

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021297

This is to certify that Older Brother LLC/Planet News Sign Company

has permission to Erect 291 sq. Ft. Sign

AT 615 Warren Ave 314 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
Director - Building & Inspection Services
11/25/02

PENALTY FOR REMOVING THIS CARD

2-1297

Zoning

Approved with Conditions

Reviewer

Marge Schmuckal

Comments:

615 Warren Ave -
11/21/02 Free standing sign is showing over 100 sq. Feet -
talked to Mark Sengleman - he will revise & fax me
11/22/02 Mark requested that the permit be amended to
omit the freestanding sign at this time while the prints are

Approval Date

11/22/2002

Given On Date

11/20/2002

Name Marge Schmuckal **Date** 11/22/2002 **Date 2**

This permit approval encompasses the building signs and directional signs and sandwich board drive-thru signage. This approval does not include the free standing sign. The approval for a free standing sign has also been approved based upon the plan relayed by Thaddaus King on 11/22/02.

Create Date:

11/20/2002

By gg

Update Date:

11/22/2002

By mes

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1297	Issue Date:	CBL: 314 A003001
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Location of Construction: 615 Warren Ave	Owner Name: Older Brother LLC	Owner Address: One Canal Plaza	Phone:
Business Name: n/a	Contractor Name: Planet Neon Sign Company	Contractor Address: 11 Johnston Way Stow	Phone: 9788971550
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Signs - Permanent	Zone: B-4

Past Use: Commercial	Proposed Use: Wendy's Restaurant / Erect 291 sq. Ft. Sign	Permit Fee: \$321.00	Cost of Work: \$0.00	CEO District: 1
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Proposed Project Description: Erect 291 sq. Ft. Sign	<p><i>11/27/02 - permit revised for Bldg signs only - not the freestanding sign (that will be revised & amended later) - 11/28/02 permit revised drawings for free standing sign - ok</i></p>	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION Use Group: <i>A/U</i> Type: <i>NA</i> <i>11/25/02</i>
		Signature:	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 11/19/2002	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>Bldg signs only</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>ok with conditions</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/22/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

SIGNAGE PRE-APPLICATION

PLEASE ANSWER ALL QUESTIONS

ADDRESS: WARREN Ave ZONE: B4
 OWNER: Wendy's International
 APPLICANT: Planet Neon Sign Co.
 ASSESSOR NO. 314-3-A-2

PLEASE CIRCLE APPROPRIATE ANSWER

SINGLE TENANT LOT? YES NO
 FREESTANDING SIGN? (ex. Pole Sign) YES NO -- DIMENSIONS 9'W X 18'H HEIGHT 27'
 MORE THAN ONE SIGN? YES NO DIMENSIONS MENU BOARD 100 3/4 HEIGHT 57
 SIGN ATTACHED TO BLDG.? YES NO DIMENSIONS #1 3' X 22' 3" #3 3' X 10' 6"
 MORE THAN ONE SIGN? YES NO DIMENSIONS #2 3' X 10' 6"
 AWNING: YES NO IS AWNING BACKLIT? YES NO HEIGHT OFF SIDEWALK
 IS THERE ANY MESSAGE, TRADEMARK OR SYMBOL ON IT?

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS:

See ATTACHED DRAWINGS
 A Pylon - 100 #
 F Building 66.9
 E " 31.5
 E " 31.5
 G Menuboard 42.2
 H Directionals 3, each
 H Presale sign 7.2

*** TENANT BLDG. FRONTAGE (IN FEET): 38' front / 92' Long both sides
 *** REQUIRED INFORMATION

AREA FOR COMPUTATION

Free Standing Sign
≥ 200' Street frontage
(263.92' shown)
MAX Area: 100 # - revised to exactly 100 # for all
height: 35' - 27' shown
Setback: 5' from property lines - 5' shown

(Bldg signs)
 2 # per linear foot of Bldg facade on which the sign is to be placed
 Front 38' x 2' = 76 # max -- OK
 Sides 88' x 2' = 176 # max -- OK
 # - 3 x 22.25 = 66.75 #
 # - 3 x 10.5 = 31.5 #

YOU SHALL PROVIDE:

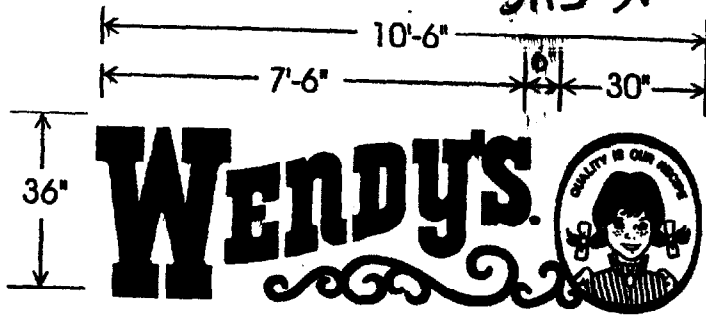
A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED ARE ALSO REQUIRED.

SIGNATURE OF APPLICANT: [Signature] DATE: 11/15/02



Both sides

31.5 SF



MODEL NO.

WIL36C- Wendy's - With Cameo

(E)

FRONT

66.9 SF



MODEL NO.

WIL360FH- Wendy's with Cameo & Old Fashioned Hamburgers

(F)

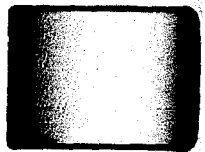
NATIONAL
SIGN SYSTEMS, INC.

855 GRANDVIEW AVENUE
COLUMBUS, OHIO 43215

COLUMBUS 614-486-3338
TOLL FREE 1-800-544-6726
FACSIMILE 614-486-0038

7

* All Signs UL Approved



THIS IS NOT A PERMIT/CONSTRUCTION MAY NOT COMMENCE UNTIL THE PERMIT IS ISSUED

Signage Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>615 WARREN Ave</u>		
Total Square Footage of Proposed Structure <u>3,260</u> sq	Square Footage of Lot <u>52,192</u> sq	
Tax Assessor's Chart, Block & Lot Chart# 311-3-A Block# 311 Lot# <u>314-0003</u>	Owner: <u>Wendy's International</u>	Telephone: <u>(978) 392-1200</u>
Lessee/Buyer's Name (If Applicable) <u>Wendy's</u>	Applicant name, address & telephone: <u>234 Littleton Rd Westford, MA. 01886</u>	Total s.f. of signage <u>291</u> x 1.00 per s.f. \$ <u>291</u> , plus \$30.00 base fee Fee: \$ <u>321.00</u>
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: <u>VACANT</u>		
Approximately how long has it been vacant: <u>Unknown</u>		
Proposed use: <u>RESTAURANT</u>		
Project description:		
Contractor's name, address & telephone: MAIL TO:		
Who should we contact when the permit is ready: <u>Planet Neon Sign Co. / Paul KUODRAUSKAS</u> Mailing address: <u>11 Johnston Way STOW, MA. 01775</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$50.00 fee if any work starts before the permit is picked up. Phone: <u>(978) 897-1550</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the Code of the City of Portland, Maine to this permit.

