

* Give copy of plans w/ permit w/ notes on them. m.

8/3/04 Cpt to do Sonas & Setbacks —

No setback lines on Critical Right Side.
Sonas had been poured & backfilled —
New addition will be located within
7' of above job. pool which does not
show on approved plans —
Posted "Stop Work Order" @

Note:

8/10/04 - Reduced length by 3' - setbacks
the same - distance is 10' from pool -
OK to continue.

8/11/04 Ckd to new dimensions — on — 10' 2" for pool
Right Setback 10' 4" to string line between pins,
tube pattern & depth of old to proceed @

8/25/04 Elec by Larry Ferrante,
Close to - Front Stairs not in, railing front
deck needs 1" height done 11/1/04
w/ new doors to deck additional pool protection
needed — on to close @

11/1/04 - Final -
① Needs std. Handrail Front Stairs
alarms installed on all doors & windows
facing & leading to pool — @

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0850		Permit Date: JUL 23 2004	CBL: 310 E006001
Location of Construction: 100 Lane Ave	Owner Name: Libby Robert A & Terri L Jts	Owner Address: 100 Lane Ave	Phone: 797-7938
Business Name:	Contractor Name: Owner	Contractor Address: 100 Lane Ave Portland	Phone: 2077977938
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	Zone: R-3
Past Use: single family home	Proposed Use: single family home with 12x24 summer rec room 12' x 21'	Permit Fee: \$111.00	Cost of Work: \$10,000.00
Proposed Project Description: add 12x24 summer rec room to single family home 12' x 21'		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>[Signature]</i>	CEO District: 5
		INSPECTION: Use Group: R-3 Type: SB BOA 1979 <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: jodinea	Date Applied For: 06/23/2004	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/22/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 7/22/04	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

_____ SIGNATURE OF APPLICANT	_____ ADDRESS	_____ DATE	_____ PHONE
_____ RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		_____ DATE	_____ PHONE

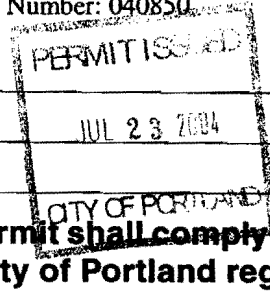
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

PERMIT SECTION

Permit Number: 040850

PERMIT



This is to certify that Libby Robert A & Terri L Its owner
has permission to add 12'x24' summer rec room single family home
AT 100 Lane Ave 310 E006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
7/22/04
Director, Building & Inspection Services

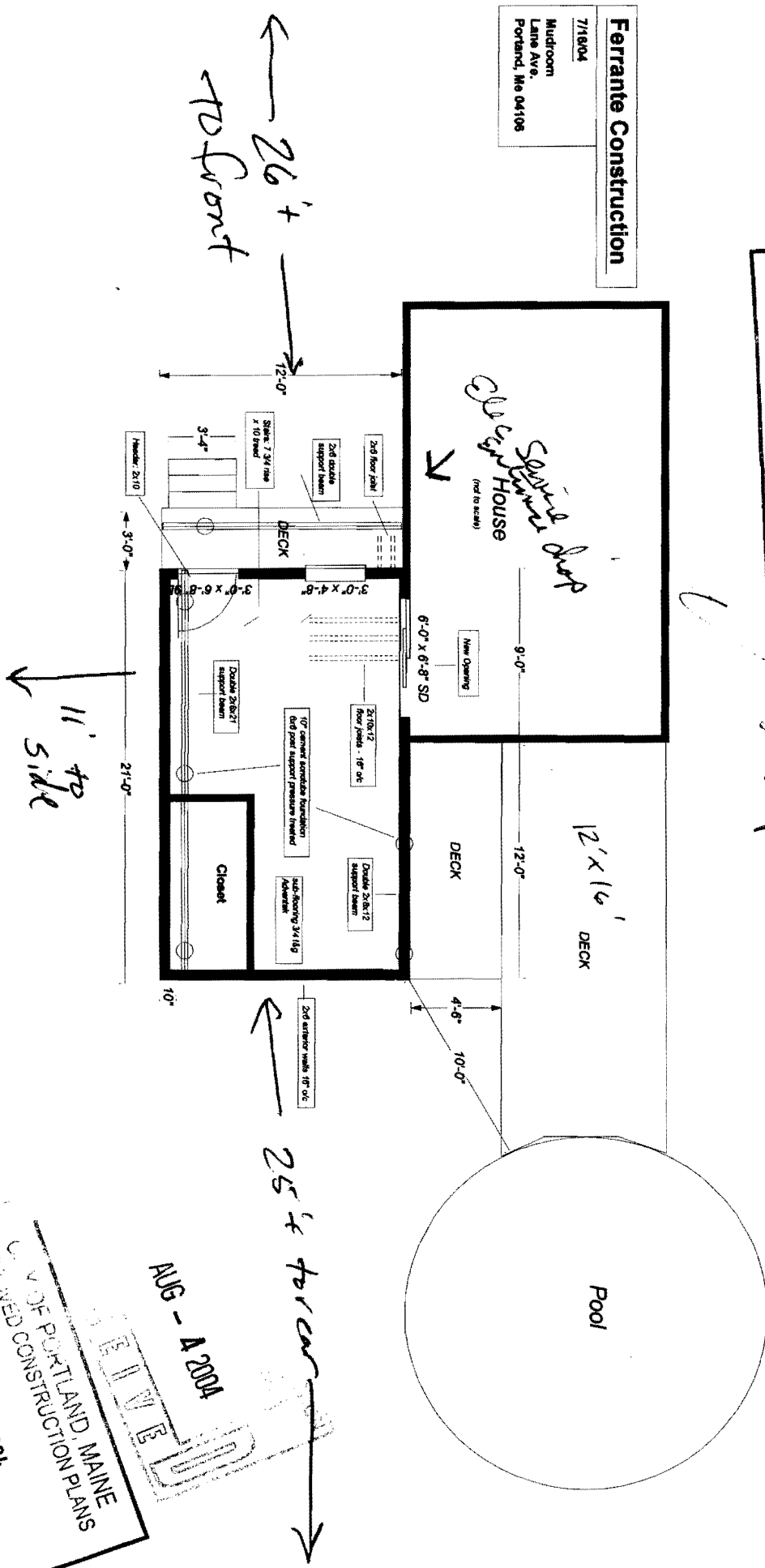
PENALTY FOR REMOVING THIS CARD

CITY OF PORTLAND
 APPROVED AUG 20 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS

