

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: *583 Warren Ave., Portland, ME 04103		Owner: *Fuller-Jeffrey Broadcasting		Phone: (207)775-6321		Permit No: 990428	
Owner Address: 583 Warren Ave, Portland, ME 04103		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: D.L. Poulin Inc.		Address: 40 Jordan Ave., P.O. Box 460		Phone: 726-4304		Permit Issued: MAY 4 1999	
Past Use: Radio station		Proposed Use: Same		COST OF WORK: \$ 33,100.00		PERMIT FEE: \$190.00	
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: U Type:	
Proposed Project Description: Install concrete pad as per plans				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Approval:	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: S.P.		Date Applied For: 04/28/99					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

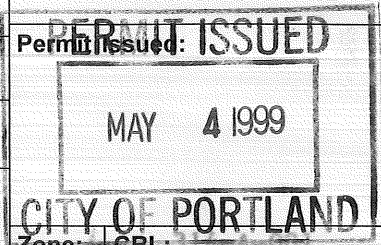
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

04/28/99

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector



Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT 1

COMMENTS

5/7/99 PreConstruction w/ Tim Moore by phone. Request first inspection when forms in place & ready to place concrete (DC)

5/17/99 OK to place concrete. AR

10/22 work completed Generator Installed (DC)

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 29 APRIL 99 ADDRESS: 583 Warren Ave. CBL: 314-A-001
 REASON FOR PERMIT: To install concrete pad
 BUILDING OWNER: Fuller - Jeffrey Broadcasting
 PERMIT APPLICANT: Contractor D.L. Poulton Inc.
 USE GROUP U. BOCA 1996 CONSTRUCTION TYPE _____


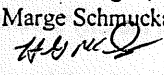
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2,

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approval from the ~~Development Review Coordinator~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)

- 18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 &19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
- 24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- 27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 28. All requirements must be met before a final Certificate of Occupancy is issued.
- 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements.
- 32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- 33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- 34. _____
- 35. _____
- 36. _____


 P. Sam Hoffses, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator


PSH 12-14-98

****On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <i>583 WARREN Ave PORTLAND, ME 04103</i>		
Total Square Footage of Proposed Structure	<i>108 square feet</i>	Square Footage of Lot <i>98,350</i>
Tax Assessor's Chart, Block & Lot Number Chart# <i>314</i> Block# <i>A 1000</i> Lot# <i>001</i>	Owner: <i>Fuller-Jrison Broadcasting</i>	Telephone#: <i>207-775 6321</i>
Owner's Address: <i>583 WARREN Ave PORTLAND, ME 04103</i>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <i>Fee</i> <i>\$ 33,100 \$ 190</i>
Proposed Project Description: (Please be as specific as possible) <i>INSTALL AN EMERGENCY POWER GENERATOR (80 KW) w/ 6'x6' CONCRETE PAD FOR GENERATOR + 12'x6' CONCRETE PAD FOR PROPANE FUEL TANK</i>		
Contractor's Name, Address & Telephone <i>D.L. PULLIN, INC 40 ORNDORF AVE. P.O. Box 460 BOWEN, ME 04011</i>		Rec'd By
Current Use: <i>RADIO STATIONS - PROPOSED SITE IS IDLE</i>	Proposed Use:	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