Signature of applicant: [Signature] Date: 11/15/02

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 NOV 19 2002
RECEIVE

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall



November 15, 2002

City of Portland, ME

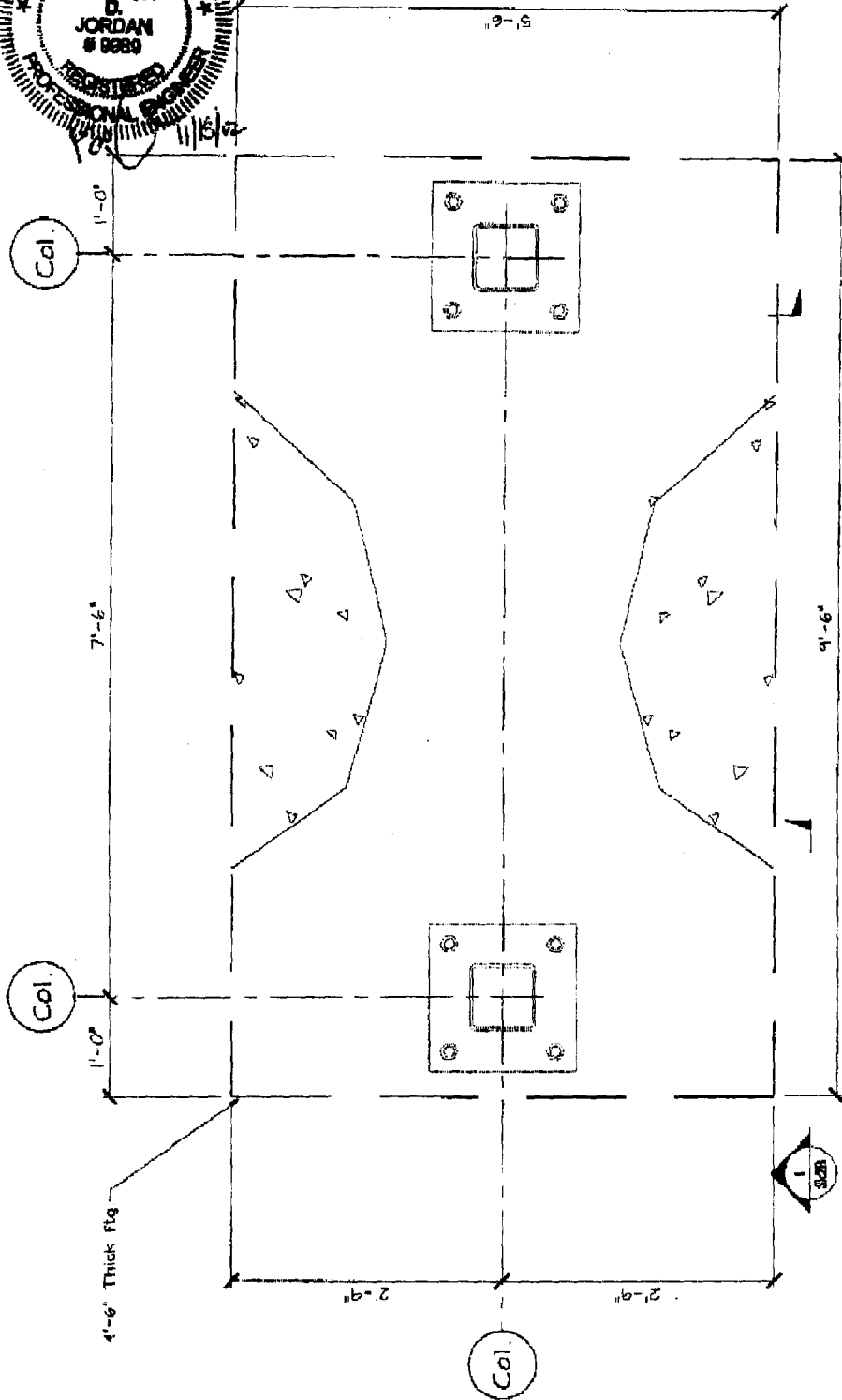
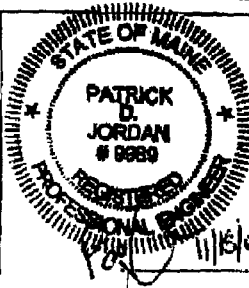
To Whom It May Concern:

This letter is to inform you that Wendy's International, Inc. has contracted Planet Neon to install all signage and acquire all necessary sign permits for out new restaurant located at 599 Warren Avenue, Portland, ME.

If you have any questions or concerns please contact me at 978-392-1200 ext. 135. Thank you.

Sincerely,

**Edward Mitchell
Wendy's International, Inc
Field Construction Manger**



SIGN FOUNDATION PLAN

OPTION B

Scale: 3/4" = 1'-0"