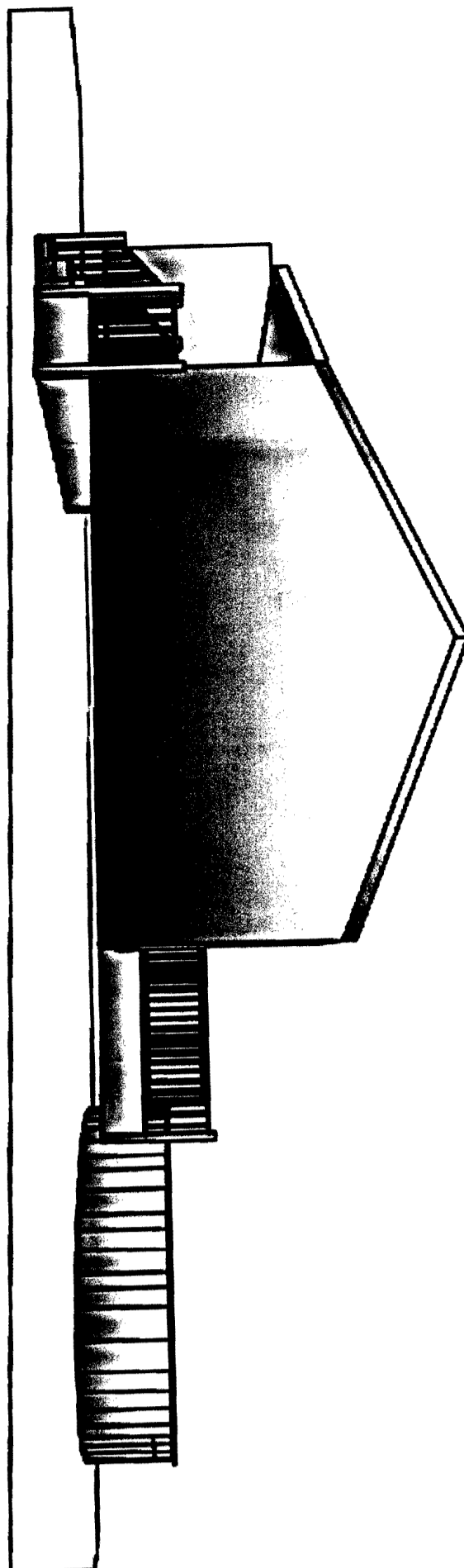
*Schedule 3000
 Permit to be by (10/1/04)
 Permit to be by (10/1/04)*

252-4443

Ferrante Construction
 771804
 Midroom
 Lane Ave.
 Portland, Me 04108

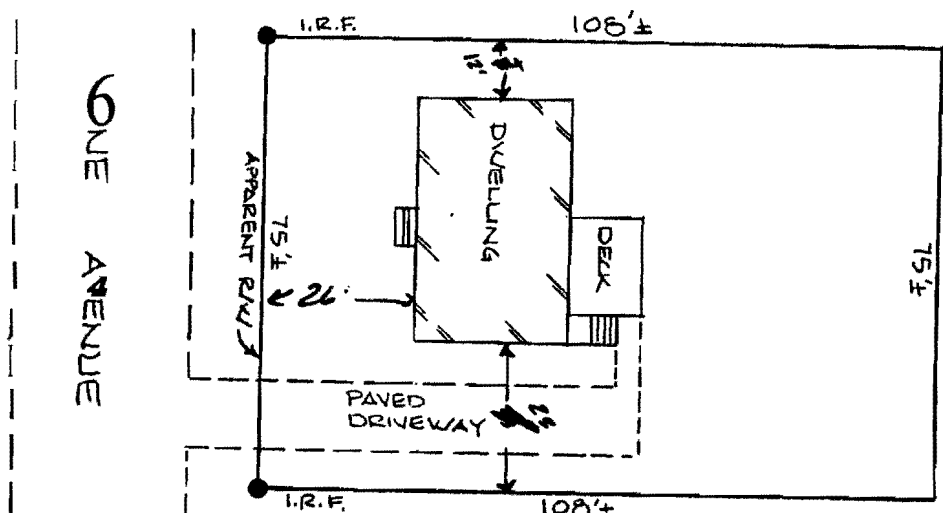




AUG - A 2004
 CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 AUG - 9 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS



CITY OF PORTLAND, MAJ. E.
APPROVED CONSTRUCTION PLANS
AUG 10 2004
SUPERSEDES ALL
PRIOR DATED PLANS

AUG - 4 2004
11 15 10 15




 JUN 20 1998


MORTGAGE LOAN INSPECTION PLAN

The dwelling does conform to local zoning building setbacks at the time of construction

The dwelling is not in a special flood zone as defined by flood insurance rate map 230051-0006 dated 7-15-1992.


THIS IS NOT A STANDARD BOUNDARY SURVEY. Information shown on this plan is for mortgage purposes only. Property lines shown on this plan are based on current lines of occupation, current deed information (referenced Mow), and tax map information. A **STANDARD BOUNDARY SURVEY IS SUGGESTED TO CONFIRM ALL BOUNDARY LINES SHOWN ON THIS PLAN.** This plan may not be recorded or used for any land divisions. The property shown on this plan may be subject to easements, covenants, and restrictions of record which may not be shown on this plan.

This inspection conforms to the standards of the Maine Board of Licensure for Professional Land Surveyors, standards of practice for a Mortgage Loan Inspection.

PROPERTY INFORMATION

Street: 100 LANE AVENUE Town: PORTLAND County: CUMBERLAND ,Maine
 Owner: ELIZABETH MANNING
 Buyer: ROBERT & TERRI LIBBY
 Deed Reference: book page
 Plan Reference: book page lot
 Tax Map # 310 Lot 6 Block E
 Lending Institution FIRST FINANCIAL MORTGAGE CO.
 Scale: 1 inch = 30 feet Date: DECEMBER 7, 1998

Atlantic Title Company
 76 Atlantic Place
 South Portland, Maine 04106
 Telephone (207) 7744400


 WILLIAM G. AUSTIN
 STATE OF MAINE
 PROFESSIONAL LAND SURVEYOR # 2174

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0850	Date Applied For: 06/23/2004	CBL: 310 E006001
-----------------------	---------------------------------	---------------------

Location of Construction: 100 Lane Ave	Owner Name: Libby Robert A & Terri L Jts	Owner Address: 100 Lane Ave	Phone: () 797-7938
Business Name:	Contractor Name: Owner	Contractor Address: 100 Lane Ave Portland	Phone: (207) 797-7938
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