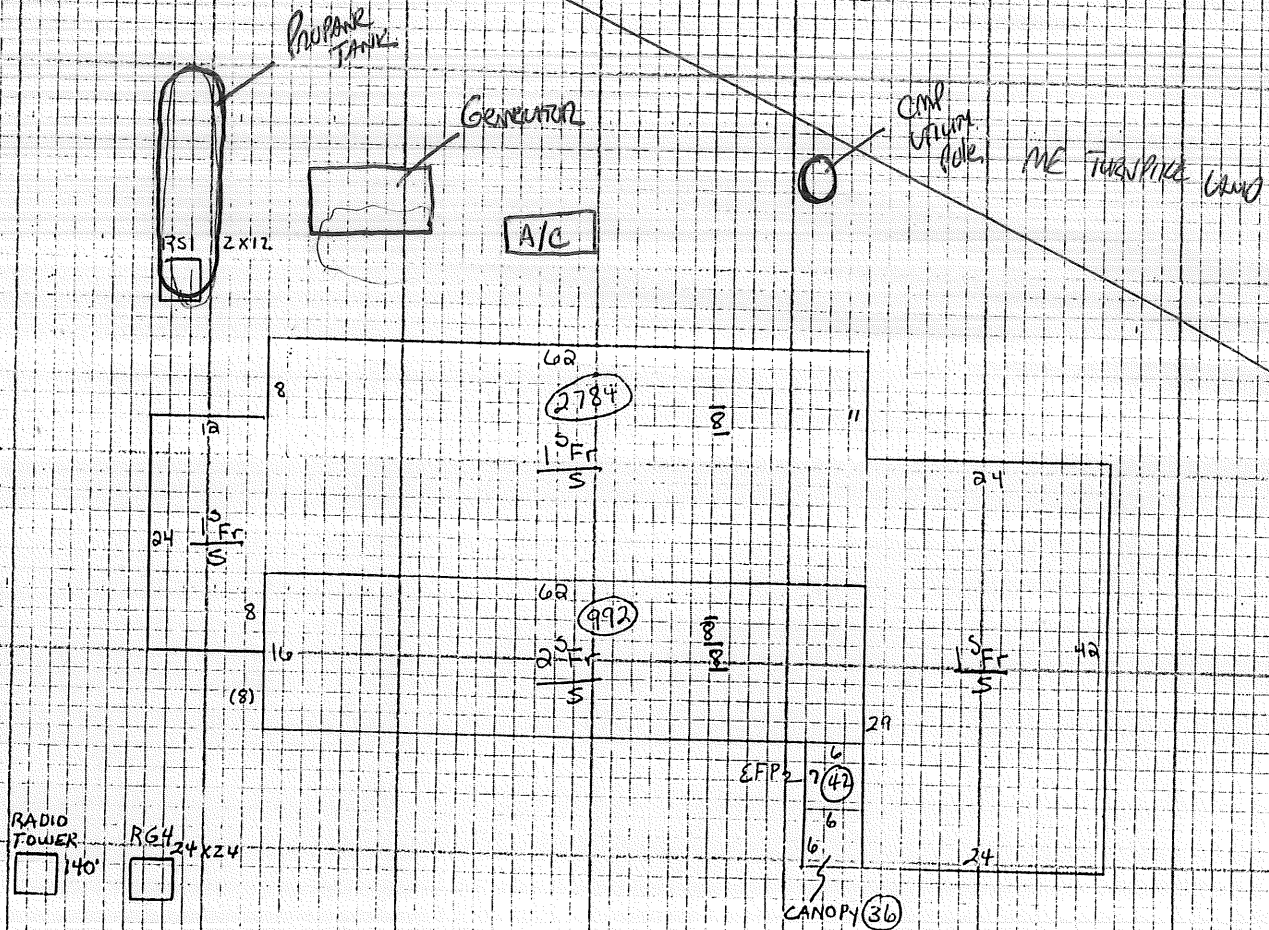
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officials authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