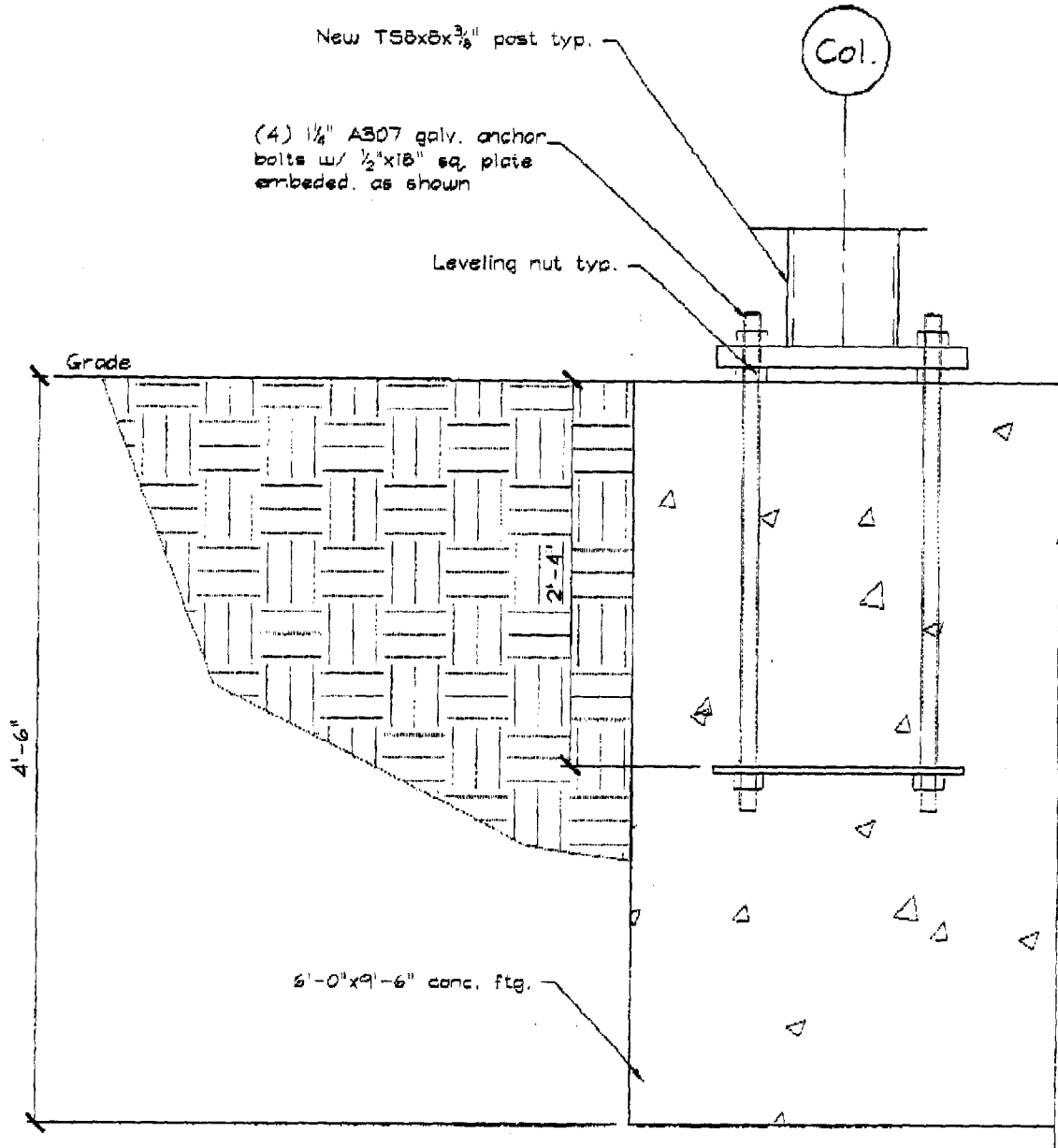
SEI

SHELLEY ENGINEERING, INC.

STRUCTURAL CONSULTANTS
90 BRIDGE STREET
WESTBROOK, MAINE 04092
PHONE (207) 854-6463
FAX (207) 854-6706
WWW.SHELLEYENGINEERING.COM

**WENDY'S SIGN FOUNDATION
WESTBROOK, MAINE**

Drawn By: PDJ	Date: 11/14/02	Section: SK-1B
Checked By: PDJ	Scale: As Noted	Job No.: 2002-583



SECTION

SCALE: 3/4" = 1'-0"

1
SKIB

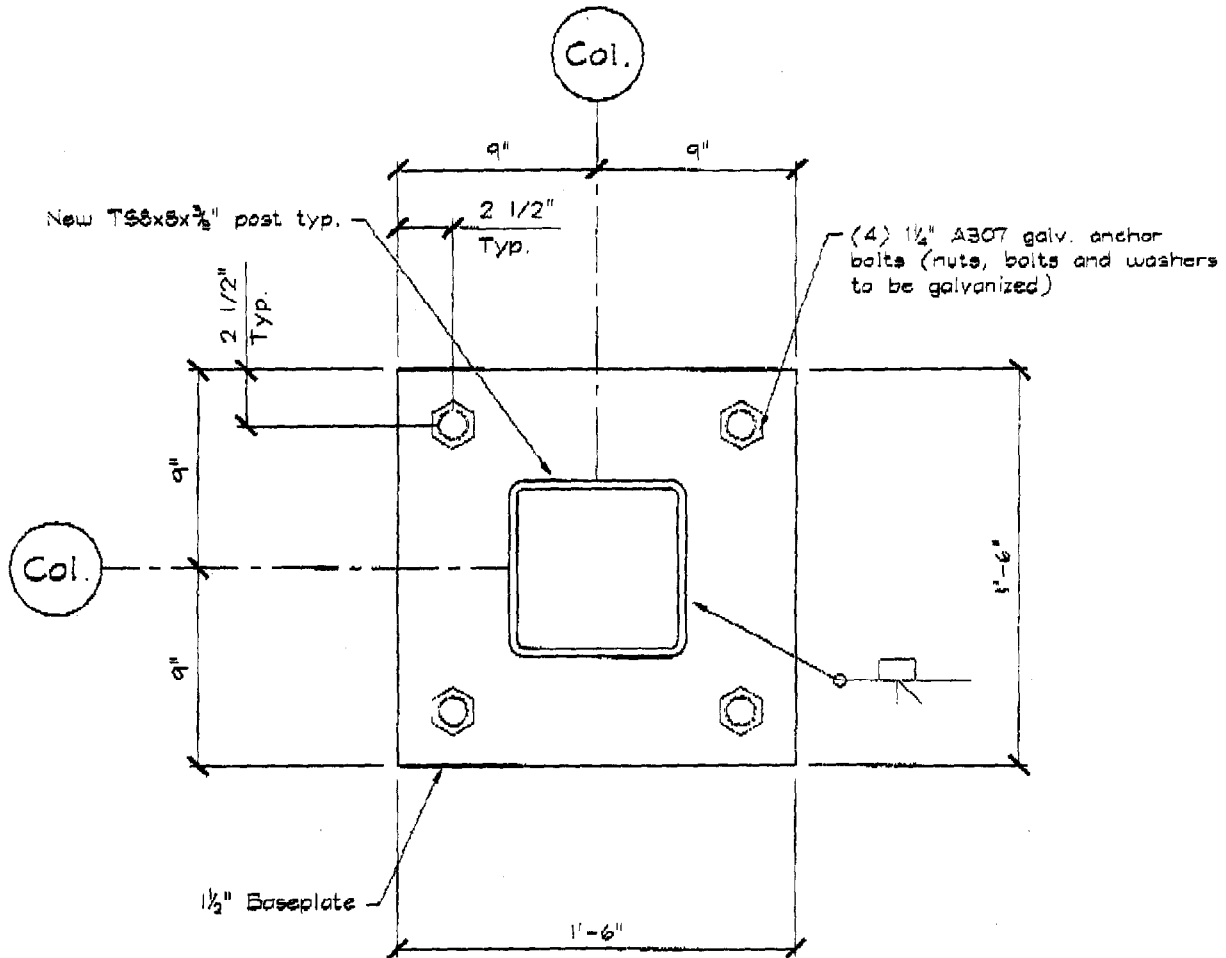
SEI

SHELLEY ENGINEERING, INC.