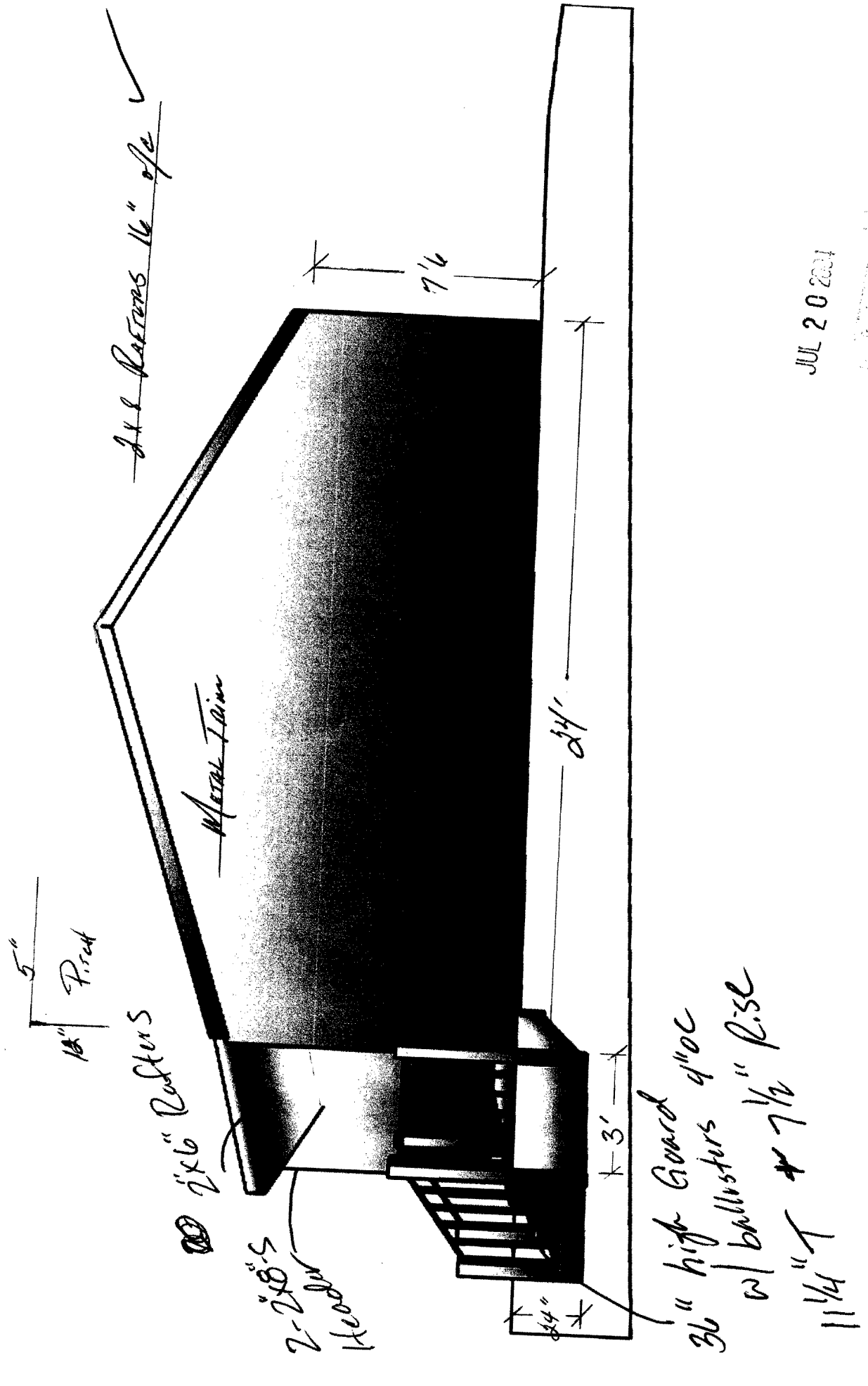
Proposed Use: single family home with 12'x24' summer rec room	Proposed Project Description: add 12'x24' summer rec room to single family home
--	--

Dept: Zoning Status: Approved Reviewer: Tammy Munson Approval Date: 07/22/2004
 Note: Ok to Issue:

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 07/22/2004
 Note: Ok to Issue:
 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:
 7/13/04-tmm: Need plot plan submitted, drawings are very inadequate - called owner and went over req. info. Will submit more. Tmm
 7/20/04-tmm: New drawings submitted - need to address cantilever (2' shown can only be 10"), need header info for 8' and 6' openings, front porch girder size too small or add one more tube, need rear deck framing drawing, roof framing over front porch, guardrail details, attachment to house (ledger size and lag size) called builder
 7/22/04-tmm: went over all of the above issues w/builder - ok to issue.