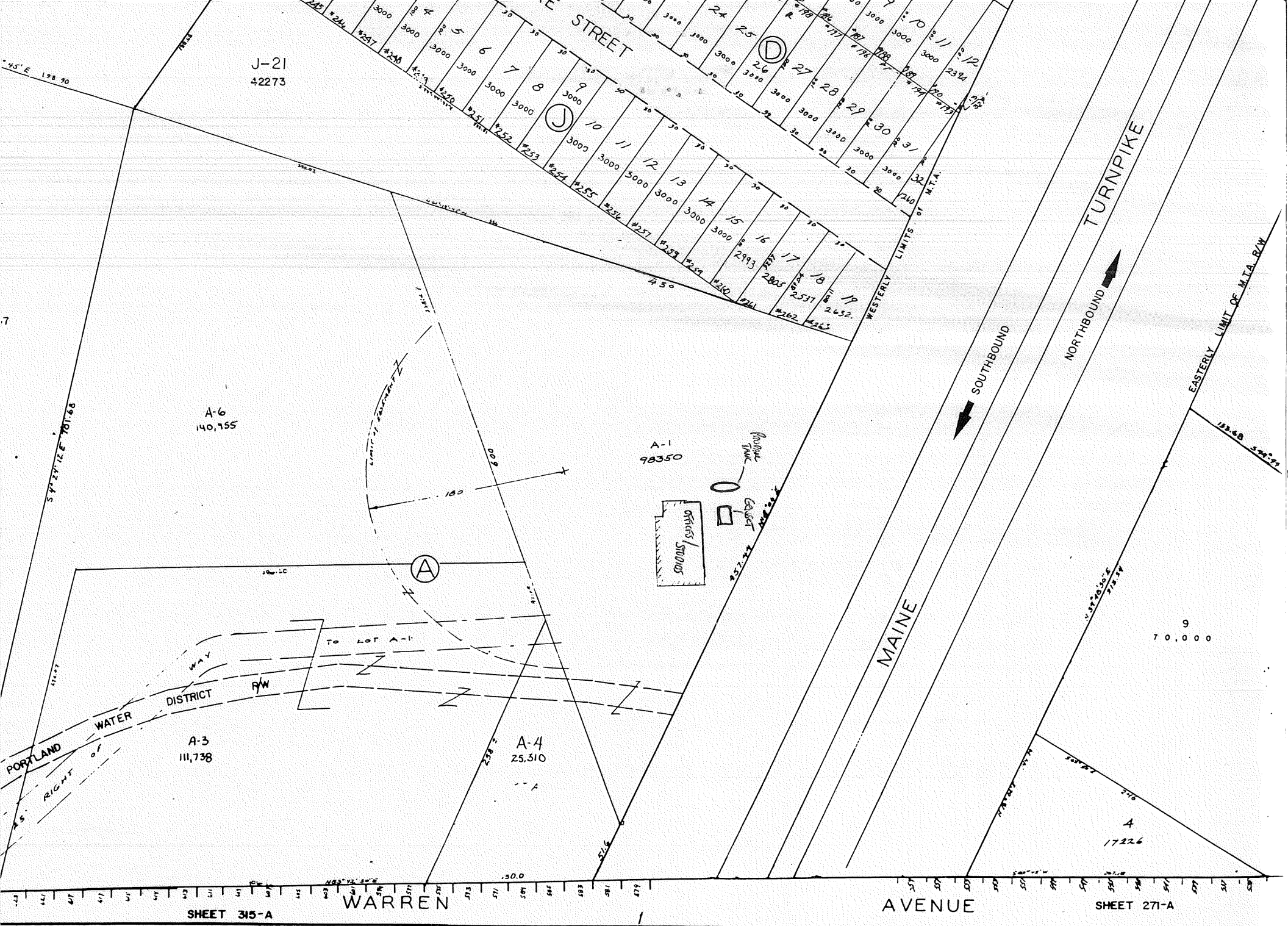
Signature of applicant: <i>[Signature]</i>	Date: <i>3/30/99</i>
--------------------------------------------	----------------------

Building Permit Fee: \$25.00 for the 1st \$1000.00 cost plus \$5.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum

Porter Communication Systems

4.698-FM





J-21
42273

A-6
140,755

A-1
98350

A-3
111,738

A-4
25,310

9
70,000

A
17226

SHEET 315-A

WARREN

AVENUE

SHEET 271-A

SCHEDULE A CONT.

PARCEL TWO

Off Warren Avenue, Portland, Maine

The land in Portland, Cumberland County, Maine, described as follows:

A triangular lot or parcel of land located on the westerly boundary of the main through-artery of the Maine Turnpike Authority near its intersection with Warren Avenue in said City of Portland, and more particularly described as follows:

beginning at a monument on the westerly side of said Maine Turnpike Authority through-artery and at the southeasterly corner of the land of the Grantor herein; thence northerly along the boundary of the through-artery of the Maine Turnpike Authority four hundred fifty-seven and forty-four hundredths (457.44) feet, more or less, to a point marking the northeasterly corner of the land of the Grantor herein; thence westerly by land now or formerly of Riverton Menesites, so-called, and land now or formerly of one Waning four hundred and thirty (430) feet, more or less, to a point; thence southeasterly by land now or formerly of Bowles a distance of six hundred (600) feet, more or less to the monument and point of beginning.