STRUCTURAL CONSULTANTS
90 BRIDGE STREET
WESTBROOK, MAINE 04092
PHONE (207) 854-5465
FAX (207) 854-8706
WWW.SHELLEYENGINEERING.COM

**WENDY'S SIGN FOUNDATION
WESTBROOK, MAINE**

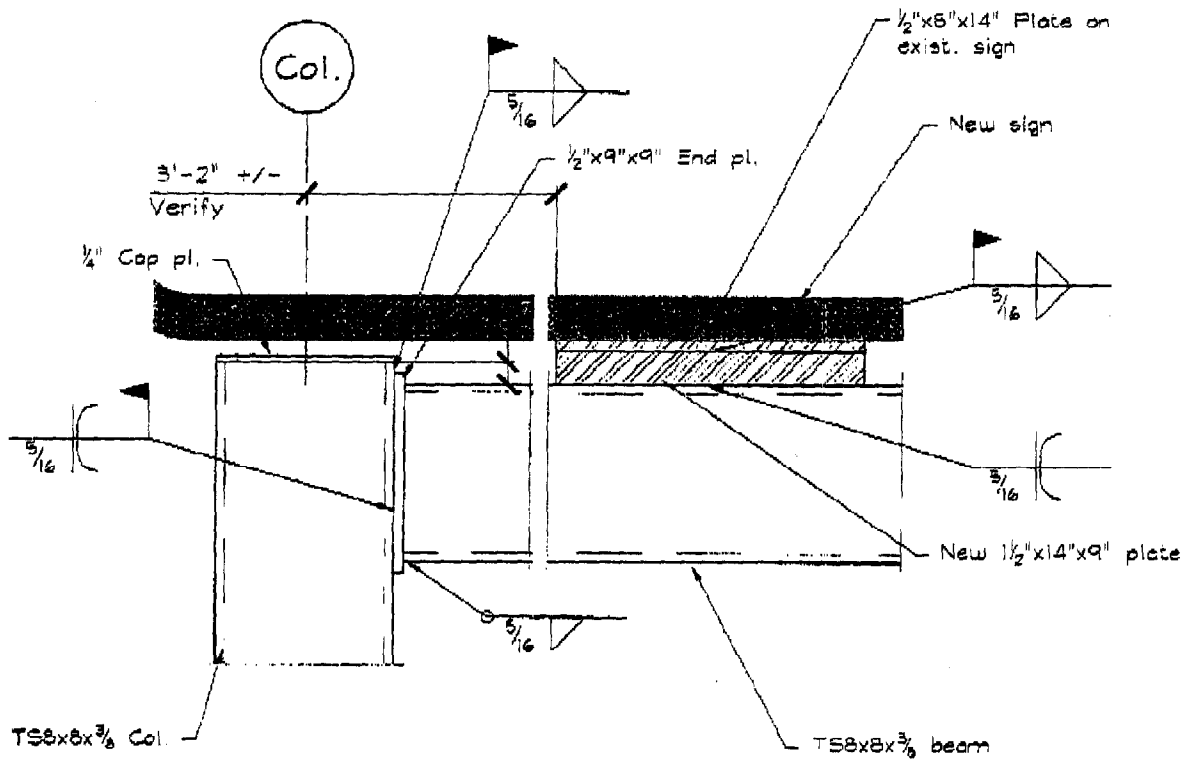
Drawn By:	Date:	Sheet:
PDJ	11/14/02	SK-2B
Checked By:	Scale:	Job No.:
PDJ	AS NOTED	2002-583



TYPICAL BASEPLATE DETAIL

SCALE: 1/2" = 1'-0"

SEI	SHELLEY ENGINEERING, INC. STRUCTURAL CONSULTANTS 90 BRIDGE STREET WESTBROOK, MAINE 04092 PHONE (207) 854-5465 FAX (207) 854-8706 WWW.SHELLEYENGINEERING.COM		WENDY'S SIGN FOUNDATION WESTBROOK, MAINE		
	Drawn By: PDJ	Date: 11/14/02	Sketch: SK-3B		
	Checked By: PDJ	Scale: AS NOTED	Job No.: 2002-588		



TYPICAL CONN. - TS BEAM TO TS COL.

SCALE: 1 1/2" = 1'-0"

SEI SHELLEY ENGINEERING, INC. STRUCTURAL CONSULTANTS 90 BRIDGE STREET WESTBROOK, MAINE 04092 PHONE (207) 854-6465 FAX (207) 854-6706 WWW.SHELLEYENGINEERING.COM	WENDY'S SIGN FOUNDATION WESTBROOK, MAINE		
	Drawn By: PDJ	Date: 11/14/02	Sketched: SK-4B
	Checked By: PDJ	Scale: AS NOTED	Job No.: 2002-583

STRUCTURAL DESIGN CRITERIA:

1. BUILDING CODE: 1999 EDITION OF THE BOCA NATIONAL BUILDING CODE

CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO ACI-318-93.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI, MAXIMUM SIZE AGGREGATE SHALL BE 3/4"
3. CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
5. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
6. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
7. HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
8. CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
 CONCRETE CAST AGAINST EARTH = 3"
 CONCRETE EXPOSED TO EARTH OR WEATHER = 1 1/2"
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER = 3/4"

STRUCTURAL STEEL NOTES - GENERAL

1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.
2. ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE.
3. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPES SHALL BE A53, GRADE B.
4. WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
5. STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
6. STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF TNEMIC SERIES 9097 ZINC PRIMER AND A TOP COAT OF TNEMIC SERIES 78 ENDURASHIELD. TOUCH UP IN FIELD AS REQ'D.

