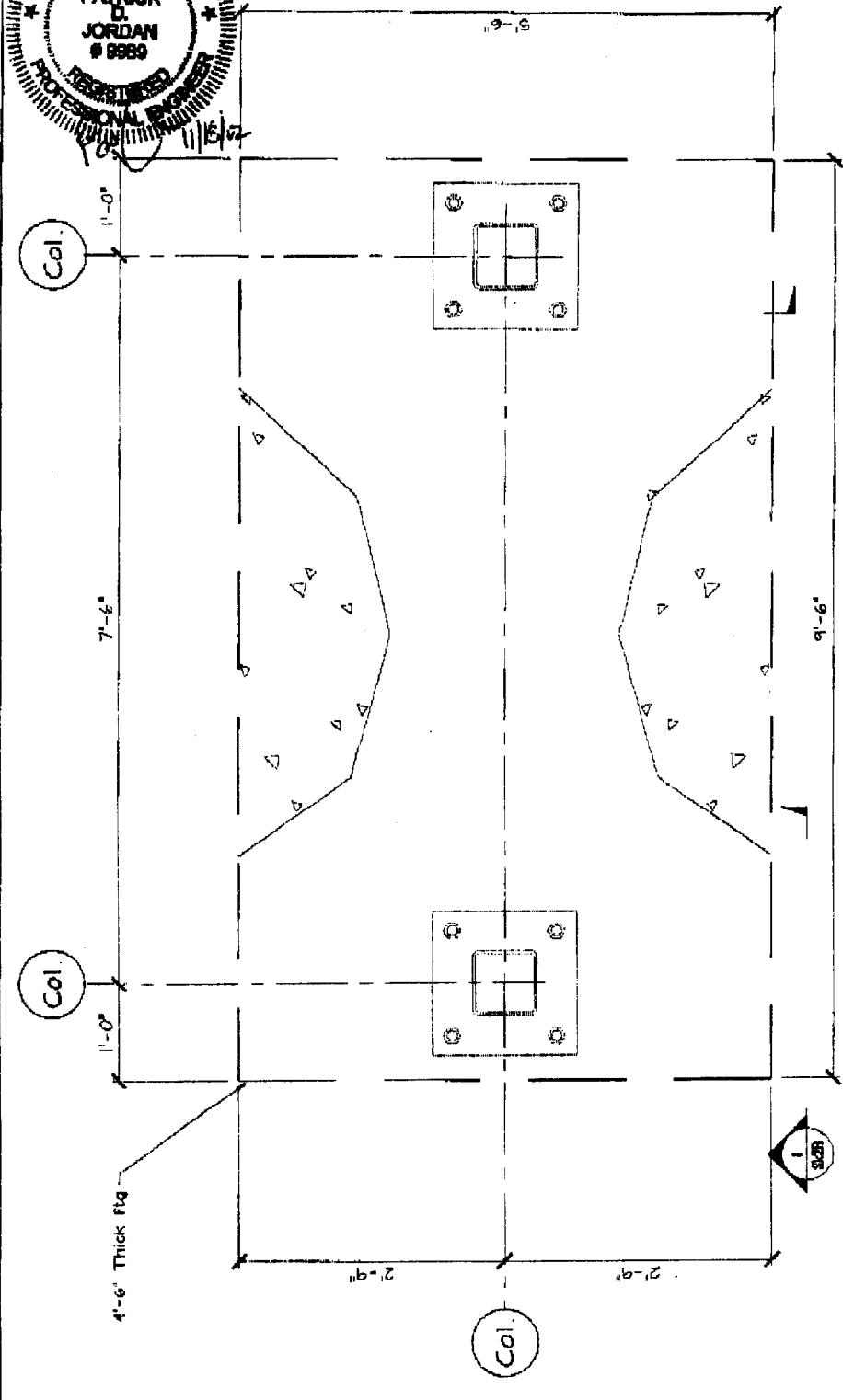
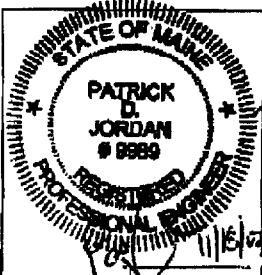
**This letter is to inform you that Wendy's International, Inc. has contracted Planet Neon to install all signage and acquire all necessary sign permits for out new restaurant located at 599 Warren Avenue, Portland, ME.**

**If you have any questions or concerns please contact me at 978-392-1200 ext. 135. Thank you.**

**Sincerely,**

A handwritten signature in black ink that reads "E. Mitchell". The signature is written in a cursive style.