Also, a perpetual easement, appurtenant to the above-described parcel, to pass over land now or formerly of Horace K. Sowles, Jr. between the above-described parcel and Warren Avenue, the location of which shall be determined and at any time changed by said Horace K. Sowles, Jr., his successors and assigns, PROVIDED THAT said easement shall forever be at least of the width and type as the easement existing as of May 31, 1986, and that any such relocation shall be done in the manner which least interferes with the grantee's use of said easement, and that Grantee shall continue to bear the burden of maintaining its easement across the land of said now or formerly of Horace K. Sowles, Jr; together with all rights, easements, privileges and appurtenances belonging hereto.

Also, an easement over land in the City of Portland, County of Cumberland and State of Maine for the placement and maintenance of a guy wire and anchor point serving a transmitting tower located on land conveyed to Greater Portland Radio, Inc. by deed dated May 10, 1974 and recorded in the Cumberland County Registry of Deeds in Book 1351, Page 190, said land having subsequently been conveyed to Grantor herein, said anchor point being located westerly of a point on the Grantor's westerly boundary, located two hundred and twenty (220) feet, more or less, from the westerly corner thereof; the duration of said easement shall be for so long as said transmitting tower or any replacements stand on the Grantee's land; together with all rights, easements, privileges and appurtenances belonging hereto.

SCHEDULE A CONT.

Also all, right, title and interest of Atlantic Morris Broadcasting, Inc. in and to the following easement:

A certain perpetual easement for pedestrian or vehicular traffic and the installation of utilities in common with the Town of Gorham and others across, over and under a strip of land situated in the City of Westbrook, County of Cumberland and State of Maine, as described in a deed from Freeman R. Richardson, Sr., et al, to the Town of Gorham dated February 22, 1971 and recorded in the Cumberland County Registry of Deeds in Book 3160, Page 693.

Also the right to construct and maintain one (1) roadway twenty-five (25) feet in width an to pass and repass on foot and with vehicles over, along and across land of Central Maine Power Company (hereinafter "CMP") in the City of Westbrook, County of Cumberland and State of Maine, by means of a right of way twenty-five (25) feet in width crossing land conveyed to Central Maine Power Company by Portland Terminal Company by deed dated April 29, 1959 and recorded in the Cumberland County Registry of Deeds in Book 2468, Page 167. Said right of way, being twelve and five tenths (12.5) feet on each side of the centerline, is more particularly located and described as follows:

Beginning at a point on the southerly sideline of the land of CMP, at CMP's Station 54+05±; thence N. 23° - 00' E. one hundred (100) feet to the northerly sideline of CMP's land at CMP's Station 54+05±.

CMP's stations are referenced from Plan #639-542, Section 190, Mile 2. Said plan is on file at the office of CMP at Edison Drive, Augusta, Maine.

Also the right to construct and maintain one (1) roadway twenty-five (25) feet in width, together with the right to pass and repass on foot and with vehicles over, along and across land and interests in land acquired by the State of Maine by a Notice of Layout and Taking recorded June 24, 1969 at the Cumberland County Registry of Deeds Book 1091, Page 344, and being over land designated as Item No. 500-1 and Parcel No. 500-2 on a Right of Way Map for State Highway "12" Westbrook, Project No. U-012-1(6), File No. J-189.

All of the above described easements being subject to the covenants and restrictions set forth in a deed from Porter Communication Systems, Inc. to Atlantic Morris Broadcasting, Inc., dated August 22, 1991, and recorded in the Cumberland County Registry of Deeds in Book 9685, Page 150.

SCHEDULE A

PARCEL ONE

Off Wayside Drive, Westbrook, Maine

A certain lot or parcel of land, together with the improvements thereon, situated in Westbrook, Cumberland County, Maine southwesterly of Wayside Drive (a road newly constructed which is in part southerly of Conant Street) being bounded and described as follows:

Being bounded on the north by land now or formerly of Central Maine Power Co., on the west by land of Westbrook Housing Authority, on the south by land now or formerly of Clifford Olesen, and on the southeast by land now or formerly of Alice Perell and on the northeasterly by Wayside Drive, and being more particularly described as follows:

Commencing at an iron, said iron being a northwesterly point of land owned by Herbert E. Olesen, et al., said iron being the most southwesterly corner of land now or formerly of Benware, said iron being on the easterly line of land owned by the Housing Authority of the City of Westbrook; thence North 29° 27' East, by the Housing Authority land, for a distance of 466.83 feet, more or less, to a point, and the land of Central Maine Power Company; thence, South 66° 18' Easterly, on a line 146.75 feet southerly from, and concentric with the center or baseline of location of Portland Terminal Company, for a distance of 353.46 feet, more or less, to Wayside Drive; thence, South 12° 13' East, for a distance of 63.00 feet, more or less, to the centerline of the C & O Canal and the land of Alice Perell; thence South 10° 51' West, by the centerline of said Canal, for a distance of 407.25 feet, more or less to a point; thence, North 67° 36' West, to and by a fence, for a distance of 727.34 feet, more or less, to the point of beginning.

Also, all the right, title and interest of Atlantic Morris Broadcasting, Inc. in and to the following parcel of land situated in said Westbrook:

Beginning at the point of intersection of the southerly line of the location of the Portland and Rochester Railroad with the easterly line of land now or formerly of Nathaniel Clements; thence by said Clements line southerly to a point 100' from said Railroad's southerly line as aforesaid; thence, easterly, by the same course along said Railroad's southerly line and 100' therefrom across the old location of the Cumberland and Oxford Canal to land now or formerly of the heirs of George Warren; thence northerly by said Warren land to the southerly line of said Railroad; thence by said southerly line of said railroad westerly to the point of beginning; together with a fee or reversion in said Railroad's location northerly from and adjacent to the parcel herein described.

Continued on next page .

WARRANTY DEED

WCSO Broadcasting Limited Partnership, a Maine limited Partnership, ("Grantor") of Portland, Maine, for full value and consideration paid, hereby grants to Fuller-Jeffrey Broadcasting Corporation of Greater Des Moines, a Maine corporation, ("Grantee"), whose mailing address is 5161 Maple Drive, Des Moines, Iowa 50317, its successors and assigns forever, with WARRANTY COVENANTS, certain lots or parcels of land together with the buildings and fixtures thereon, located in the Cities of Portland and Westbrook, Cumberland County, Maine and bounded and described as set forth in Schedule A attached hereto and incorporated herein by reference.

Being the same premises conveyed by Atlantic Morris Broadcasting, Inc. to WCSO Broadcasting Limited Partnership by deed dated June 16, 1995, and recorded in the Cumberland County Registry of Deeds in Book 11970, Page 183.

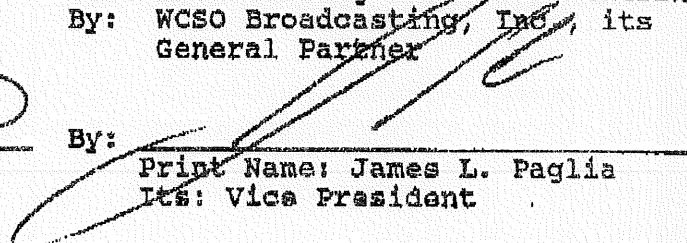
IN WITNESS WHEREOF, the above-named WCSO Broadcasting Limited Partnership has caused this instrument to be executed this ____ day of October, 1996.

WITNESS:



S MICHAEL PEIRCE

WCSO Broadcasting Limited Partnership
By: WCSO Broadcasting, Inc., its
General Partner

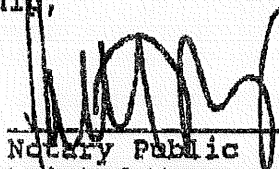

By: _____
Print Name: James L. Paglia
Its: Vice President

COMMONWEALTH OF MASSACHUSETTS

COUNTY OF MIDDLESEX

October 2, 1996

Personally appeared the above-named JAMES L. PAGLIA, VICE PRESIDENT of WCSO Broadcasting, Inc., as General Partner of WCSO Broadcasting Limited Partnership, and acknowledged the foregoing to be his free act and deed in said capacity and the free act and deed of said WCSO Broadcasting, Inc. on behalf of WCSO Broadcasting Limited Partnership,