SEI	SHELLEY ENGINEERING, INC. STRUCTURAL CONSULTANTS 90 BRIDGE STREET WESTBROOK, MAINE 04092 PHONE (207) 854-5465 FAX (207) 854-8706 www.SHELLEYENGINEERING.COM	Wendy's Sign Foundation WESTBROOK, MAINE		
		Drawn By: PDJ	Date: 11/14/02	Sheet: SK-5B
		Checked By: PDJ	Scale: AS NOTED	Job No.: 2002-583



11/22/02

www.customsigncenter.com e-mail:signs@customsigncenter.com (614)279-6700 (800)522-2934 FAX (614)279-7525

Ms. Marge Schmuckal

11/22/02

Chief Zoning Administrator

City of Portland, ME

389 Congress St.

Portland, ME 04101

Re: Wendy's - Warren Ave. - Portland, ME

Dear Ms. Schmuckal;

Please be advised that the attached drawing of the WP100 Pylon Sign is calculated at exactly 100 square feet.

Thank you,

Thaddeus King

Design / Engineer

Custom Sign Center

From: "Thaddeus King - Custom Sign Center" <tking@customsigncenter.com>
To: Portland.CityHall(MES)
Date: Fri, Nov 22, 2002 4:20 PM
Subject: Wendy's, Warren Ave. Portland, ME

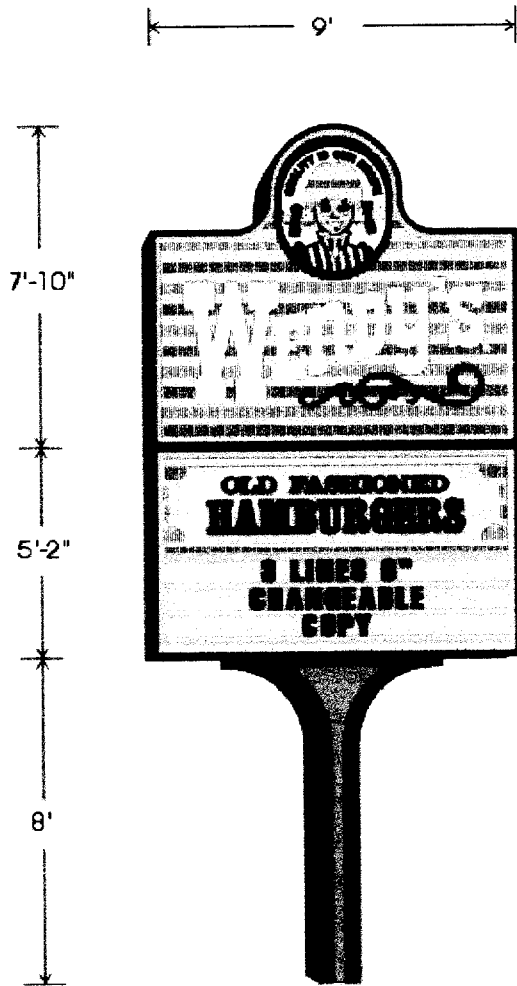
Ms. Schmuckal
Chief Zoning Administrator
City of Portland, ME
389 Congress St.
Portland, ME 04101

Please find attached a letter (Word document) explaining the square footage of the WP100 Pylon Sign and an attached drawing of the sign.


R. Thaddeus King
Custom Sign Center
3200 valley View drive
Columbus, Ohio 43204
(614) 279-6700

11/22/02

PYLON SIGNAGE
MODEL WP100



MATERIALS		ADDITIONAL SPECS	
<input checked="" type="checkbox"/> DOUBLE FACE ILLUMINATED	<input type="checkbox"/> DARK BRONZE	- 10" SA ALUMINUM CABINET PAINTED DK. BRONZE	<input type="checkbox"/> WHITE
<input checked="" type="checkbox"/> GROUND	<input type="checkbox"/> UNIQUE RED	- 150" PAN FORMED EMBOSSED SOLAR GRADE POLYCARBONATE FACES	<input type="checkbox"/> PMS 310 BLUE
	<input type="checkbox"/> BLACK	- FORMED A.B.S. POLE COVER	<input type="checkbox"/> GOLDEN YELLOW
	<input type="checkbox"/> PMS 155 FLESH	- FLUORESCENT ILLUMINATION	



9200 VALLEYVIEW DR. COLUMBUS OHIO 43224
E MAIL: MARGESIGN@GROUPEMET
TEL: 614-279-7534 FAX: 614-279-7535

DRWG.# 096484-6	REV#	DATE 10/96	SCALE 1/4" = 1'	CUSTOMER APPROVAL _____	DATE _____
					TITLE _____

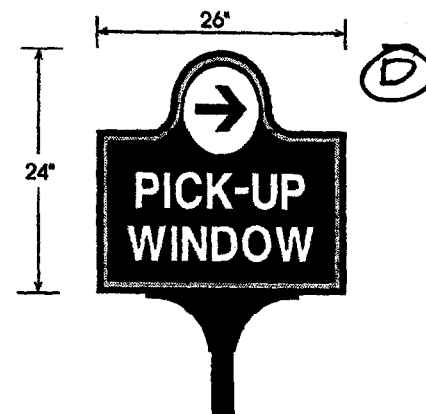
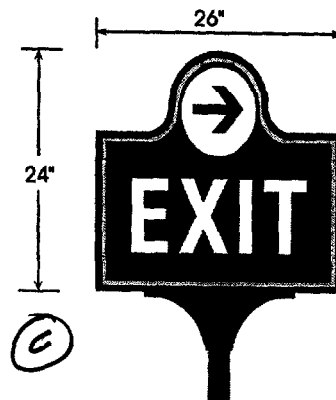
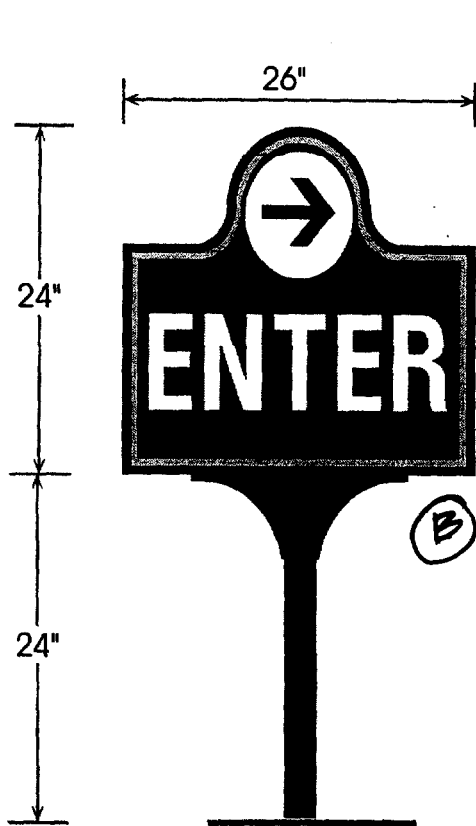
11/22/02



MODEL NO.
WD

DIRECTIONALS

● 2'-0" high x 2'-2" wide illuminated double face sign to direct traffic.