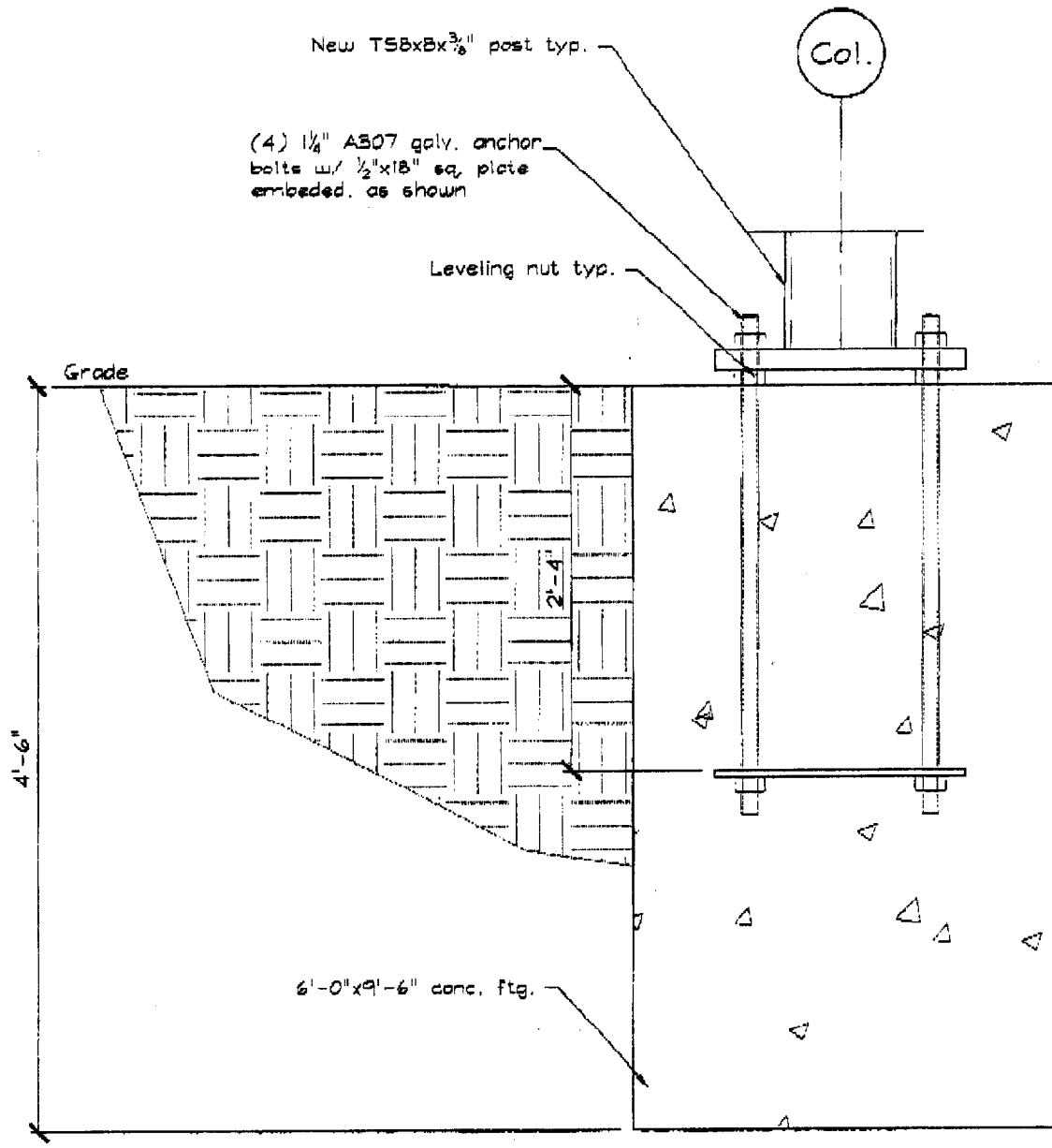
**Edward Mitchell  
Wendy's International, Inc  
Field Construction Manger**



**SIGN FOUNDATION PLAN**  
OPTION B  
SCALE: 3/4" = 1'-0"

**SEI** SHELLEY ENGINEERING, INC.  
STRUCTURAL CONSULTANTS  
90 BRIDGE STREET  
WESTBROOK, MAINE 04092  
PHONE (207) 854-6465  
FAX (207) 854-6706  
WWW.SHELLEYENGINEERING.COM

<b>Wendy's Sign Foundation</b>		
<b>WESTBROOK, MAINE</b>		
Drawn By: PDJ	Date: 11/14/02	Sheet: SK-1B
Checked By: PDJ	Scale: AS NOTED	Job No.: 2002-583



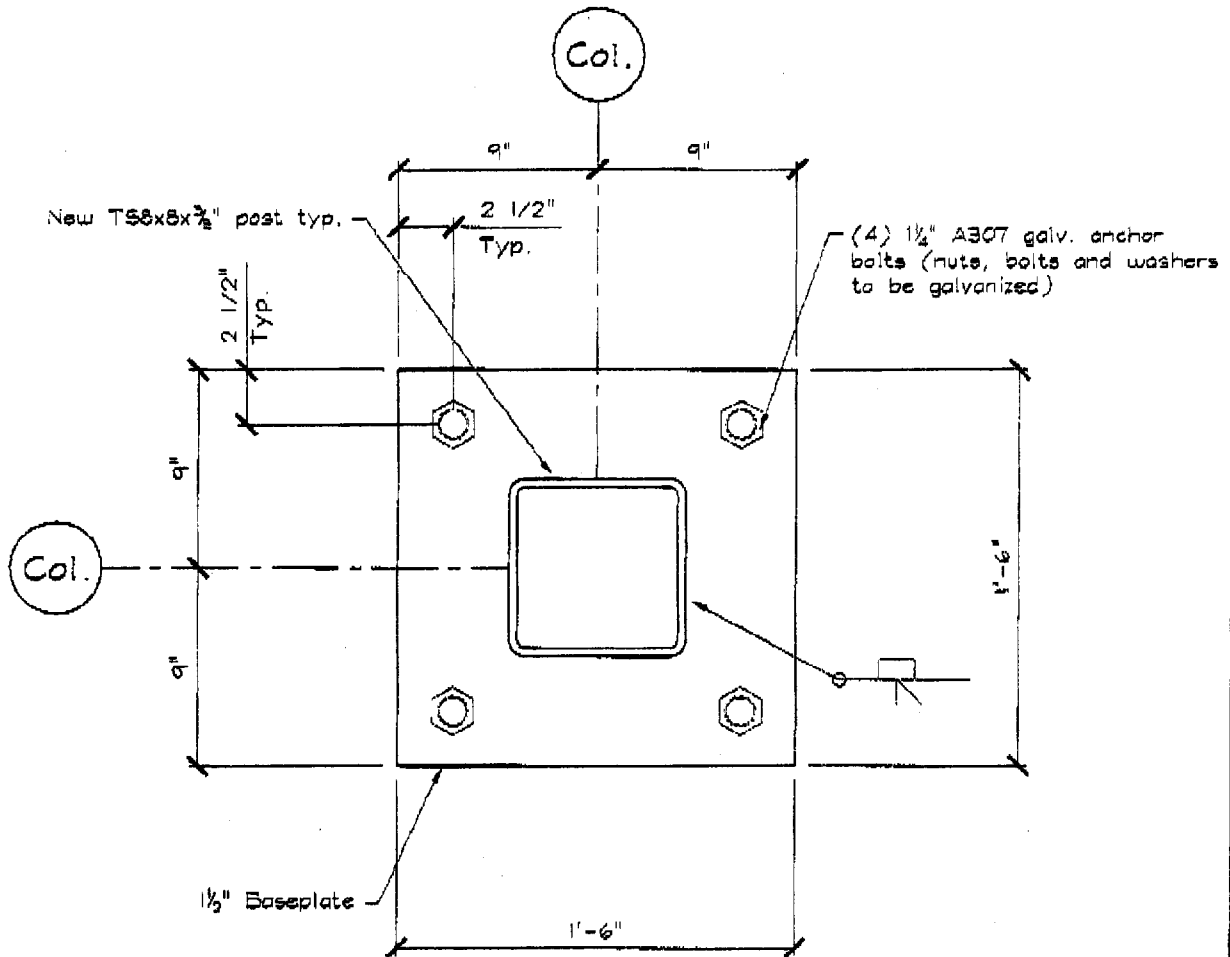
**SECTION**  
SCALE: 3/4" = 1'-0"