Notary Public
Printed Name: _____
My Commission Expires: _____
Patricia Tremblay
NOTARY PUBLIC
My Commission expires Nov. 10, 2000

OVERVIEW OF TANGIBLE ASSETS

The tangible assets of radio stations WLPZ(AM) and WCSO(FM) that the appraiser identified and inspected include: land, land improvements, leasehold improvements, buildings, towers, AM antenna system, FM antenna system, AM transmitter equipment, FM transmitter equipment, technical equipment, ENG/EGP equipment, microwave equipment, satellite equipment, two-way radio equipment, vehicles, program/production materials and supplies, furniture and fixtures, office equipment, test equipment, tools, and spare parts. The inspection of the facilities of WLPZ/WCSO was conducted by David E. Dooley, a Consulting Engineer to BIA Consulting, Inc., on August 1-2, 1995. Chief Engineer Andy Armstrong provided information which served to establish the age, working condition, and ownership of the stations' tangible assets. Unless otherwise stated in this report, all references to the condition of an asset or assets apply as of the dates of the appraiser's inspection. Assets included in this appraisal are those at the WLPZ/WCSO studio and office site, WLPZ transmitter site, and WCSO transmitter site.

WLPZ, licensed to Westbrook, Maine, is a commercial AM station operating on a frequency of 1440 kilohertz with a full-time power of 5 kilowatts. The station utilizes a three-tower directional antenna system. One antenna is used for the daytime pattern, and three antennas are used for the nighttime pattern. WLPZ signed on the air in November 1959.

WCSO, licensed to Portland, Maine, is a commercial Class B FM station operating on a frequency of 97.9 MHz with an effective radiated power (ERP) of 16 kilowatts (H&V) at an antenna height of 889 feet above average terrain (HAAT). WCSO signed on the air in June 1960.

The shared studio and office facilities of WLPZ and WCSO occupy approximately 4,718 square feet of space, including a garage/storage area, in buildings at 583 Warren Avenue, Portland, Maine. The building and 98,350 square feet of land at this site are owned. The building, constructed in 1976, is a one and one half-story wood structure with poured concrete floor, wood facing on all sides, and inverted V asphalt shingle roof. Interior finishing includes wood partition walls, suspended ceilings and carpeting. At this location, in addition to offices shared by the stations, there is a shared production control room, shared maintenance shop/terminal room, WLPZ on-air control room, and WCSO on-air control room. Adjacent to the studio building is a 24.5 square foot garage building, which houses the company van and provides storage space. The garage building is a wood structure with wood facing that matches the studio building. The garage building rests on a concrete foundation and is covered by an inverted V asphalt shingle roof. The majority of technical equipment,

1, 1998	DUE MARCH 5, 1999	AMOUNT PAID	INTEREST DUE	PAY THIS AMOUNT
\$4,792.33	\$4,792.33	\$4,792.33		\$4,792.33

SECOND BILLIN
F31438-99

G INST: CBL Assessed Property Description

JUNT NUMBER F31438-99 314- - A-001-001

314-A-1
WARREN AVE 565-595 R



98350 SF

BRING COMPLETE TAX BILL WHEN
PAYING IN PERSON.

Please Make Your Check Payable to:
City of Portland

Send Copy of Bill to Mortgage Holder

PARTIAL PAYMENTS MAY BE MADE
AT ANY TIME.



FULLER-JEFFREY BROADCASTING
CORPORATION
583 WARREN AVE
PORTLAND ME 04103

RETURN THIS TOP PORTION WITH PAYMENT

Credit cards are not accepted for property tax payments.

KEEP THIS PORTION

1999 REAL ESTATE PROPERTY TAX STATEMENT
City of Portland

Fiscal Year 1999
July 1, 1998 - June 30, 1999

Owner of Record as of April 1, 1998

FULLER-JEFFREY BROADCASTING
CORPORATION
583 WARREN AVE
PORTLAND ME 04103

ACCOUNT NUMBER F31438-99

CBL

314- - A-001-001

LENDING INST.