3 #
4 signs

OPTIONS :
Enter
Exit
Pick-Up Window

Product Features:

SIZE: 2" high x 2'-2" wide.

FACES: Flat face of 1/8" polycarbonate.

GRAPHICS: White letters on an illuminated red background with a black scroll. The entire sign is surrounded by golden yellow border. All graphics screen printed on second surface.

CABINET: 5" wide aluminum extrusion with aluminum retainers both with a painted dark bronze finish.

ILLUMINATION & ELECTRICAL: 800mA high output cool white fluorescent lighting. Requires 1-15 amp circuit at 110v/60 Hz. Total amperage is 1.2 amps.*

POLE & POLE COVER:

POLE: 2 1/2" x 2 1/2" x 1/8" steel pipe 51" long. Painted with rust prohibitive primer.

POLE COVER: Formed ABS plastic. Painted dark bronze finish.

MOUNTING INSTRUCTIONS: Pipe stub and weld plate provided. Weld match plate to top of pole. Direct burial installation. Mounting kit provided for pole cover assembly.

FOUNDATION REQUIREMENTS: Concrete base is 12" dia. x 36" deep. (Foundation specifications subject to local soil conditions and code requirements.)

* Ballast and wiring can be modified for local conditions. (i.e. 220v/50Hz)

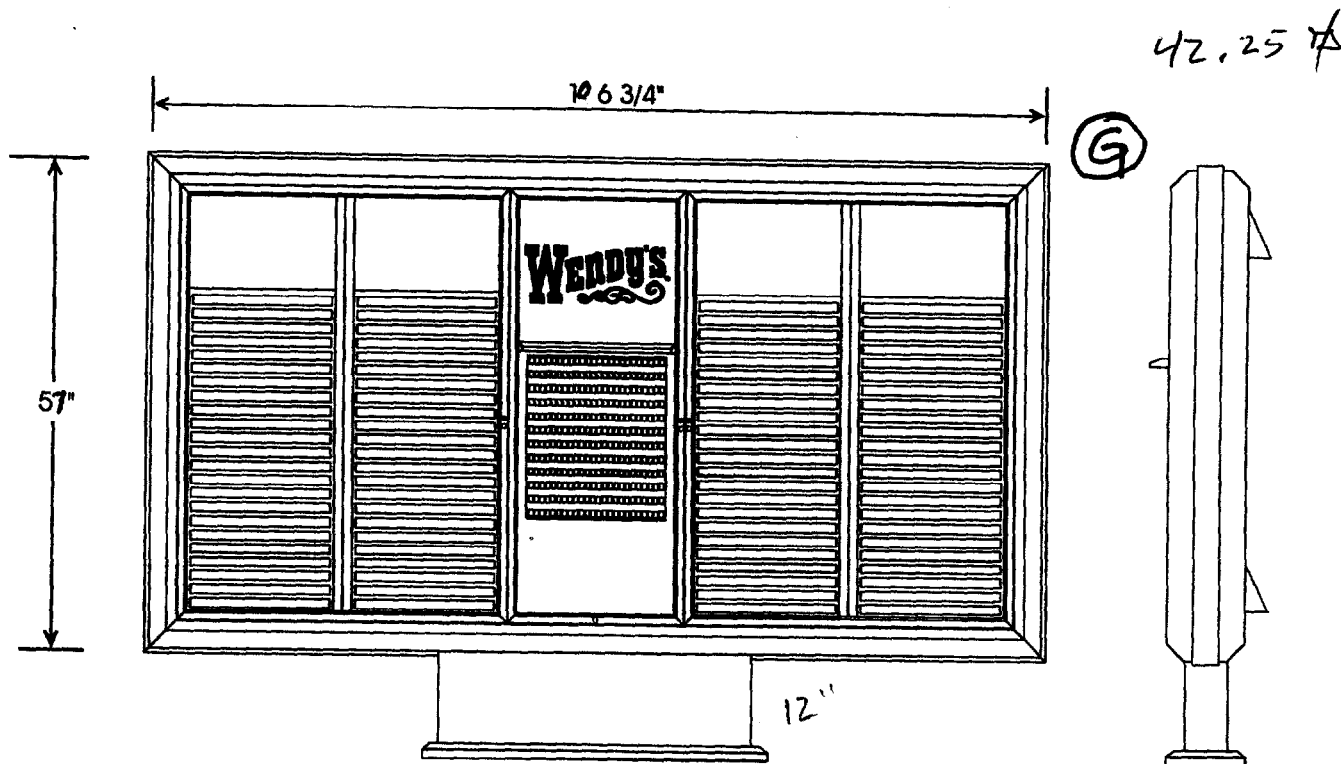


WVM

Exterior Menuboard

WENVIEW® MENU

- Illuminated four panel exterior menu sign, with copy strips, transparencies, price system and mounting provisions for electronic LED in center section.



Product Features:

DESCRIPTION: Extruded aluminum cabinet with 4 menu panels, center LED mounting provisions, 92 total lines of copy and 4 standard transparencies.

OVERALL DIMENSIONS: 57" high x 106 3/4" wide.

PANELS: Each menu panel is 48" high x 18 1/2" wide with one transparency and 23 lines of copy. 1/8" acrylic menu panel is retained in aluminum extrusion frames. They are protected by 1/8" non-glare, scratch resistant acrylic cover doors.

MENU STRIPS: All menu strips are screen printed Wendy's burgundy with clear copy. Headers have saffron yellow back-up strips. Items and price carriers have white back-up strips. Value menu items have fluorescent colored back-up strips.

