

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

**BUILDING INSPECTION**

**PERMIT**

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED  
Permit Number: 051772  
FEB 10 2006  
CITY OF PORTLAND

This is to certify that COLEMAN JOEL M & CAROL E AJTS / Luczkowkis, MP

has permission to 12 x 16 addition

AT 85 EUCLID AVE

310 C002001

provided that the person or persons who perform or supervise the construction of this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services are provided. 4 HOUR NOTICES REQUIRED.

Apply to Public Works for street line and grade if nature of work requires such information.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

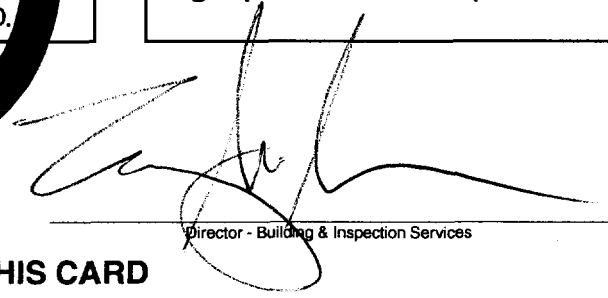
Fire Dept. \_\_\_\_\_

Health Dept \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name



Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

PERMIT ISSUED
Permit Number: 051694
FEB 10 2006
CITY OF PORTLAND

This is to certify that 1039 Riverside Llc /Patco Construction
has permission to New 10,000 sq ft Pre-engineered building w/ office lab & production space
AT 1039 Riverside St L 331 A001001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Cass 12-7-05
Health Dept.
Appeal Board
Other Department Name

Handwritten signature and date 2/9/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-772	<b>PERMIT ISSUED</b> ISSUED DATE: FEB 10 2005	CBL: 310 C002001
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<b>Location of Construction:</b> 85 EUCLID AVE	<b>Owner Name:</b> COLEMAN JOEL M & CARRIE A	<b>Owner Address:</b> 85 EUCLID AVE	<b>Phone:</b> 201-797-8712
<b>Business Name:</b>	<b>Contractor Name:</b> Luczkowkis, MP	<b>Contractor Address:</b> 24 Keziah St	<b>Phone:</b> 207-8561644
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-3
<b>Past Use:</b> Single Family Home	<b>Proposed Use:</b> Single Family Home/ 12 x 16 addition	<b>Permit Fee:</b> \$156.00	<b>Cost of Work:</b> \$15,000.00
12 x 16 addition		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: I	<b>INSPECTION:</b> Use Group R-3 Type S3 IRC 2003 Signature: [Signature]
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____	

<b>Permit Taken By:</b> ldobson	<b>Date Applied For:</b> 12/09/2005	<b>Zoning Approval</b>	
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<p>1.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 2/10/06</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p>Date: 2/10/06</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Call Footing/Building Location Inspection: Prior to pouring concrete
- Call Re-Bar Schedule Inspection: Prior to pouring concrete
- Call Foundation Inspection: Prior to placing ANY backfill
- Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

\_\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

\_\_\_\_\_ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]  
Signature of Applicant/Designee Date 2/10/06

[Signature]  
Signature of Inspections Official Date \_\_\_\_\_

CBL: 310 002 Building Permit #: 051772

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-1772	<b>Date Applied For:</b> 12/09/2005	<b>CBL:</b> 310 C002001
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<b>Location of Construction:</b> 85 EUCLID AVE	<b>Owner Name:</b> COLEMAN JOEL M & CARRIE A	<b>Owner Address:</b> 85 EUCLID AVE	<b>Phone:</b> 207-797-3712
<b>Business Name:</b>	<b>Contractor Name:</b> Luczkowkis, MP	<b>Contractor Address:</b> 24 Keziah Lane Litchfield	<b>Phone:</b> (207) 856-1644
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home/ 12 x 16 addition	<b>Proposed Project Description:</b> 12 x 16 addition
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 02/09/2006  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 02/09/2006  
**Note:**      **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or heating.
- 2) The rear deck was built with out benefit of a permit. It must be removed or brought into compliance with City approval.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>856-1644</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>310</u> <u>C</u> <u>2</u>		Telephone: <u>791-4411</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>15,000</u> Fee: \$ _____ C of O Fee: \$ <u>156<sup>00</sup>/100</u>
Current Specific use: _____ Proposed Specific use: <u>RENOVATION</u>		
Project description: <u>FRONT PORCH ADDITION, 10' x 12' x 10'</u>		
Contractor's name, address & telephone: _____ → <u>856-1644</u>		
Who should we contact when the permit is ready: _____		
Mailing address: _____ Phone: _____		