1  
SKIB

—SEI— SHELLEY ENGINEERING, INC.  
STRUCTURAL CONSULTANTS  
90 BRIDGE STREET  
WESTBROOK, MAINE 04092  
PHONE (207) 854-5465  
FAX (207) 854-8706  
WWW.SHELLEYENGINEERING.COM

**WENDY'S SIGN FOUNDATION  
WESTBROOK, MAINE**

Drawn By: PDJ	Date: 11/14/02	Sketch: SK-2B
Checked By: PDJ	Scale: AS NOTED	Job No.1 2002-583



**TYPICAL BASEPLATE DETAIL**

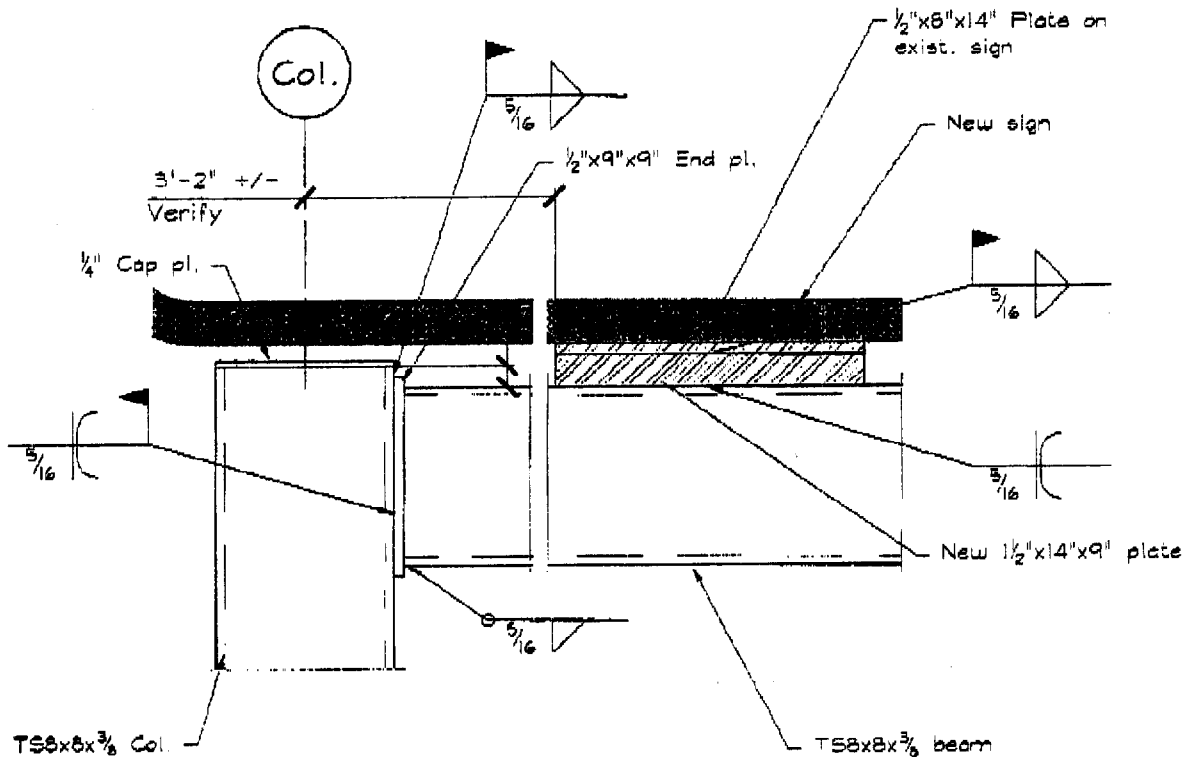
SCALE: 1 1/2" = 1'-0"

SEI

**SHELLEY ENGINEERING, INC.**  
 STRUCTURAL CONSULTANTS  
 90 BRIDGE STREET  
 WESTBROOK, MAINE 04092  
 PHONE (207) 854-5465  
 FAX (207) 854-8706  
 WWW.SHELLEYENGINEERING.COM

**WENDY'S SIGN FOUNDATION  
 WESTBROOK, MAINE**

Drawn By: PDJ	Date: 11/14/02	Sketch: SK-3B
Checked By: PDJ	Scale: As NOTED	Job No.1 2002-588



**TYPICAL CONN. - TS BEAM TO TS COL.**

SCALE: 1 1/2" = 1'-0"

SEI

**SHELLEY ENGINEERING, INC.**  
 STRUCTURAL CONSULTANTS  
 90 BRIDGE STREET  
 WESTBROOK, MAINE 04092  
 PHONE (207) 854-6465  
 FAX (207) 854-6706  
 WWW.SHELLEYENGINEERING.COM

**WENDY'S SIGN FOUNDATION**  
**WESTBROOK, MAINE**

Drawn By:	Date:	Sketch:
PDJ	11/14/02	SK-4B
Checked By:	Scale:	Job No.:
PDJ	AS NOTED	2002-583

**STRUCTURAL DESIGN CRITERIA:**

1. BUILDING CODE: 1999 EDITION OF THE BOCA NATIONAL BUILDING CODE

**CONCRETE NOTES:**

1. ALL CONCRETE WORK SHALL CONFORM TO ACI-318-93.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI, MAXIMUM SIZE AGGREGATE SHALL BE 3/4".
3. CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
5. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
6. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
7. HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
8. CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:  
 CONCRETE CAST AGAINST EARTH = 3"  
 CONCRETE EXPOSED TO EARTH OR WEATHER = 1 1/2"  
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER = 3/4"

**STRUCTURAL STEEL NOTES - GENERAL**

1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.
2. ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE.
3. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPES SHALL BE A53, GRADE B
4. WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
5. STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
6. STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF TNEMIC SERIES 9097 ZINC PRIMER AND A TOP COAT OF TNEMIC SERIES 73 ENDURASHIELD. TOUCH UP IN FIELD AS REQ'D.

