

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ICTION

Permit Number: 090682

This is to certify that ROPER BENJAMIN G
has permission to Change of Use from single family home to single family home for a roofing business - no construction
AT 577 RIVERSIDE ST CL 312 B006001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise worked-in. 24 HOUR NOTICE IS REQUIRED.

PERMIT ISSUED
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.
JUL 17 2009
CITY OF PORTLAND

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. K. Sauter
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas H. Malley 7/8/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0682	Issue Date:	CBL: 312 B006001
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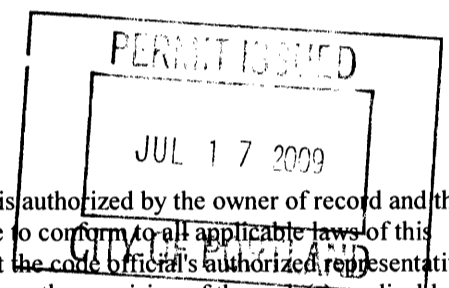
Location of Construction: 577 RIVERSIDE ST	Owner Name: ROPER BENJAMIN G	Owner Address: 117 FLORIDA AVE	Phone: 207-252-9470
Business Name:	Contractor Name:	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Home Occupation	Zone: JM

Past Use: Single Family Home	Proposed Use: Single Family Home & roofing business - Change of Use from single family home to a single family home & a roofing business - no construction (two separate uses)	Permit Fee: \$105.00	Cost of Work: \$0.00	CEO District: 5
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: Change of Use from single family home to a single family home & a roofing business - no construction (two separate uses)	Signature: <i>(Signature)</i>	Signature: <i>Jm 7/8/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 06/29/2009	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK M condition Date: 7/21/09 <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. I**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Thomas H. Manley

Signature of Inspections Official

Date

7/18/09

Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>577 RIVERSIDE ST</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>6232</u>	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>312</u> Block# <u>B</u> Lot# <u>6</u>	Applicant * <u>must be owner</u> , Lessee or Buyer* Name <u>BEN ROPER</u> Address <u>117 FLORIDA AVE</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>252.9470</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units _____ If vacant, what was the previous use? <u>SINGLE FAMILY AND OFFICE FOR ROOFING BUSINESS</u> Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>CHANGE CURRENT ZONE TO ALLOW A HOME BUSINESS IN SPACE ALREADY BUILT.</u>		
Contractor's name: _____		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