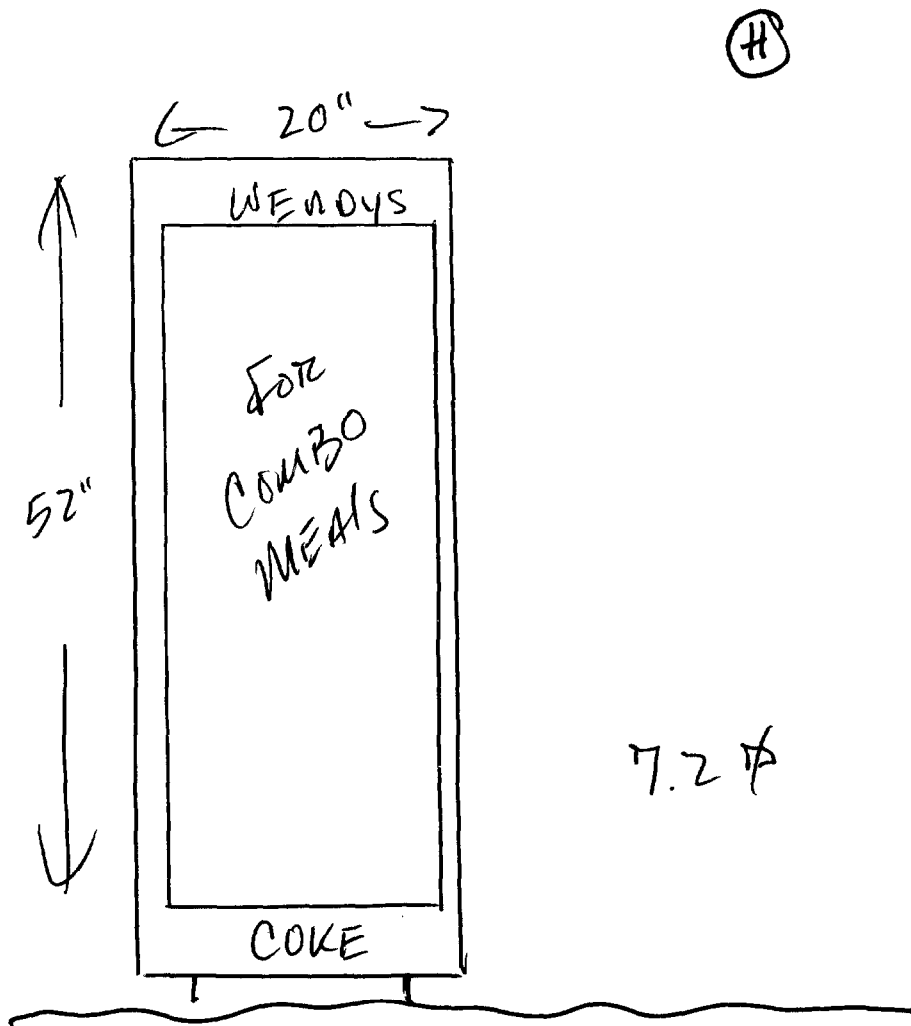
ANTI-THEFT LOCKING DEVICE: Device is standard on center LED section.

ILLUMINATION & ELECTRICAL: 800mA high output cool white fluorescent lighting. Requires 2-15 amp circuits at 110v/60Hz. Sign amperage - 3.0 amps.* LED amperage - 4.5 amps. Speaker systems mounts in the sign or remotely.

MOUNTING INSTRUCTIONS: Dual poles attached to a single base plate. Base plate is anchor bolted to concrete foundation using four 16" x 4" x 1/2" diameter anchor bolts 6" on center. Base plate allows for 20 degrees rotation for proper alignment.

FOUNDATION REQUIREMENTS: 18" x 18" x 3'0" deep concrete foundation (Specifications are subject to local soil conditions and code requirements.)

* Ballast and wiring can be modified for local conditions. (i.e. 220v/50Hz)



Ⓜ

← 20" →

↑
52"
↓

WENDYS
FOR
COMBO
MEATS
COKE

7.2 \$

ACORD

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
11/18/2002

PRODUCER

Brownson Insurance Agency, Inc
139 Albion Street
Wakfield, MA 01880
P: 781-245-2292 F: 781-245-3826

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- COMPANY A **RECOVER INSURANCE**
- COMPANY B
- COMPANY C
- COMPANY D

INSURED

Moneymaker Products d/b/a Planet Neon
11 Johnston Way
Stov MA 01775-

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMPREHENSIVE FORM <input checked="" type="checkbox"/> PREMISES/OPERATIONS <input type="checkbox"/> UNDERGROUND EXPLOSION & COLLAPSE HAZARD <input checked="" type="checkbox"/> PRODUCTS/COMPLETED OPER <input type="checkbox"/> CONTRACTUAL <input checked="" type="checkbox"/> INDEPENDENT CONTRACTORS <input checked="" type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input checked="" type="checkbox"/> PERSONAL INJURY	OBNS692853	03/23/2002	03/23/2003	BODILY INJURY OCC \$ BODILY INJURY AGG \$ PROPERTY DAMAGE OCC \$ PROPERTY DAMAGE AGG \$ BI & PD COMBINED OCC \$ 1,000,000 BI & PD COMBINED AGG \$ 2,000,000 PERSONAL INJURY AGG \$ 1,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS (Private Pass) <input checked="" type="checkbox"/> ALL OWNED AUTOS (Other than Private Passenger) <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY	ABN 6337249	04/01/2002	04/01/2003	BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$ BODILY INJURY & PROPERTY DAMAGE COMBINED \$ 1,000,000
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				<input type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ EL DISEASE - POLICY LIMIT \$ EL DISEASE - EA EMPLOYEE \$
A	EQUIPMENT FLOATER				30,900