—SEI—

**SHELLEY ENGINEERING, INC.**  
 STRUCTURAL CONSULTANTS  
 90 BRIDGE STREET  
 WESTBROOK, MAINE 04092  
 PHONE (207) 854-5465  
 FAX (207) 854-8706  
 WWW.SHELLEYENGINEERING.COM

**WENDY'S SIGN FOUNDATION**  
**WESTBROOK, MAINE**

Drawn By: PDJ	Date: 11/14/02	Sheet: SK-5B
Checked By: PDJ	Scale: AS NOTED	Job No.: 2002-583





11/22/02

www.customsigncenter.com e-mail:signs@customsigncenter.com (614)279-6700 (800)522-2934 FAX (614)279-7525

Ms. Marge Schmuckal  
11/22/02  
Chief Zoning Administrator  
City of Portland, ME  
389 Congress St.  
Portland, ME 04101

Re: Wendy's – Warren Ave. – Portland, ME

Dear Ms. Schmuckal;

Please be advised that the attached drawing of the WP100 Pylon Sign is calculated at exactly 100 square feet.

Thank you,

Thaddeus King  
Design / Engineer  
Custom Sign Center

**From:** "Thaddeus King - Custom Sign Center" <tking@customsigncenter.com>  
**To:** Portland.CityHall(MES)  
**Date:** Fri, Nov 22, 2002 4:20 PM  
**Subject:** Wendy's, Warren Ave. Portland, ME

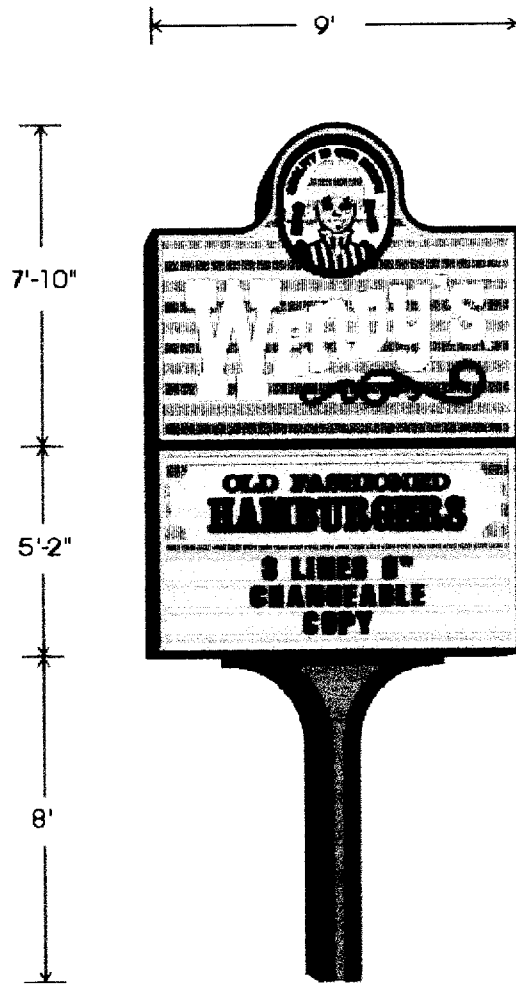
Ms. Schmuckal  
Chief Zoning Administrator  
City of Portland, ME  
389 Congress St.  
Portland, ME 04101

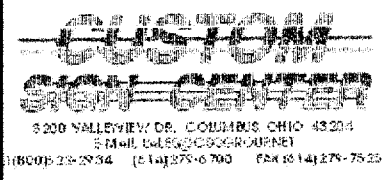
Please find attached a letter (Word document) explaining the square footage of the WP100 Pylon Sign and an attached drawing of the sign.

R. Thaddeus King  
Custom Sign Center  
3200 valley View drive  
Columbus, Ohio 43204  
(614) 279-6700

11/22/02

PYLON SIGNAGE  
MODEL WP100



<p><b>DOUBLE FACE ILLUMINATED</b></p> <p><b>GROUND</b></p>		<p><b>ADDITIONAL SPECS</b></p> <ul style="list-style-type: none"> <li>- 10" SA ALUMINUM CABINET PAINTED DK. BRONZE</li> <li>- .150" PAN FORMED EMBOSSED SOLAR GRADE POLYCARBONATE FACES</li> <li>- FORMED A.B.S. POLE COVER</li> <li>- FLUORESCENT ILLUMINATION</li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> DARK BRONZE</li> <li><input type="checkbox"/> WHITE</li> <li><input type="checkbox"/> UNIQUE RED</li> <li><input type="checkbox"/> PMS 310 BLUE</li> <li><input type="checkbox"/> BLACK</li> <li><input type="checkbox"/> GOLDEN YELLOW</li> <li><input type="checkbox"/> PMS 155 FLESH</li> </ul>	
<p>DRWG.# 096484-6</p>	<p>REV#</p>	<p>DATE 10/96</p> <p>SCALE 1/4" = 1'</p>	<p>CUSTOMER APPROVAL _____</p>	<p>DATE _____</p> <p>TITLE _____</p>

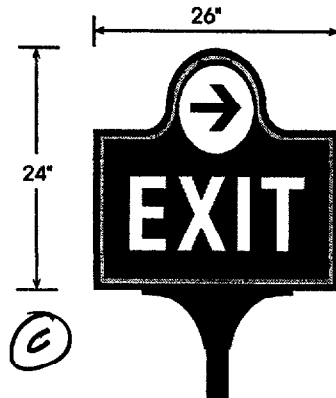
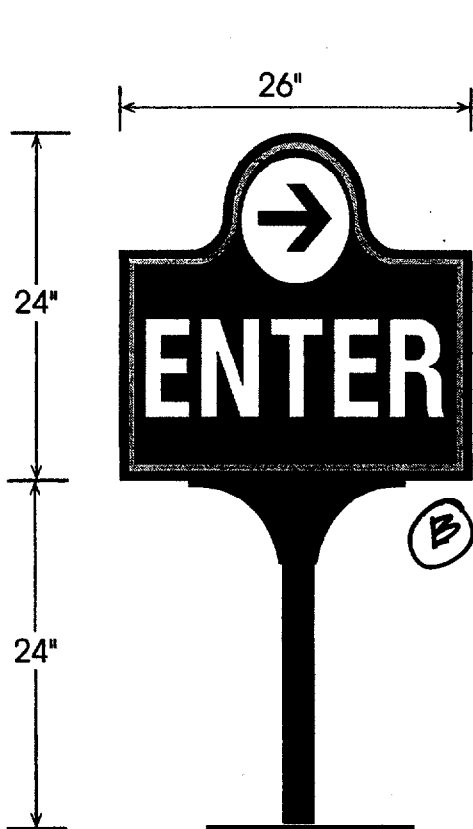
11/22/02