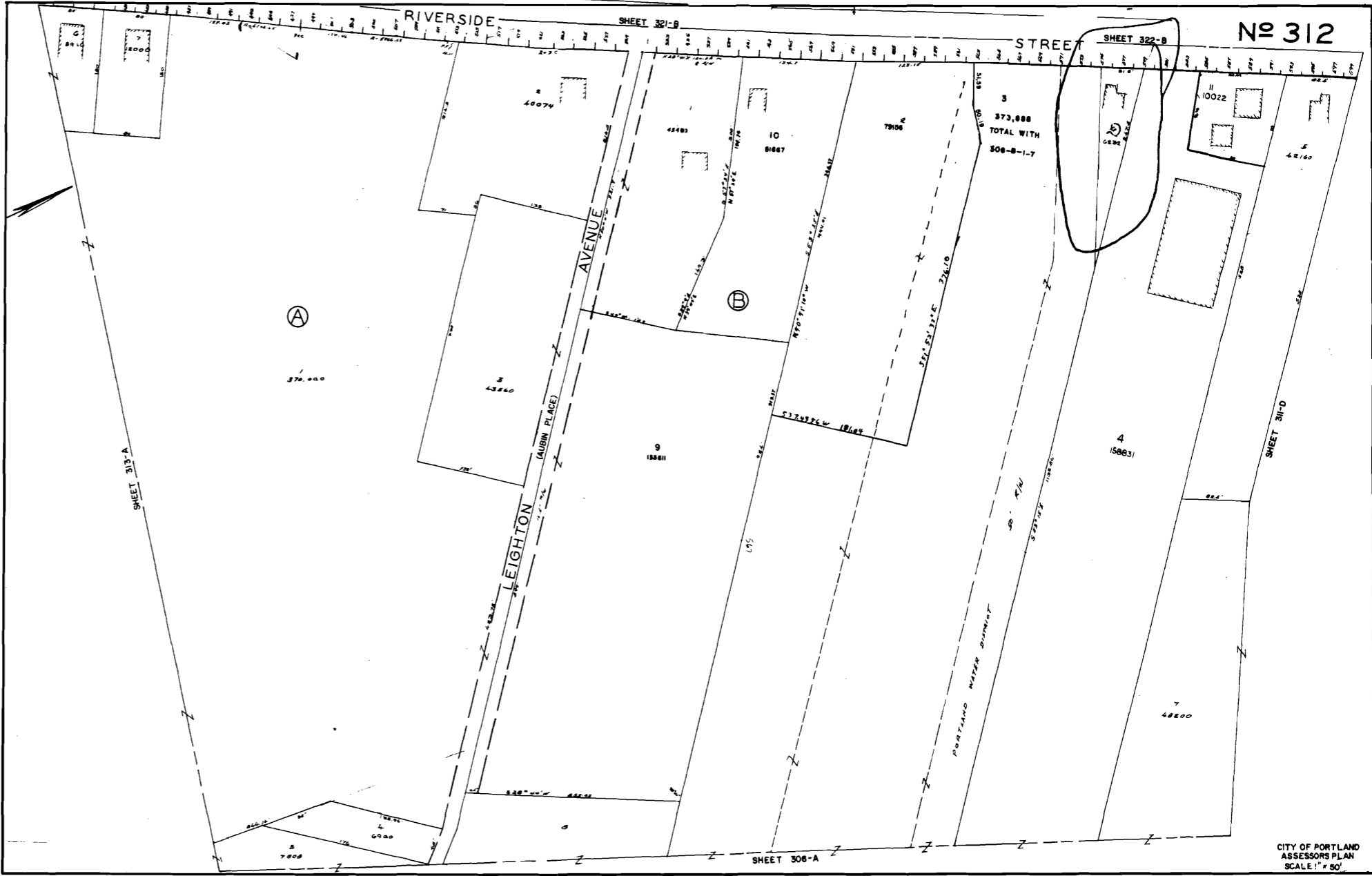
#105-

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

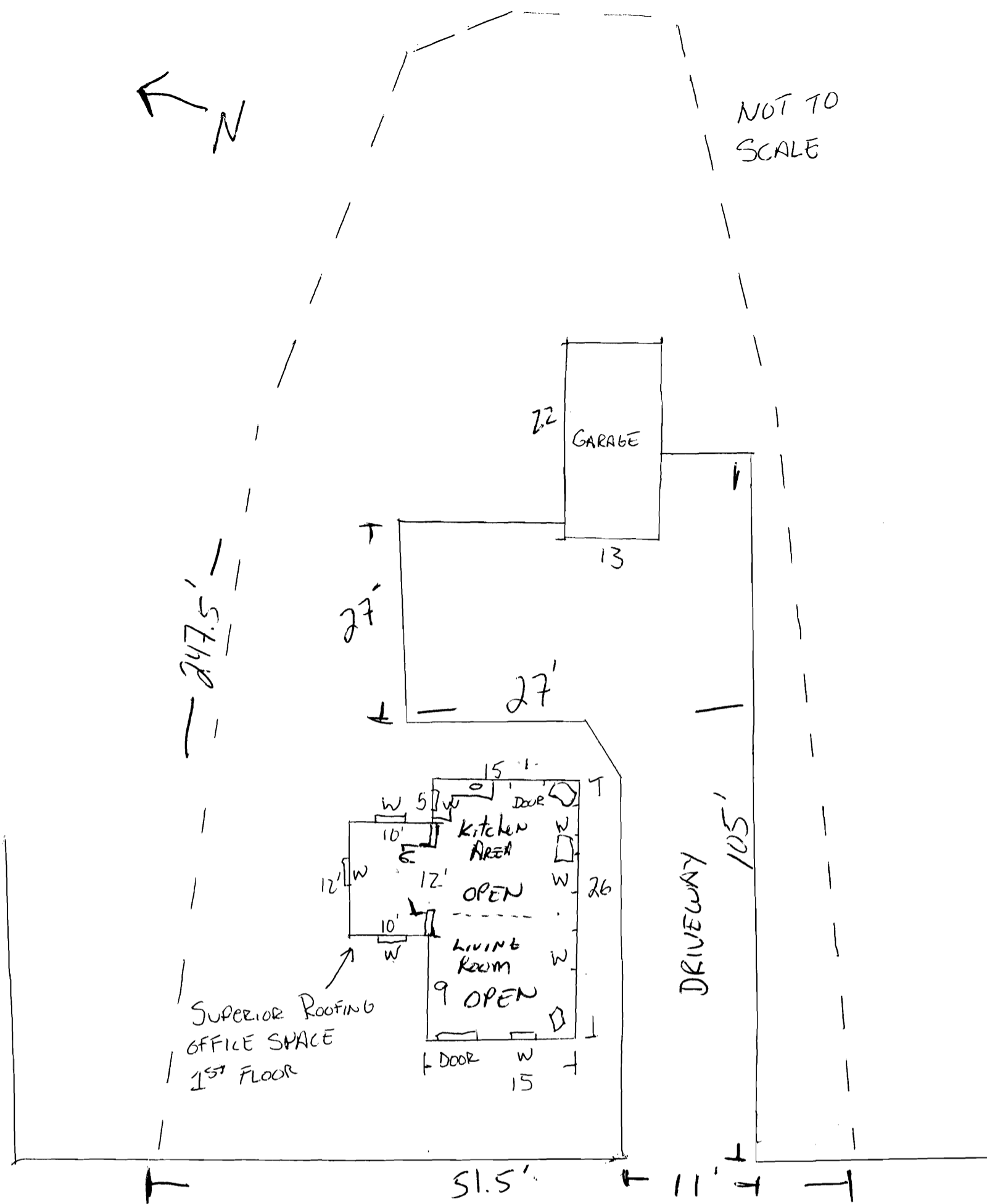
Signature: [Signature] Date: 6/29/09

This is not a permit; you may not commence ANY work until the permit is issue

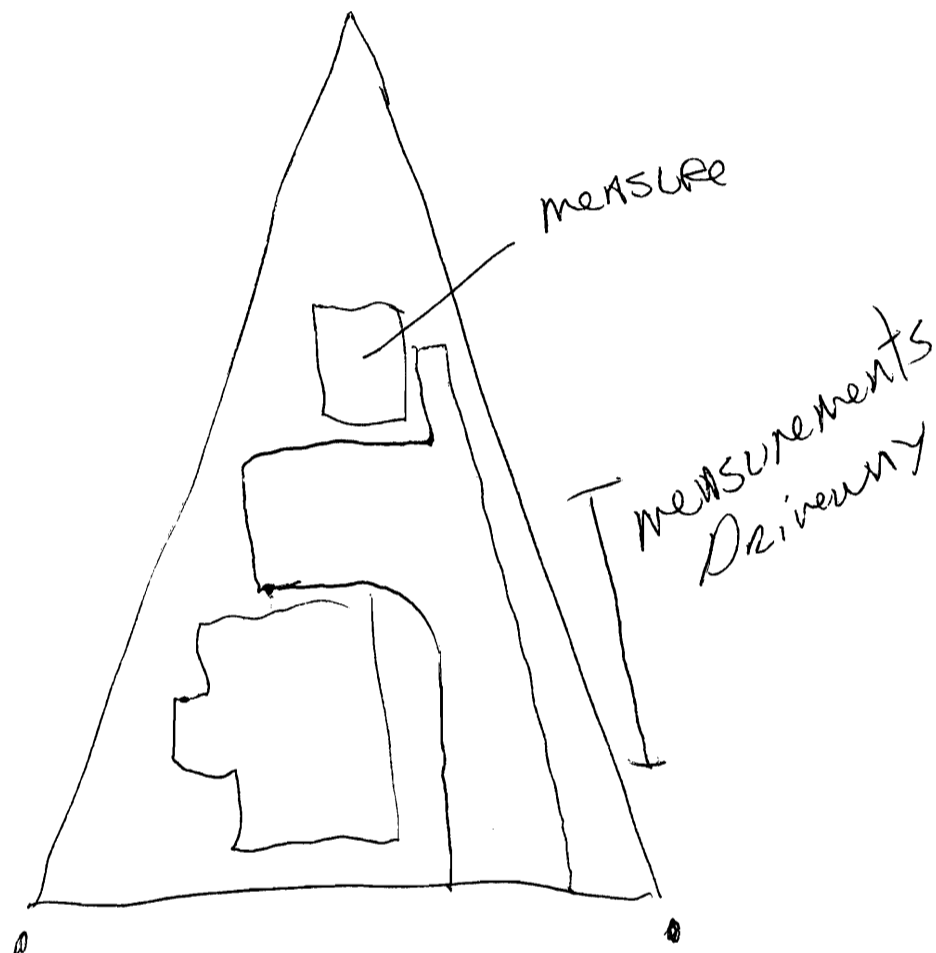
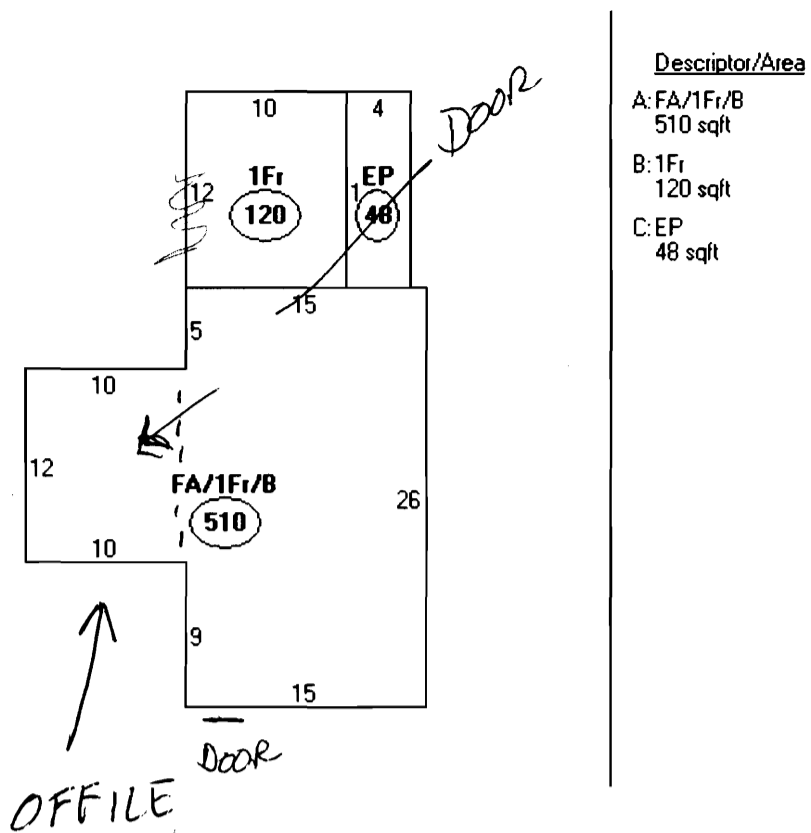




NOT TO SCALE



577 RIVERSIDE ST





Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Penny St. Louis Littell - Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator

30 days - June 25

May 26, 2009

Ben Roper
PO Box 11169
Portland, ME 04104

RE: 577 Riverside Street – 312 B006 – IM – roofing business out of single family home

Dear Mr. Roper,

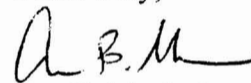
This letter is a follow up to the telephone conversation we had earlier today.

We met on April 3, 2009 to talk about the fact that you were running a roofing business at your property at 577 Riverside Street. This is a permitted use in the IM zone, but currently, the legal use of the property is a single family home. You were going to apply for a change of use permit to add a roofing business to your property at 577 Riverside Street.

As of today, we still have not received a change of use application. When I spoke to you this morning, you told me that you still were planning to submit a change of use application to add the roofing business. You had intended to do it sooner, but you had been dealing with personal issues and hadn't had time. You said that you thought that you could get it in next week.

You have thirty days to get the change of use application in to have the roofing business or you need to remove it. Please call me at 874-8709 if you have any questions.