Ferrante Construction 7/14/07

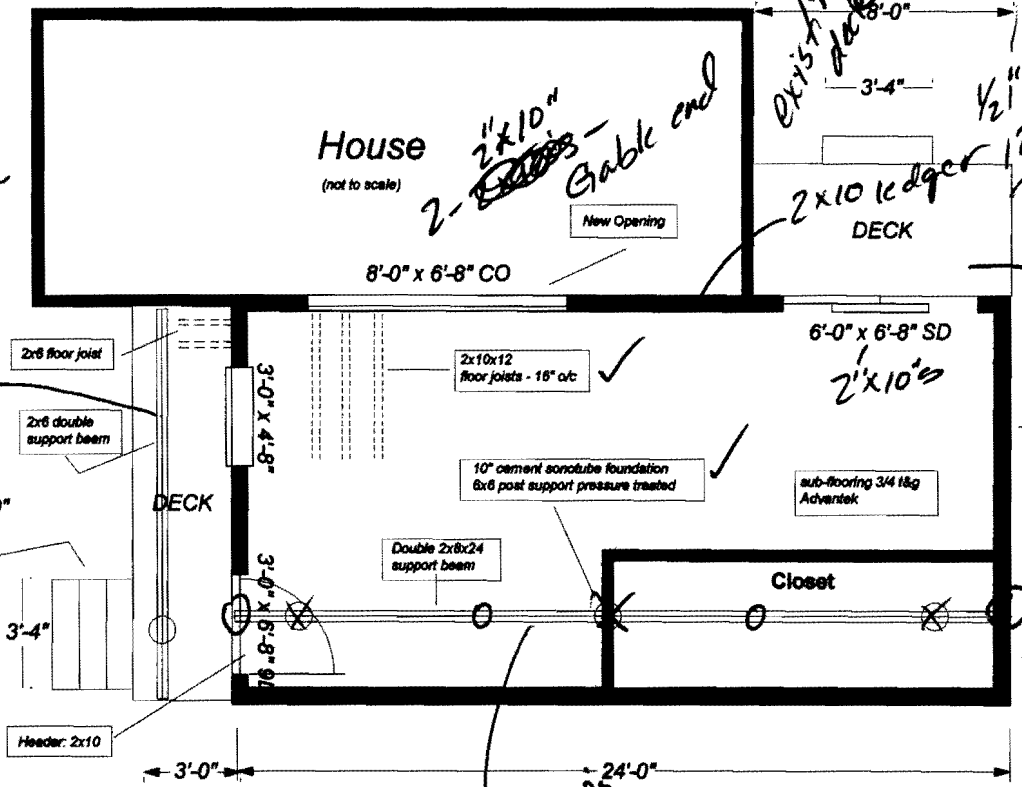


JUL 20 2007
11:17 AM

739-1665
Terry
797-7938

JUL 20 2004

Ferrante Construction
7/16/04
Mudroom
Lane Ave.
Portland, Me 04106



Will 2-2x8
Need either
3-2x6's @ 10' spac
1 more tube

Need 3-~~2x8~~
8' oc

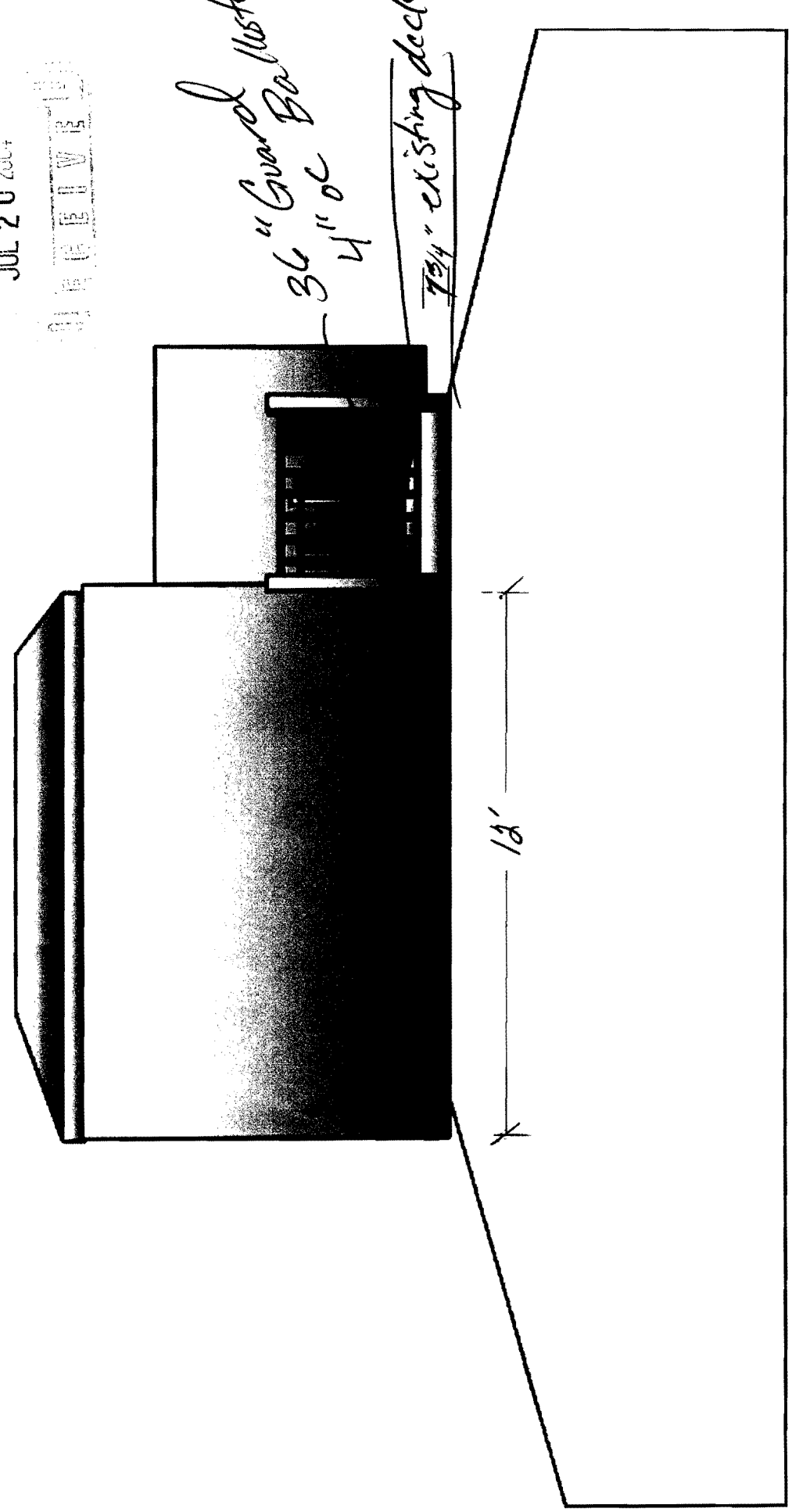
36" Guard
4" x ballusters
2x6 Joists
attached to
deck to house

#10" will only
cantilever 10"

Ferrante Construction 7/16/04

JUL 20 2004

RECEIVED

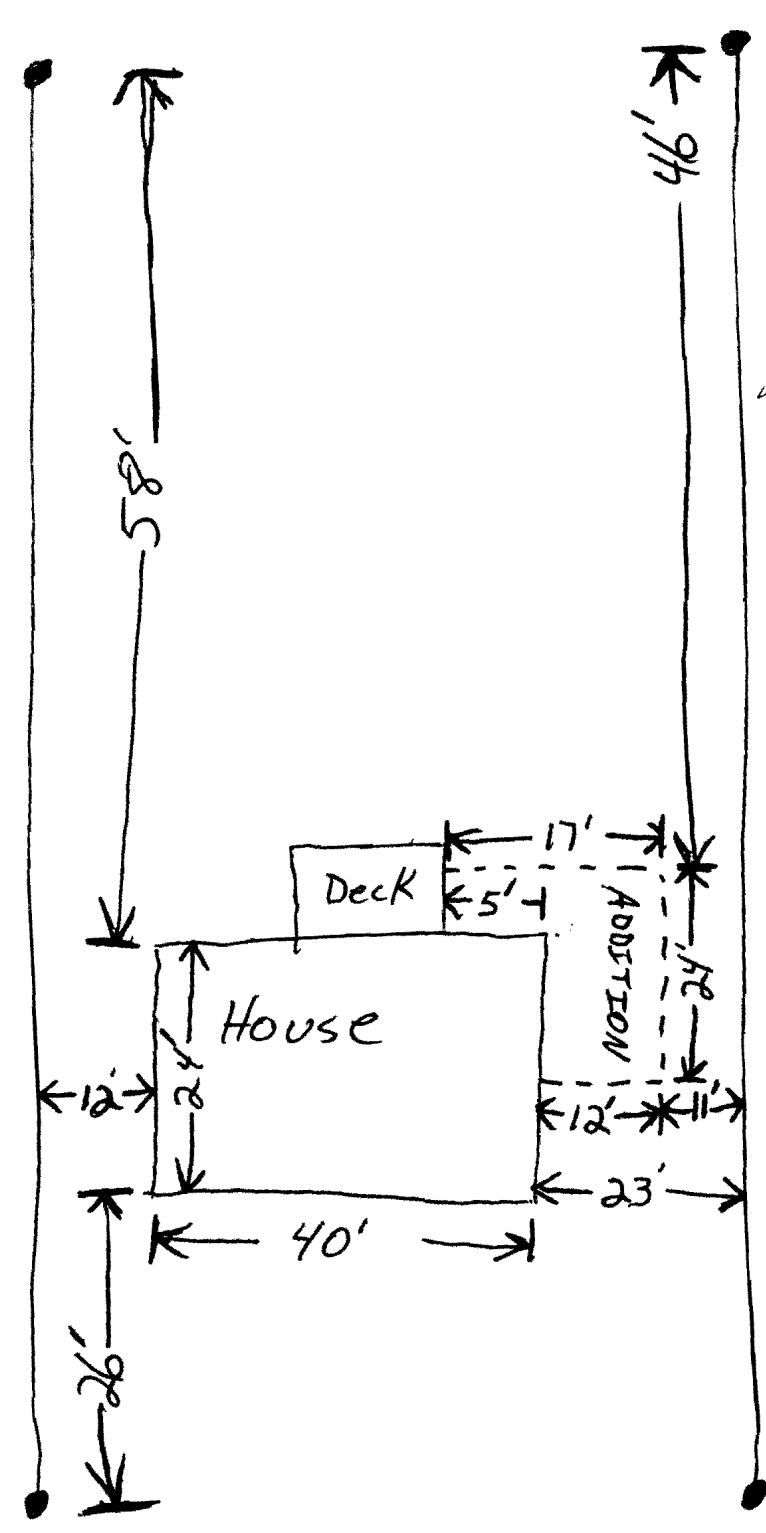


TAMMY 874-8706

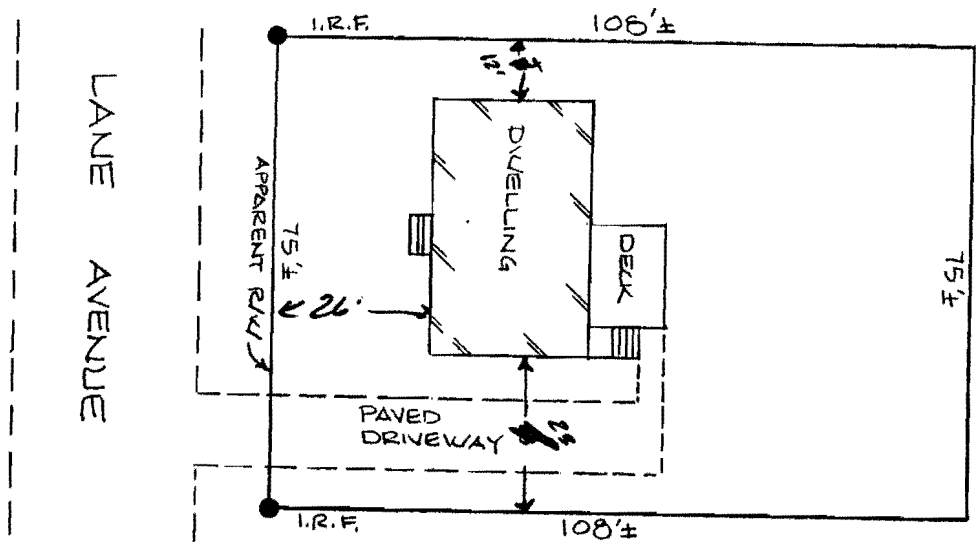
Lot cov
8100
x .25
2025 house
2954 deck
822
879 left
879 Proposed
2000 left
OK