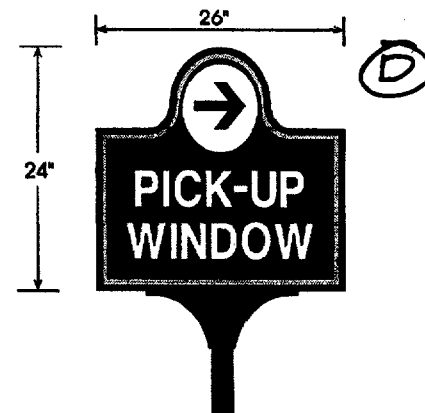
MODEL NO.  
**WD**

# DIRECTIONALS

● 2'-0" high x 2'-2" wide illuminated double face sign to direct traffic.



3 A  
4 signs



**OPTIONS :**  
 Enter  
 Exit  
 Pick-Up Window

## Product Features:

**SIZE:** 2" high x 2'-2" wide.

**FACES:** Flat face of 1/8" polycarbonate.

**GRAPHICS:** White letters on an illuminated red background with a black scroll. The entire sign is surrounded by golden yellow border. All graphics screen printed on second surface.

**CABINET:** 5" wide aluminum extrusion with aluminum retainers both with a painted dark bronze finish.

**ILLUMINATION & ELECTRICAL:** 800mA high output cool white fluorescent lighting. Requires 1-15 amp circuit at 110v/60 Hz. Total amperage is 1.2 amps.\*

**POLE & POLE COVER:**

**POLE:** 2 1/2" x 2 1/2" x 1/8" steel pipe 51" long.

Painted with rust prohibitive primer.

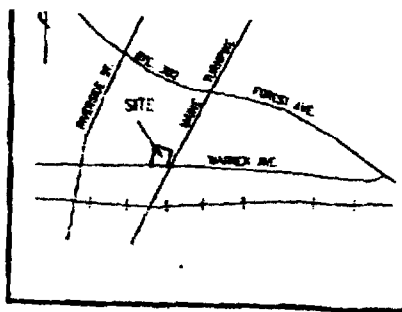
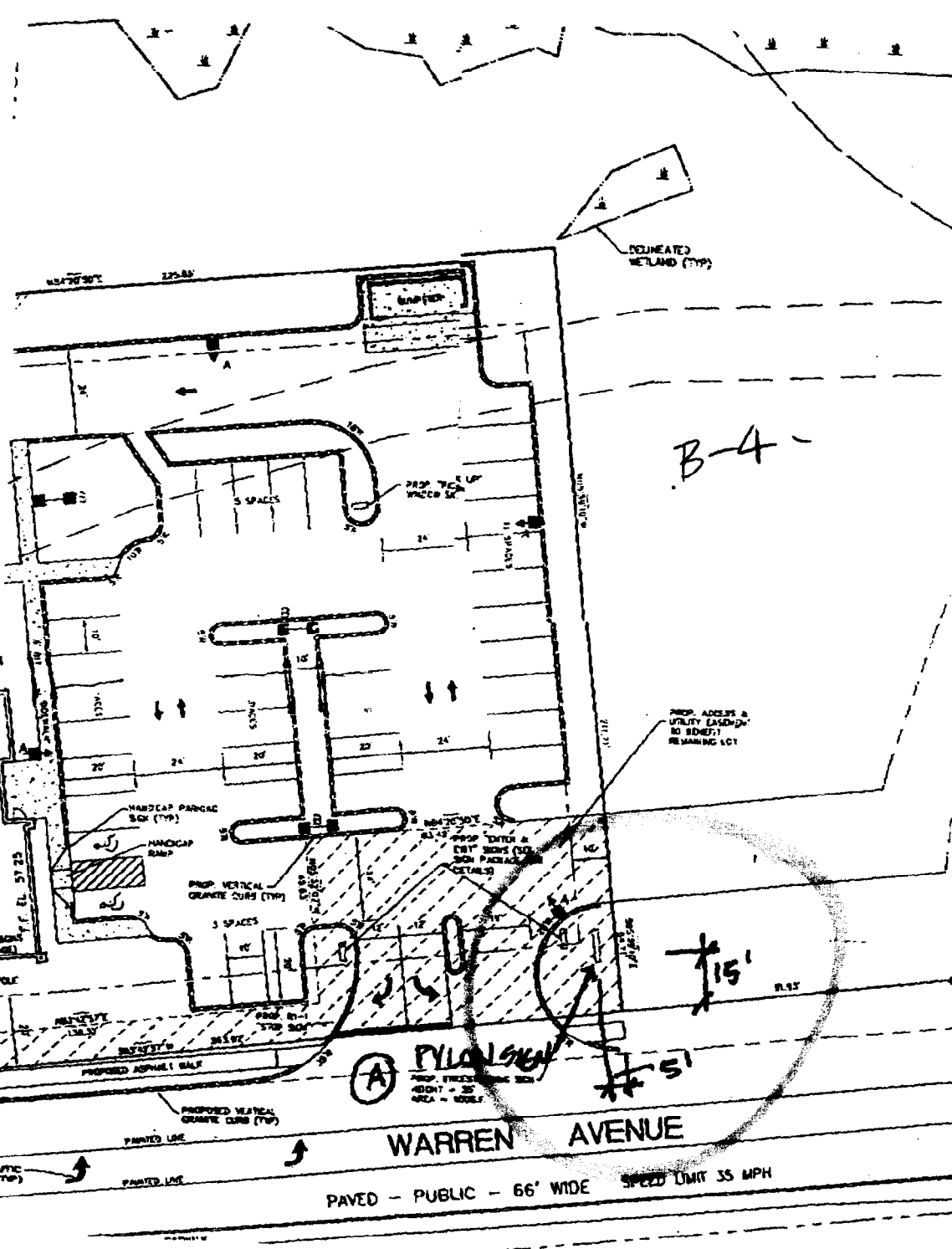
**POLE COVER:** Formed ABS plastic. Painted dark bronze finish.