Yours truly,


Ann B. Machado
Zoning Specialist
(207) 874-8709

6/25/09 met w/ Ben Roper @ the center.
He needed a plot plan and a floor plan.
He said he would bring it in ~~in~~ tomorrow
I told him we needed it by Monday

mailing address
P.O. Box 11169
Portland 04124

JM zone

552-9470

776-4035 (roofing phone)

e-mail inspector(s)		View Permit		Delete	Save	Close	Print Invoice
Date	03/31/2009	Time	10:30 AM	Inspector		Total Outstanding	Electrical Inspector Required?
Appl. Type	Complaint			Mike Menario	<input checked="" type="checkbox"/>	\$0.00	<input type="checkbox"/> No
Type	Trash on Property/junk vehicles					Census Tract	Fire Inspection Required?
Appl ID	13406					21	<input type="checkbox"/> No
Parcel Id:	312 B006001	Address:	577 RIVERSIDE ST	District Nbr:	5		


Running a business, (Superior Roofing), Multiple Trucks and trailers on the home premises. Trash is piling up. Junk all over the yard. He uses his front lawn for his driveway. Neighbors are unsure(they question) the legality of the business being run out of this home

CreatedBy	lmd	CreateDate	03/30/2009	ModBy	jme	ModDate	03/31/2009
		CreateTime	9:16 am			ModTime	3:32 pm

4/3/09 Met w/ Ben. Went over change of use application. Adding - use as ^{building} contractor. (roofing co.)
needs plot plan - needs floor plan - where is the office space. Needs some physical space for business - not just parking trucks there. Wants to keep single family use.
5/26/09 left remon both numbers - asked Ben to call AS AP - if roofing business is still there needs to apply for change of use - or remove it - 30 days. →


[e-mail inspector\(s\)](#)
[View Permit](#)
[Delete](#)
[Save](#)
[Close](#)
[Print Invoice](#)

Date 03/31/2009 **Time** 10:30 AM **Inspector** Mike Menario **Total Outstanding** \$0.00 **Electrical Inspector Required?** No
Appl. Type Complaint **Census Tract** 21 **Fire Inspection Required?** No
Type Trash on Property/junk vehicles
Appl ID 13406
Parcel Id: 312 B006001 **Address:** 577 RIVERSIDE ST **District Nbr:** 5


[Add Outcome](#)

Score: 0 **Status:** **Next Insp Due By:**

Notes: Went to site , there is roofing equipment and trash. Left message on phone and card on door. Ben Roper returned my call at 3:12 , I talk with him about his use and asked him to call Ann M in zoning. Talk to Ann and let her know what was going on , that he would call her.

Created By: mme **Mod By:**
Create Date: 03/31/2009 **Mod Date:**

[New Inspection](#)
[Violation This Inspection](#)
[Violations All Inspections](#)

CreatedBy lmd **CreateDate** 03/30/2009 **ModBy** mme **ModDate** 03/31/2009
CreateTime 9:16 am **ModTime** 3:32 pm

City of Portland, Maine
Memorandum

To: Marge Schmuckal, Zoning Administrator
From: Mary P. Davis, Loan Officer *Mary P. Davis*
Subject: Verification of Legal Number of Units

Date: 7/19/00
C-B-L- Number: 312 B6

We have received an application for housing assistance for the property located at:
577 Riverside Street

The applicant's name is: Sharon Newton
(current owner: Christopher Ingallo)

In completing the application the applicant has indicated that the number of units currently in use at this property is 1.

Please verify that the number of units are legal under the current code.

- Yes, the number of units are legal.
- No, the number of units do not coincide with City records or the Land Use Code. According to City records the legal number of units for this property is _____.
- The property is a single family dwelling.

Verified By: *Marge Schmuckal* Title: *Zoning Admin*
10/16/00

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Business Name:	Contractor Name:	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Home Occupation	

Proposed Use: Single Family Home & roofing business - Change of Use from single family home to a single family home & a roofing business - no construction (two separate uses)	Proposed Project Description: Change of Use from single family home to a single family home & a roofing business - no construction (two separate uses)
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<p>Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 07/02/2009</p> <p>Note: The existing use of the property is a single family home which is a nonconforming use. The applicant wants to add a sue and have a single family home and a roofing business (2 uses in one building) Ok to Issue: <input checked="" type="checkbox"/></p> <p>1) Separate permits shall be required for any new signage.</p>
<p>Dept: Building Status: Approved with Conditions Reviewer: Tom Markley Approval Date: 07/08/2009</p> <p>Note: Ok to Issue: <input checked="" type="checkbox"/></p> <p>1) This is a Change of Use ONLY permit. It does NOT authorize any construction activities.</p> <p>2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</p>
<p>Dept: Fire Status: Approved Reviewer: Capt Keith Gautreau Approval Date: 07/08/2009</p> <p>Note: Ok to Issue: <input checked="" type="checkbox"/></p>