DATE RECD

APPROVED

VEND # PORTLAND

ACCT # 8251.02 *792.33
1440.02 *400 -

Assessed Property Description

314-A-1
WARREN AVE 565-595 R

98350 SF

Change of Address

Name:

CURRENT BILLING DISTRIBUTION

School	\$ 5,070.27
Public Works	\$ 690.10
Parks & Recreation	\$ 249.20
Fire	\$ 757.19
Police	\$ 939.30
Debt Repayments	\$ 881.79
General Government	\$ 383.39
County	\$ 306.71
Health & Human Services	\$ 316.29-
Library	\$ 297.12
Metro Transit District	\$ 220.45
Enterprise Funds	\$ 57.51-
Regional Waste Systems	\$ 162.94

CURRENT BILLING INFORMATION

Land Value	\$ 132,480.00
Building Value	\$ 246,510.00
Total Value	\$ 378,990.00
Exemptions	\$.00
Homestead	\$.00
Taxable Value	\$ 378,990.00
Tax Rate	\$ 25.29
TOTAL TAX	\$ 9,584.66
AMOUNT PAID	\$ 4,792.33

Remittance Instructions

To avoid standing in line, it is recommended that taxes be paid by mail. Please make check or money order payable to: **CITY OF PORTLAND**. Credit cards are not accepted for property tax payments.

Use enclosed envelope to return your payment or mail to:

City of Portland
P.O. Box 544
Portland, ME 04112 - 0544

Use top right margin for change of address and check off box on return envelope.

March 23, 1999



Tim Moore
WHOM Radio Station
583 Warren Avenue
Portland, ME 04103
RE: Emergency Generator

PROPOSAL

We propose to furnish all necessary labor, materials, and equipment to complete the following scope of work for the lump sum Price of Thirty three Thousand One Hundred Dollars and 00/100 (\$33,100.00).

Scope of work:

- Provide necessary excavation for concrete generator pad, trenching for the electrical conduits from generator to building, and 50 feet of trench for the propane lines to generator pad.
- Generator Concrete Slab - Form, pour, place, & finish a 6'x6' concrete pad, 12" thick, 4000 psi concrete, 2 layers of #5 reinforcing steel.
- Propane Tank Concrete Slab - Form, pour, place, & finish 12'x6' concrete pad, 12" thick, 4000 psi concrete, 2 layers #5 reinforcing steel.
- Provide and install (1) Onan Model 65GGHB, 80 kW, 208 volt, 3 phase, 60 HZ, 1800 RPM engine generator which includes:
 - Electronic governor
 - Output Breaker - 225 amp
 - Two wire start control
 - AC meters
 - Oil pressure and coolant Temperature gauges
 - Coolant heater - 120 volt
 - Outdoor weather enclosure w/ silencer
 - Propane Fueled
 - Fuel solenoid w/ flex connector
 - Start battery
 - Coolant drain extension
 - Oil drain extension
 - Battery Rack
- Provide and install (1) Onan Model OT400, 400 amp, 208 volt, 3 phase, 60HZ, Automatic transfer switch which includes:
 - Time Delays
 - Exercise Clock
 - Charger
- Provide Initial Start-Up with operational test

Tel 207-725-4304

D.L. Poulin, Inc.

Fax 207-725-9939

General Contractors Construction Managers
40 Jordan Ave., PO Box 460
Brunswick, ME 04011
email: Build@DLPoulin.com


All work is warranted for a period of one year from completion.

Exclusions:

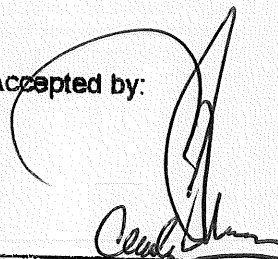
- 1. Central Maine Power Company or any other utility company costs.
- 2. Propane Fuel Tanks and piping
- 3. Concrete Pad for propane tanks
- 4. Propane Fuel
- 5. Permits
- 6. Bonds

Should you have any questions concerning this proposal please contact our office.

Sincerely,
DL Poulin, Inc.


John Burrell II
Project Manager

Accepted by:



WHOM RADIO STATION

3/24/99

DATE

Tel 207-725-4304	D.L. Poulin, Inc.	Fax 207-725-9939
------------------	-------------------	------------------

General Contractors Construction Managers
40 Jordan Ave., PO Box 480
Brunswick, ME 04011
email: Build@DLPoulin.com