**MOUNTING INSTRUCTIONS:** Pipe stub and weld plate provided. Weld match plate to top of pole. Direct burial installation. Mounting kit provided for pole cover assembly.

**FOUNDATION REQUIREMENTS:** Concrete base is 12" dia. x 36" deep. (Foundation specifications subject to local soil conditions and code requirements.)

\* Ballast and wiring can be modified for local conditions. (i.e. 220v/50Hz)

NOV-20-2002 03:11 AM



LOCATION PLAN  
-NOT TO SCALE-

LEGEND

EXISTING	PROPOSED
— SOIL	— PROPOSED STRAIGHT METAL GRANITE CURB
— METAL FENCE	▢ CONCRETE SURFACE
— WOOD FENCE	▽ SIGN
— CLARK RAIL	→ PAINTED TRAFFIC DIRECTIONAL ARROWS
— PROPERTY CENTER	⊕ POLE OR BUILDING MOUNTED AREA LIGHT
○ GRANITE OR CONCRETE BOUND	⊕ POLE MOUNTED PARKING AREA LIGHTS
○ RICH PAVEMENT	
○○○○○○○○ DRILL HOLE IN STONE WALL	
⊙ BENCHMARK	

GENERAL NOTES

1. THE PURPOSE OF THIS PLAN IS TO REFLECT THE DESIGN OF SITE IMPROVEMENTS RELATED TO THE INTENT TO CONSTRUCT A 1-STORY 3,000 GROSS FLOOR AREA WENDY'S RESTAURANT.
2. PARKING CALCULATIONS: RESTAURANTS  
1 PER 100 SQUARE FEET - 3,000 SF / 100 = 30 SPACES REQUIRED  
PROVIDED PARKING SPACES = 30 SPACES INCLUDING 3 HANDICAP SPACES
3. PROPOSED SIGNAGE SHALL COMPLY WITH THE CITY OF PORTLAND REGULATIONS. THE DEVELOPER SHALL APPLY FOR SIGN PERMITS PRIOR TO INSTALLATION.
4. IF THE CLIENT ASSUMES THEY WILL PROVIDE EXCESS AVAILABLE ON-SITE STORAGE CHANGING ROOMS SHALL BE REMOVED FROM THE SITE.
5. ALL GRASS AND LANDSCAPING AREAS MAINTENANCE SHALL COMPLY WITH THE LOCAL USE OF PESTICIDES OR HERBICIDES OR FERTILIZERS, WHICH SHALL BE APPLIED BY A LICENSED APPLICATOR.
6. LANDSCAPING WILL CONFORM TO THE CITY OF PORTLAND REGULATIONS. SEE LANDSCAPE AND LIGHTING PLAN.
7. THE SITE IS PROPOSED TO BE AS IS PREVIOUS.

V WENDY'S  
615 WARREN AVE  
PORTLAND, OREGON  
11.18.02  
± 1" = 40'  
REDUCED SCALE  
GRAPHIC SCALE  
1" = 40'

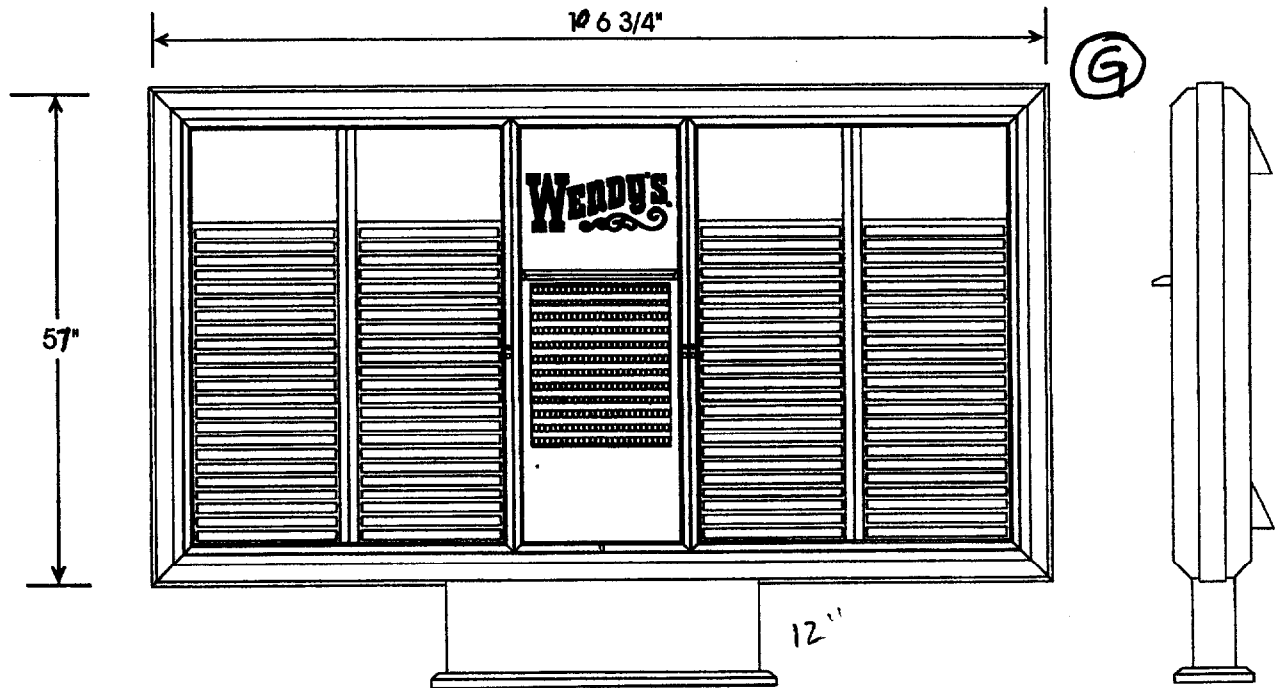


**WVM**

**WENVIEW® MENU**

- Illuminated four panel exterior menu sign, with copy strips, transparencies, price system and mounting provisions for electronic LED in center section.