12' Sides
11' 23'
14' 8' 22'
OK

R-3
1 story - 8'
2 stories - 14'
25' Front + rear
OK



JUL 20 2011



RECEIVED
 JUL 20 1998

MORTGAGE LOAN INSPECTION PLAN

The dwelling does conform to local zoning building setbacks at the time of construction.

The dwelling is not in a special flood zone as defined by flood insurance rate map 230051-0006 dated 7-15-1992.

THIS IS NOT A STANDARD BOUNDARY SURVEY. Information shown on this plan is for mortgage purposes only. Property lines shown on this plan are based on current lines of occupation, current deed information (referenced below), and tax map information. A **STANDARD BOUNDARY SURVEY IS SUGGESTED TO CONFIRM ALL BOUNDARY LINES SHOWN ON THIS PLAN.** This plan may not be recorded or used for any land divisions. The property shown on this plan may be subject to easements, covenants, and restrictions of record which may not be shown on this plan.

This inspection conforms to the standards of the Maine Board of Licensure for Professional Land Surveyors, standards of practice for a Mortgage Loan Inspection.

PROPERTY INFORMATION

Street: 100 LANE AVENUE Town: PORTLAND County: CUMBERLAND , Maine
 Owner: ELIZABETH MANNING
 Buyer: ROBERT & TERRI LIBBY
 Deed Reference: book page
 Plan Reference: book page lot
 Tax Map # 310 Lot 6 Block E
 Lending Institution: FIRST FINANCIAL MORTGAGE CORP.
 Scale: 1 inch = 30 feet Date: DECEMBER 7, 1998

Atlantic Title Company
 76 Atlantic Place
 South Portland, Maine 04106
 Telephone (207) 774-4400

William G. Austin
 WILLIAM G. AUSTIN
 STATE OF MAINE
 PROFESSIONAL LAND SURVEYOR # 2174

DEPT. OF BUILDING INSPECTION
CITY OF CLEVELAND

JUN 22 2004

All Purpose Building Permit Application

By the property owner or the property owner's authorized agent, the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>100 Lane Ave</u>		
Total Square Footage of Proposed Structure <u>348</u>	Square Footage of Lot <u>7800</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>310</u> Block# <u>E</u> Lot# <u>006</u>	Owner: <u>Bob, Terri Libby</u>	Telephone: <u>797-7938</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Bob & Terri Libby</u> <u>100 Lane Ave</u> <u>797-7938</u>	Cost Of Work: <u>\$10,000.00</u> Fee: <u>\$ 111.00</u>
Current use: _____		
If the location is currently vacant, what was prior use: <u>Driveway</u>		
Approximately how long has it been vacant: <u>20 years</u>		
Proposed use: <u>Summer Rec Room</u>		
Project description: <u>12x24 Rec Room</u>		
Contractor's name, address & telephone: <u>Bob Libby</u>		
Who should we contact when the permit is ready: <u>Robert Libby</u>		
Mailing address: <u>100 Lane Ave Port Mo OH 44103</u> <u>797-7938</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-7938</u>		

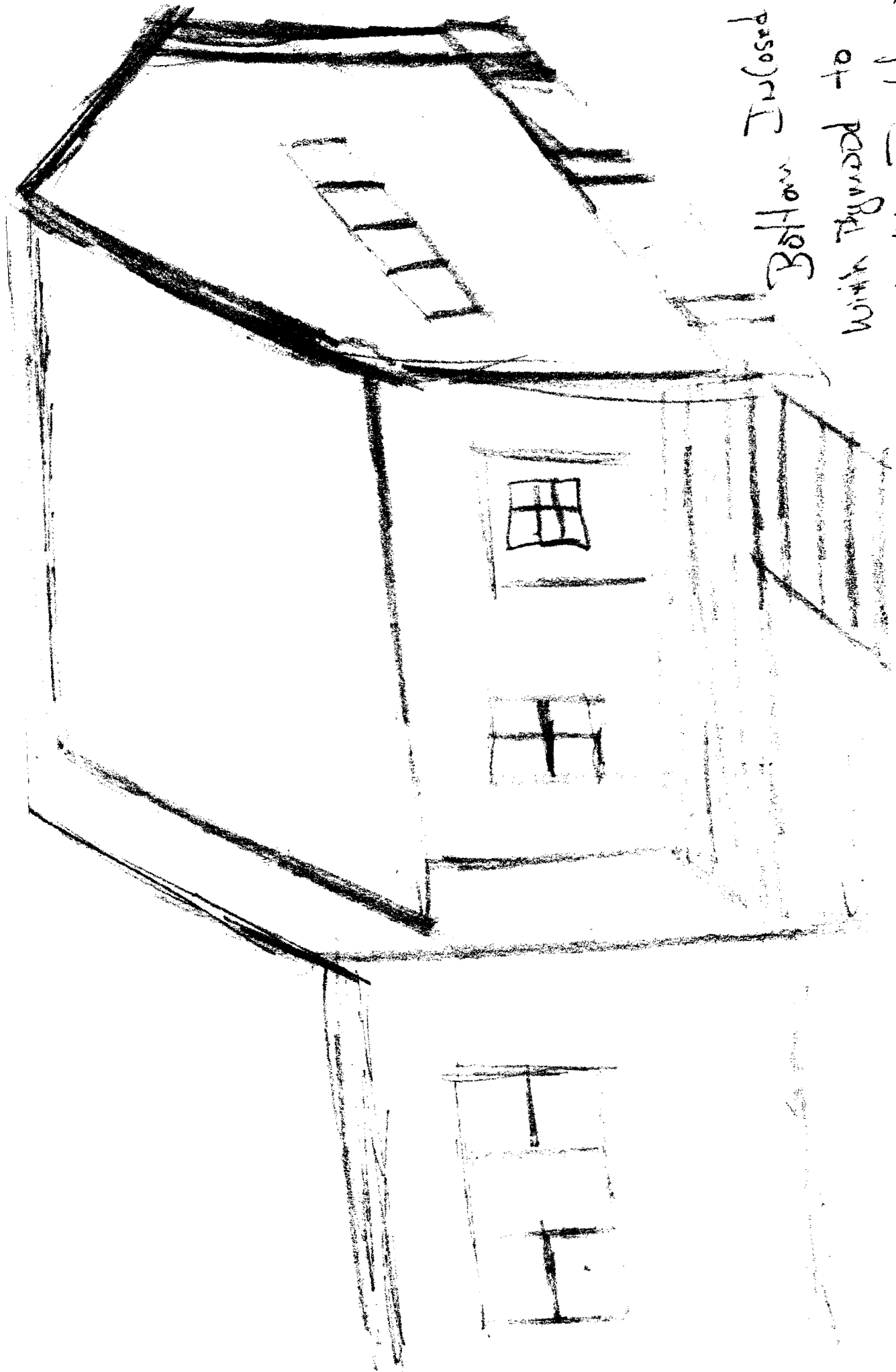
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Robert Libby Date: 6/11/04