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

CITY OF PORTLAND, MAINE
399 CONGRESS ST

PORTLAND ME 04101-

CANCELLATION

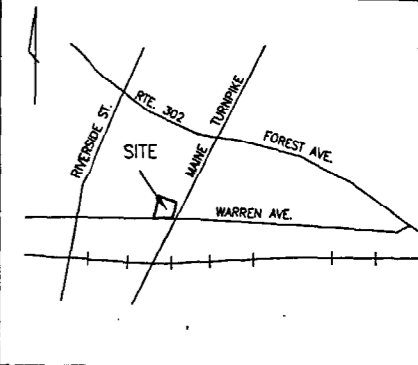
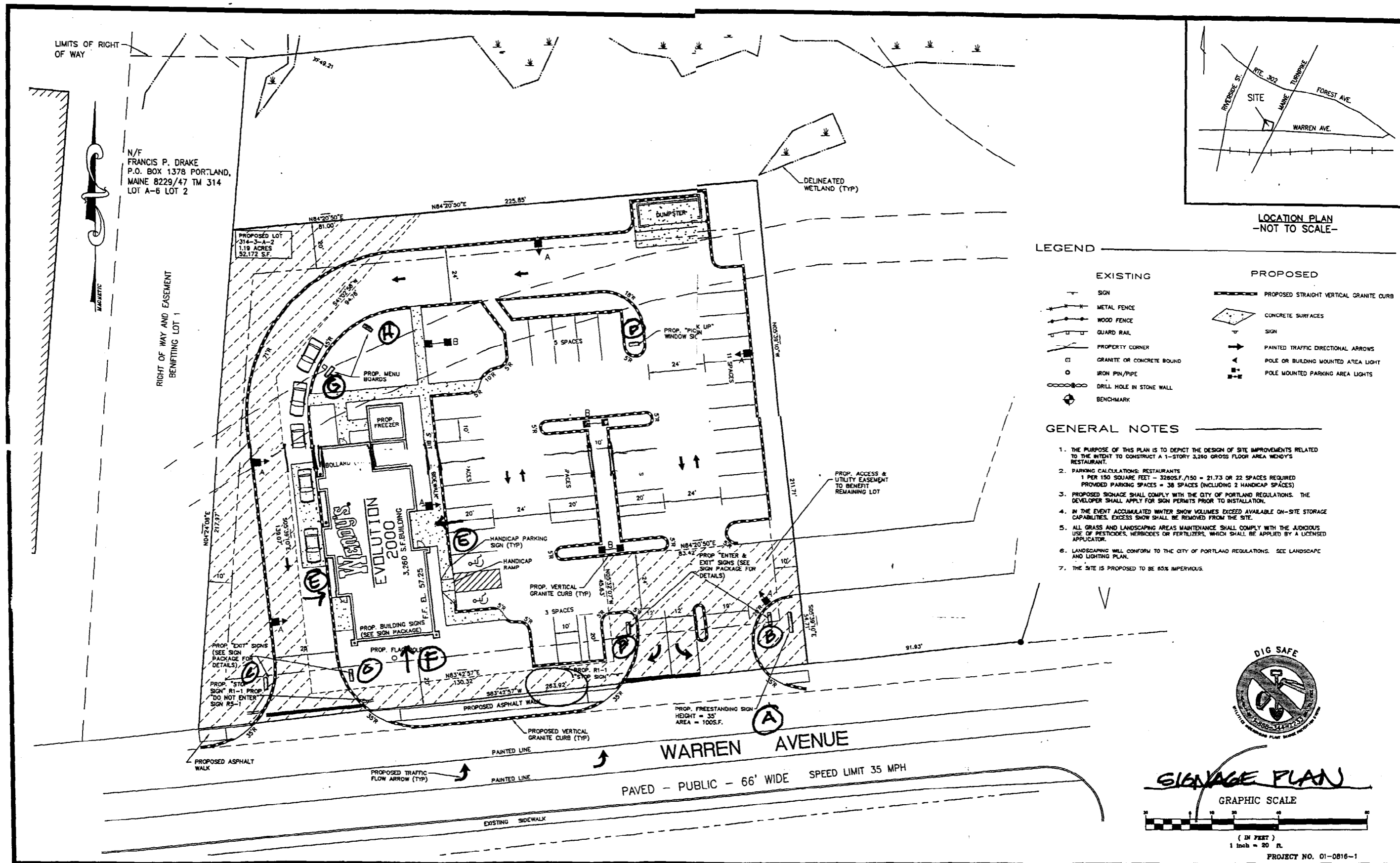
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 020 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Michael S. Brownson
© ACORD CORPORATION 1988

ACORD 25-N (1/95)

978 461 0404
207 761 9595



LOCATION PLAN
- NOT TO SCALE -

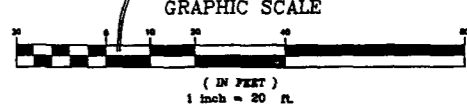
LEGEND

EXISTING	PROPOSED
— SIGN	— PROPOSED STRAIGHT VERTICAL GRANITE CURB
— METAL FENCE	— CONCRETE SURFACES
— WOOD FENCE	— SIGN
— GUARD RAIL	→ PAINTED TRAFFIC DIRECTIONAL ARROWS
— PROPERTY CORNER	▲ POLE OR BUILDING MOUNTED AREA LIGHT
□ GRANITE OR CONCRETE BOUND	■ POLE MOUNTED PARKING AREA LIGHTS
○ IRON PIN/PIPE	
— DRILL HOLE IN STONE WALL	
⊕ BENCHMARK	

- GENERAL NOTES**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE DESIGN OF SITE IMPROVEMENTS RELATED TO THE INTENT TO CONSTRUCT A 1-STORY 3,260 GROSS FLOOR AREA WENDY'S RESTAURANT.
 2. PARKING CALCULATIONS: RESTAURANTS
1 PER 150 SQUARE FEET - 3260 S.F. / 150 = 21.73 OR 22 SPACES REQUIRED
PROVIDED PARKING SPACES = 38 SPACES (INCLUDING 2 HANDICAP SPACES)
 3. PROPOSED SIGNAGE SHALL COMPLY WITH THE CITY OF PORTLAND REGULATIONS. THE DEVELOPER SHALL APPLY FOR SIGN PERMITS PRIOR TO INSTALLATION.
 4. IN THE EVENT ACCUMULATED WINTER SNOW VOLUMES EXCEED AVAILABLE ON-SITE STORAGE CAPABILITIES, EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
 5. ALL GRASS AND LANDSCAPING AREAS MAINTENANCE SHALL COMPLY WITH THE JUDICIOUS USE OF PESTICIDES, HERBICIDES OR FERTILIZERS, WHICH SHALL BE APPLIED BY A LICENSED APPLICATOR.
 6. LANDSCAPING WILL CONFORM TO THE CITY OF PORTLAND REGULATIONS. SEE LANDSCAPE AND LIGHTING PLAN.
 7. THE SITE IS PROPOSED TO BE 85% IMPERVIOUS.



SIGNAGE PLAN



PROJECT NO. 01-0816-1

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Planning Landscape Architecture
10 Commerce Park North, Suite 30, Bedford, NH 03110 Phone (603) 827-2881

IN ASSOCIATION WITH:
OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101
PROFESSIONAL LAND SURVEYORS
(207) 774-0424

NON-RESIDENTIAL SITE PLAN PREPARED FOR:
WENDY'S INTERNATIONAL, INC.
MAP 314; LOT 3-A, PORTLAND, MAINE

OWNER:
WARGATE ASSOCIATES
TWO CITY CENTER
PORTLAND, MAINE

REVISIONS

DATE	DESCRIPTION
3-11-02	REVISE ENTRANCE PER CLIENT
3-29-02	REVISIONS PER CITY OF PORTLAND REVIEW
8-9-02	REVISIONS PER CITY OF PORTLAND REVIEW

DATE: 30 JAN. 2002
SCALE: 1" = 20'
SHEET 2 OF 8