42.25 7/8



## Product Features:

**DESCRIPTION:** Extruded aluminum cabinet with 4 menu panels, center LED mounting provisions, 92 total lines of copy and 4 standard transparencies.

**OVERALL DIMENSIONS:** 57" high x 106 3/4" wide.

**PANELS:** Each menu panel is 48" high x 18 1/2" wide with one transparency and 23 lines of copy. 1/8" acrylic menu panel is retained in aluminum extrusion frames. They are protected by 1/8" non-glare, scratch resistant acrylic cover doors.

**MENU STRIPS:** All menu strips are screen printed Wendy's burgundy with clear copy. Headers have saffron yellow back-up strips. Items and price carriers have white back-up strips. Value menu items have fluorescent colored back-up strips.

**ANTI-THEFT LOCKING DEVICE:** Device is standard on center LED section.

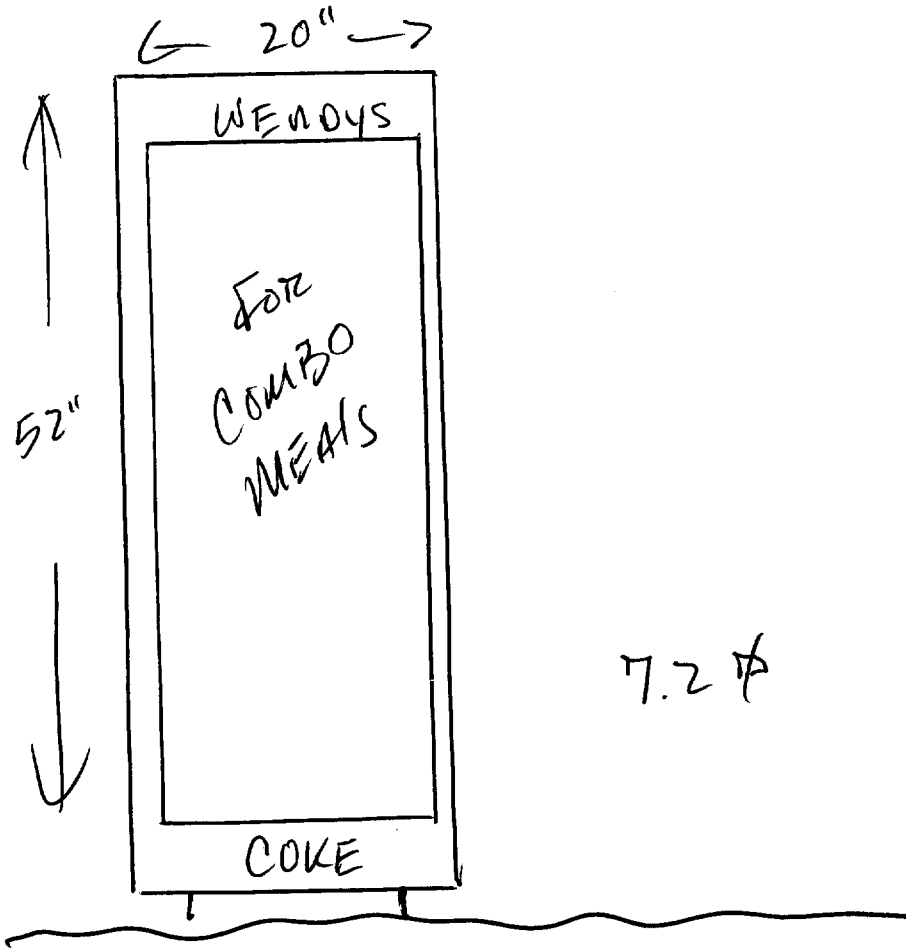
**ILLUMINATION & ELECTRICAL:** 800mA high output cool white fluorescent lighting. Requires 2-15 amp circuits at 110v/60Hz. Sign amperage - 3.0 amps.\* LED amperage - 4.5 amps. Speaker systems mounts in the sign or remotely.

**MOUNTING INSTRUCTIONS:** Dual poles attached to a single base plate. Base plate is anchor bolted to concrete foundation using four 16" x 4" x 1/2" diameter anchor bolts 6" on center. Base plate allows for 20 degrees rotation for proper alignment.

**FOUNDATION REQUIREMENTS:** 18" x 18" x 3'0" deep concrete foundation (Specifications are subject to local soil conditions and code requirements.)

\* Ballast and wiring can be modified for local conditions. (i.e. 220v/50Hz)

④



7.2¢

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
11/18/2002

**PRODUCER**

Brownson Insurance Agency, Inc  
139 Albion Street  
Wakefield, MA 01880  
P:781-245-2292 F:781-245-3826

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

- COMPANY A HAROVER INSURANCE
- COMPANY B
- COMPANY C
- COMPANY D

**INSURED**

Moneymaker Products d/b/a Planet Neon  
11 Johnston Way  
Stow MA 01775-

**COVERAGES**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMPREHENSIVE FORM <input checked="" type="checkbox"/> PREMISES/OPERATIONS UNDERGROUND EXPLOSION & COLLAPSE HAZARD <input checked="" type="checkbox"/> PRODUCTS/COMPLETED OPER <input type="checkbox"/> CONTRACTUAL <input checked="" type="checkbox"/> INDEPENDENT CONTRACTORS <input checked="" type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input checked="" type="checkbox"/> PERSONAL INJURY	OBNS692853	03/23/2002	03/23/2003	BODILY INJURY OCC \$ BODILY INJURY AGG \$ PROPERTY DAMAGE OCC \$ PROPERTY DAMAGE AGG \$ BI & PD COMBINED OCC \$ 1,000,000 BI & PD COMBINED AGG \$ 2,000,000 PERSONAL INJURY AGG \$ 1,000,000
A	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS (Private Pass) <input checked="" type="checkbox"/> ALL OWNED AUTOS (Other than Private Passenger) <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY	ABNT 6337249	04/01/2002	04/01/2003	BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$ BODILY INJURY & PROPERTY DAMAGE COMBINED \$ 1,000,000
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				<input type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ EL DISEASE - POLICY LIMIT \$ EL DISEASE - EA EMPLOYER \$
A	<b>EQUIPMENT FLOATER</b>				30,900