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Qsh

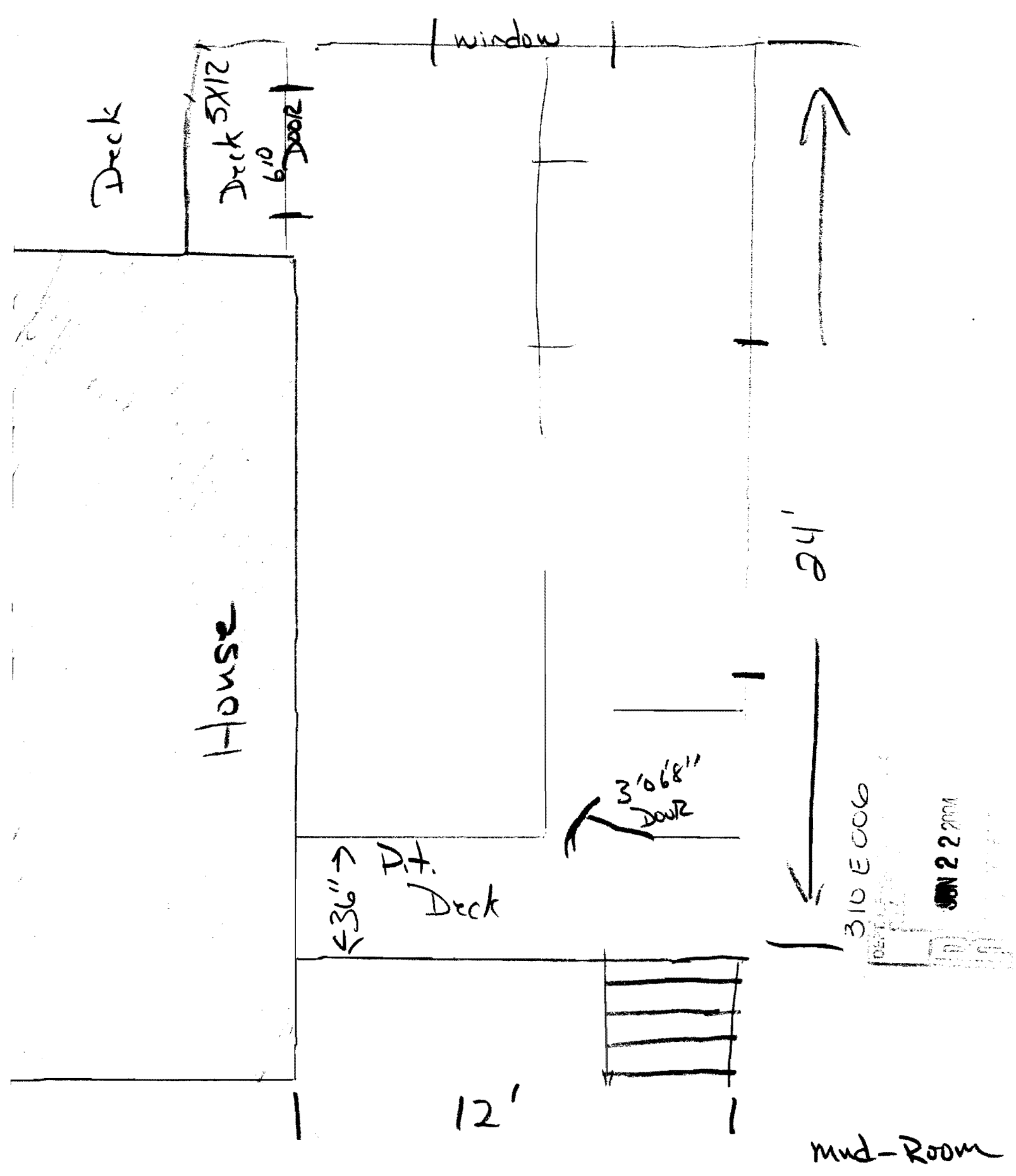


Bottom Inlaid
with Plywood to
look like Foundations

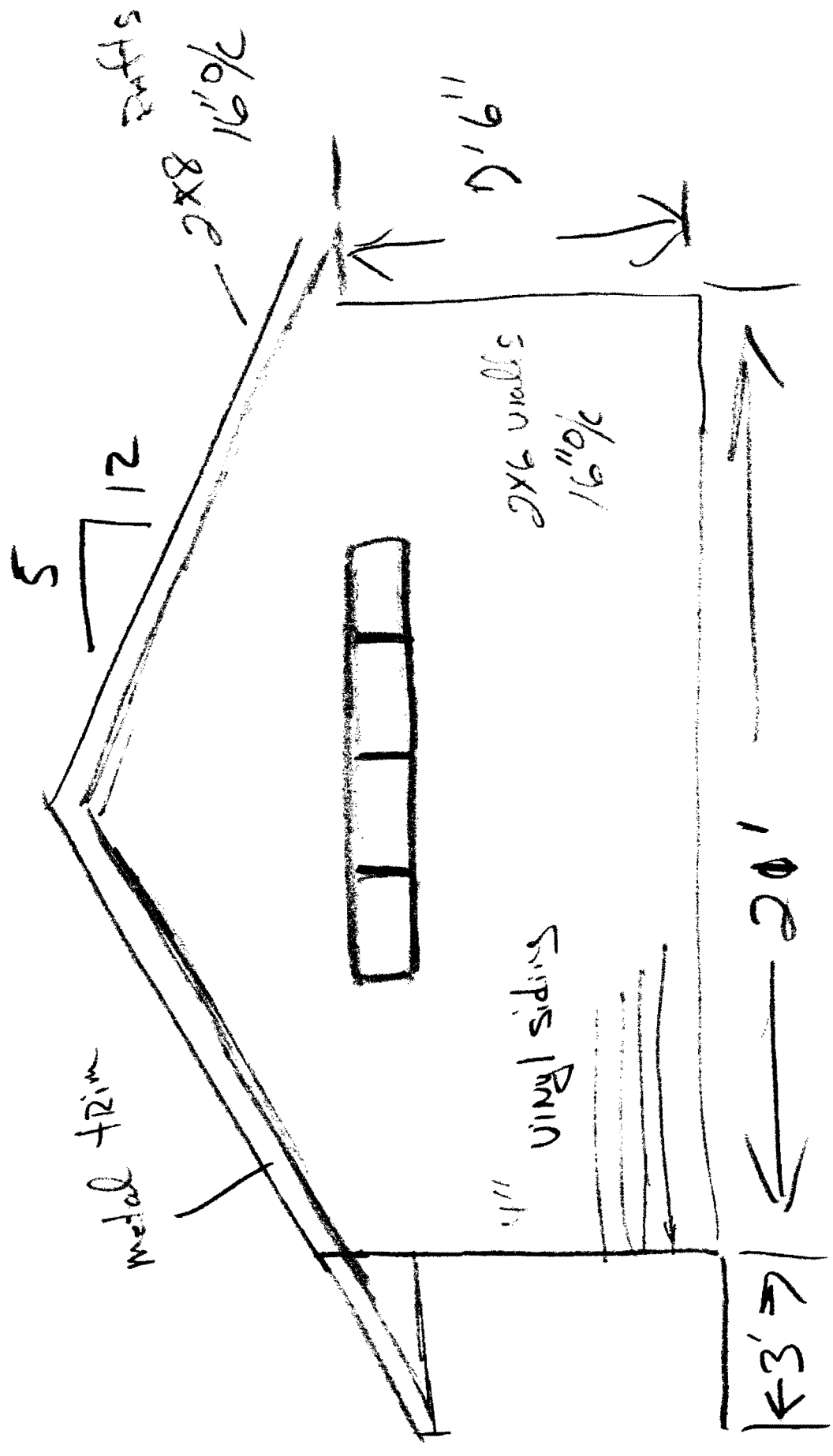
SIC ECCO

JUN 2 2001

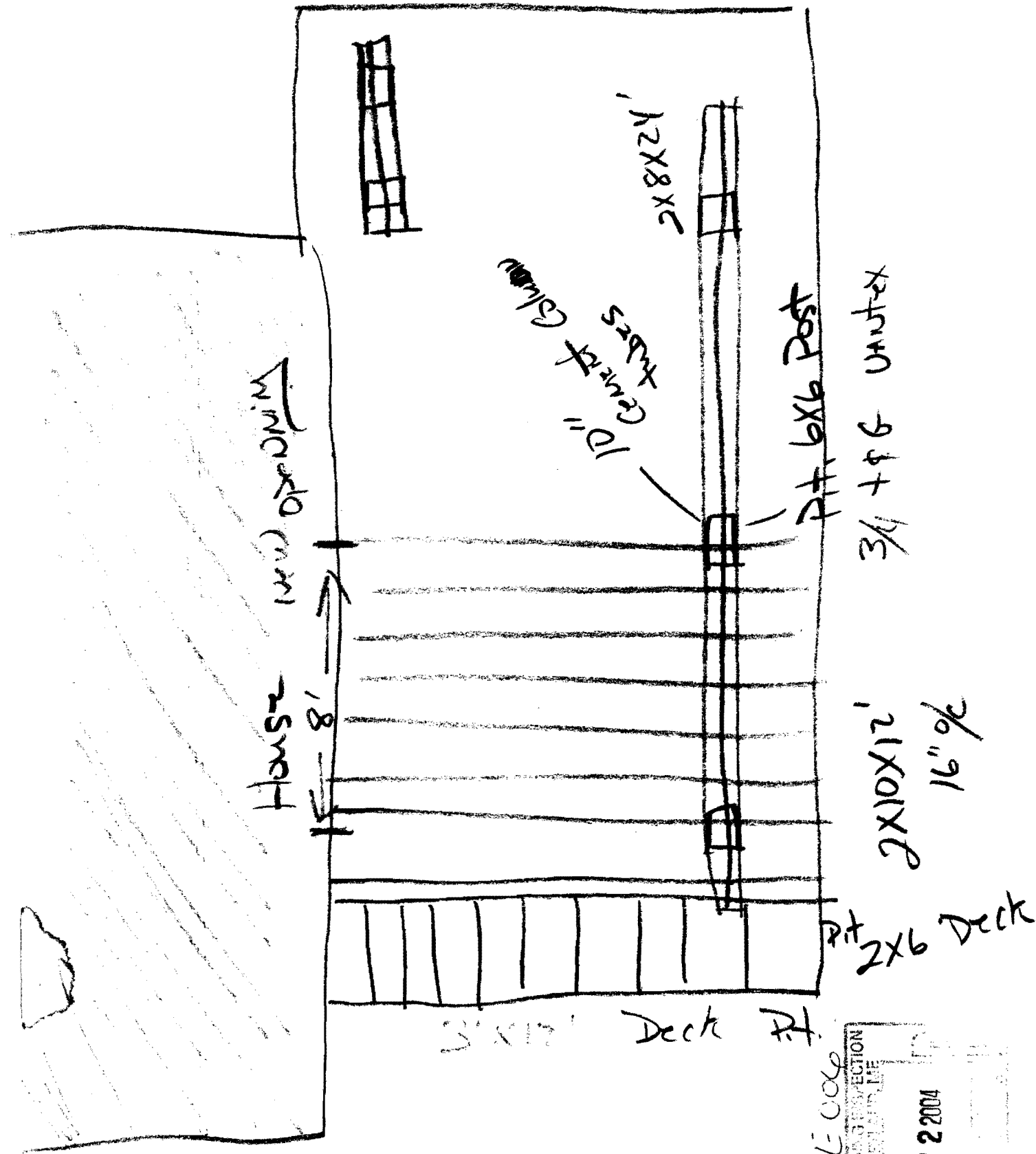
FRONT SIDE



100 LANE AVE
 Portland, Me. 04105



310 E 006
 10/25/10
 22 2004
 REVIEWED



310 E-0006
 SECTION
 JUN 22 2004

House
 8' opening

12x8x6
 10" Gen'l Glass
 Balusters

1 1/2" x 6" x 6" Post
 3/4" x 6" unbr'd

2x10x12'
 16" o/c