DESCRIPTION OF OPERATIONS, LOCATIONS, VEHICLES/SPECIAL ITEMS

**CERTIFICATE HOLDER**

CITY OF PORTLAND, MAINE  
399 CONGRESS ST  
PORTLAND ME 04101-

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 20 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*Michael S. Brownson*  
© ACORD CORPORATION 1988

ACORD 25-M (1/85)

978 461 0404  
207 761 9596



# Transmittal



To:

MARLE SCHMUCKAL  
 Zoning Administrator  
 City of Portland

DATE: 11/19/02

VIA:

- FAX
- UPS / FEDEX
- USPS
- HAND
- E-MAIL
- COURIER

PROJECT Wendy's 615 Warren Ave Ptd

NUMBER OF PAGES:

COPIES	DATE	DESCRIPTION	ACTION
1	11.18.02	Partial Site Plan	for Clarification

Marle -  
 have ~~the~~ <sup>ave</sup> the setbacks for the proposed  
 pylor sign. For your use.

A handwritten signature in black ink, appearing to read "Mark".

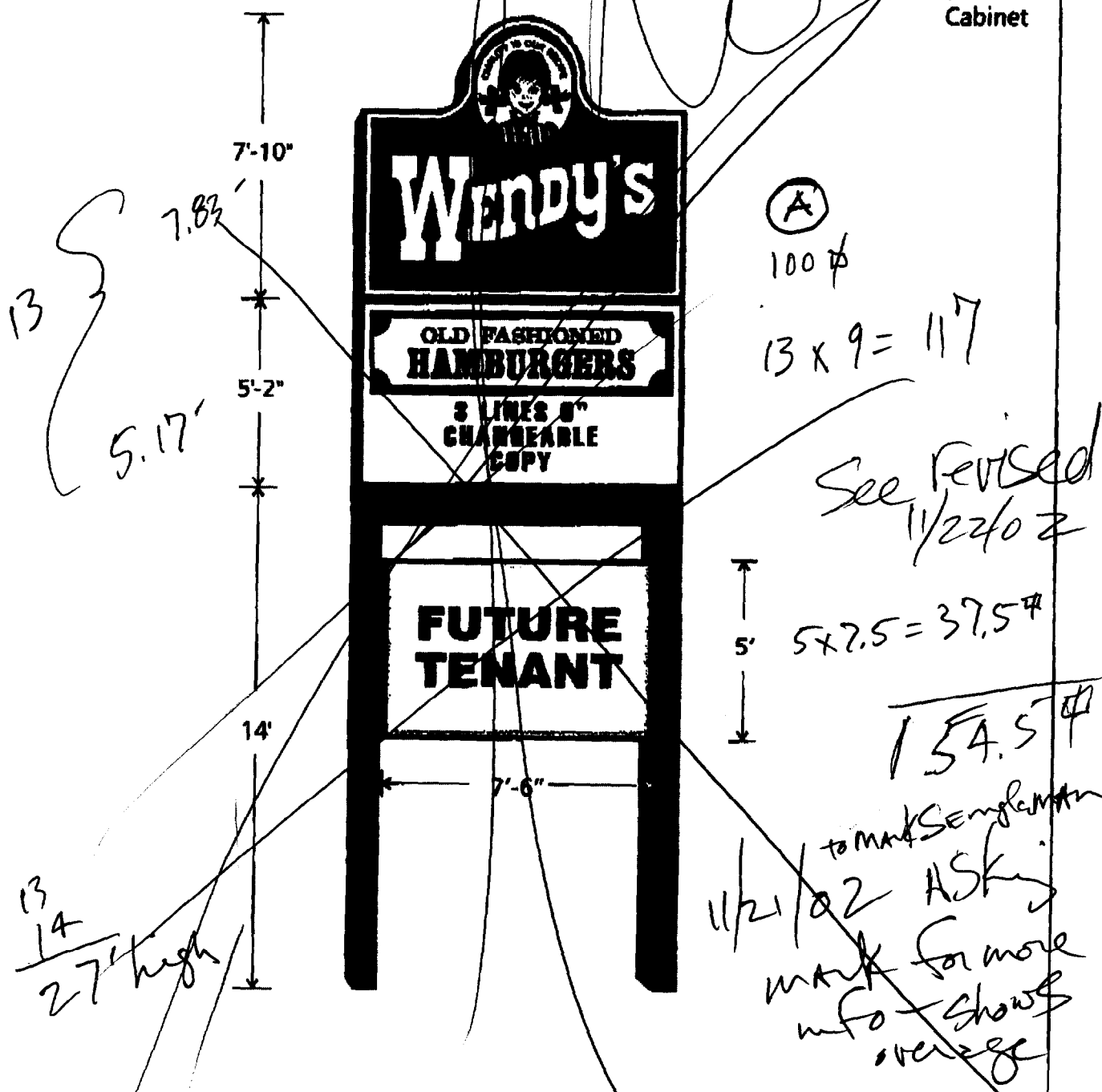
Mark Sengelmann NCARB NFPA  
 Owner Registered Architect

43 Deering Street • Portland, Maine 04101

207-761-9500 / Fax 761-9595  design@portcitydesign.net

WENDY'S  
WARREN AVE.  
PORTLAND, ME

**PYLON SIGNAGE**  
MODEL WP100  
w/Tenant  
Cabinet



- DOUBLE FACE
- ILLUMINATED
- GROUND

- 10" 5A ALUMINUM CABINETS PAINTED DK. BRONZE  
 - .150" PAN FORMED EMBOSSED SOLAR GRADE POLYCARBONATE FACES  
 - FLUORESCENT ILLUMINATION  
 - STEEL SQUARE TUBES WITH CROSS TUBE PAINTED DK. BRONZE

- DARK BRONZE
- WHITE
- UNIQUE RED
- PMS 310 BLUE
- BLACK
- GOLDEN YELLOW
- PMS 155 FLESH

**CUSTOM SIGN CENTER**  
 3200 Valleyview Dr. Columbus, Ohio 43204  
 FAX 279-7525 279-6700

DRAWING# \_\_\_\_\_ REV# \_\_\_\_\_ DATE: 7/22/02 DESIGNER: LAB SALESPERSON: MIKE WEASNER  
 SCALE: 1/4"=1' FILENAME: WENDYS WP100 PORTLAND CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_