2x6 Deck

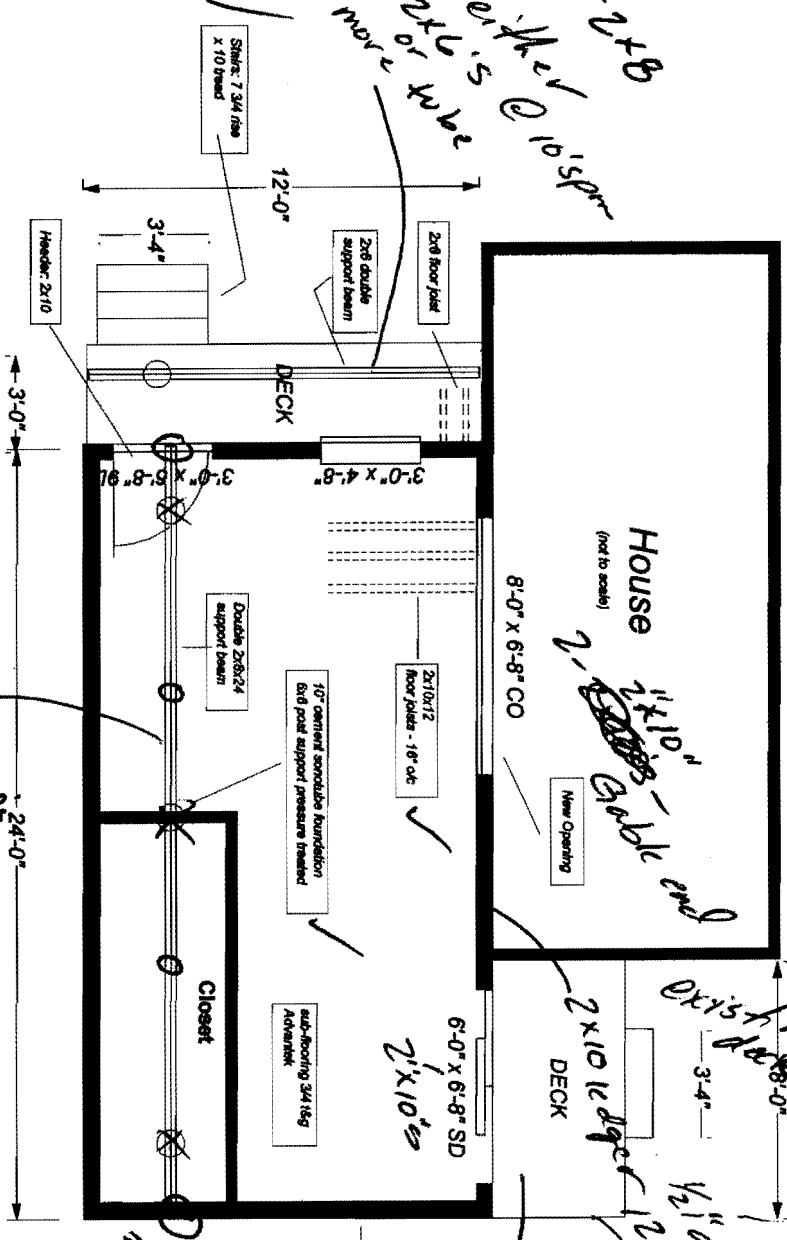
5x12' Deck Rt

Ferrante Construction
 7/18/04
 Mudroom
 Lane Ave.
 Portland, Me 04106

959-1665
 Tami
 797-7938

Will 2-2x8
 Need either @ 10' span
 Need 3-2x6's
 1 more tube

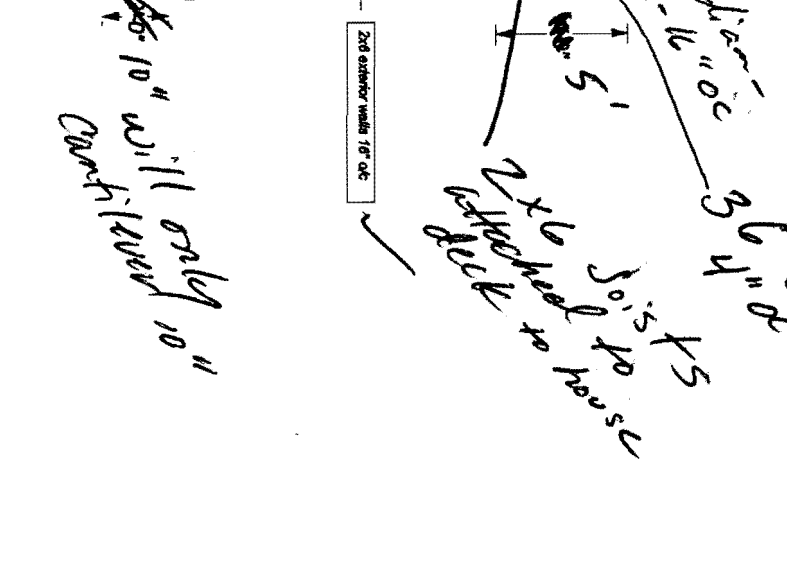
Need 3-2x6's
 @ 8' OC



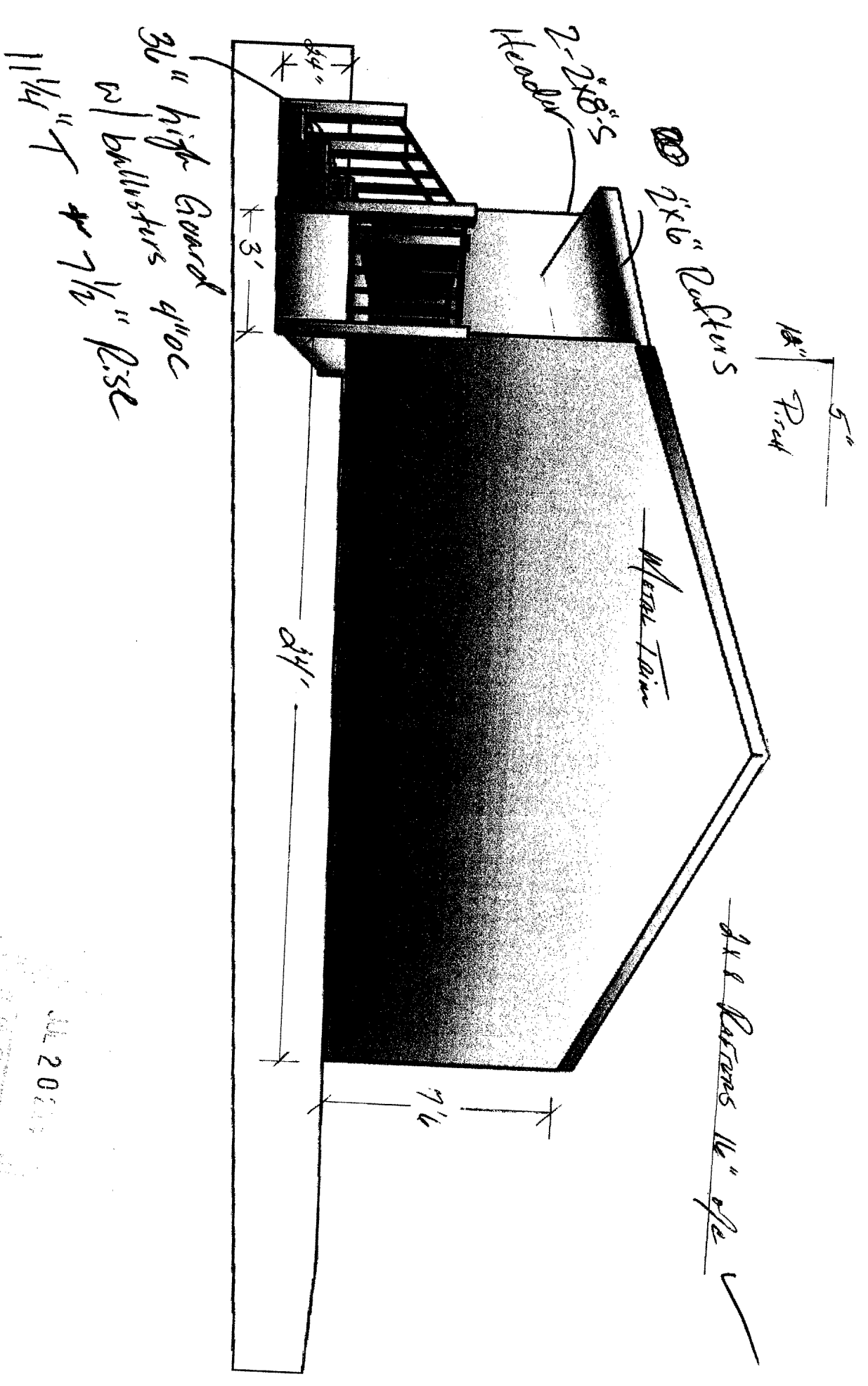
JUL 20 2004

30' 6" Guard Posts
 30' 6" OC
 12" dia
 5'
 2x10's spaced 48" on centers
 2x10's
 2x10's

10' 10" will only 10"
 can't lower 10"



Favorite Construction 7/1/07



DATE 2007
DRAWN

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Call Footing/Building Location Inspection: Prior to pouring concrete
N/A Re-Bar Schedule Inspection: Prior to pouring concrete
N/A Foundation Inspection: Prior to placing ANY backfill
Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Tom Wilbur Signature of Applicant/Designee Date *7-23-04*
Paula J. Wentz, Office Admin Signature of Inspections Official Date
CBL: *310 E 006* Building Permit #: *040850*

7/23/04