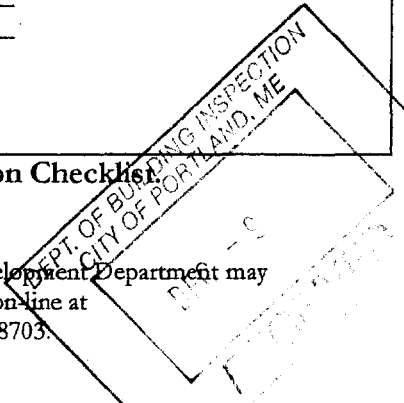
**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

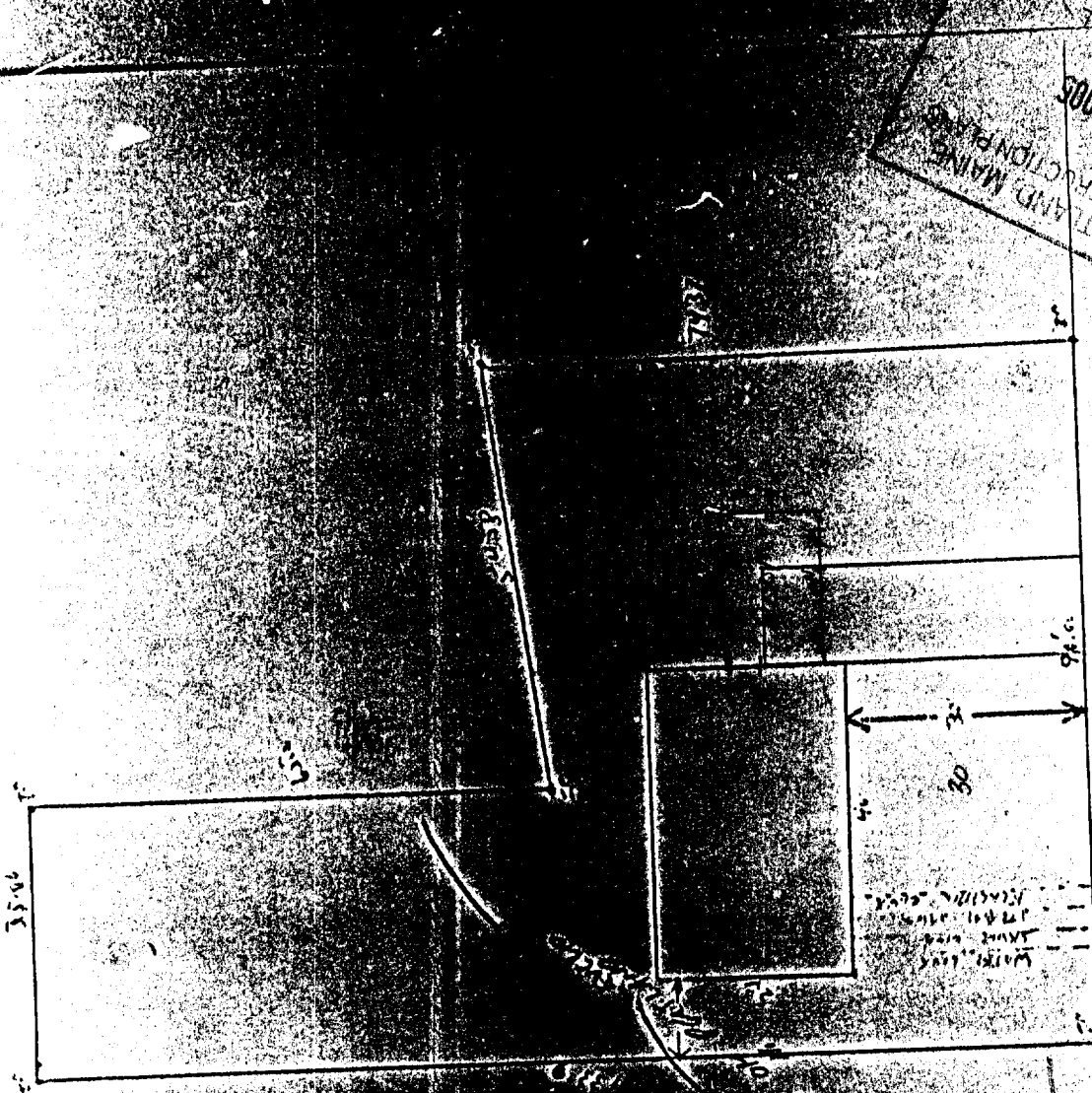
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is Issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Tusha Work</u>	Date: _____
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**This is not a permit; you may not commence ANY work until the permit is issued.**



Site Plan  
LIC 4 MOBILE CUSTOM HOMES  
LOT # 19  
Riviera ST. PORTLAND, ME

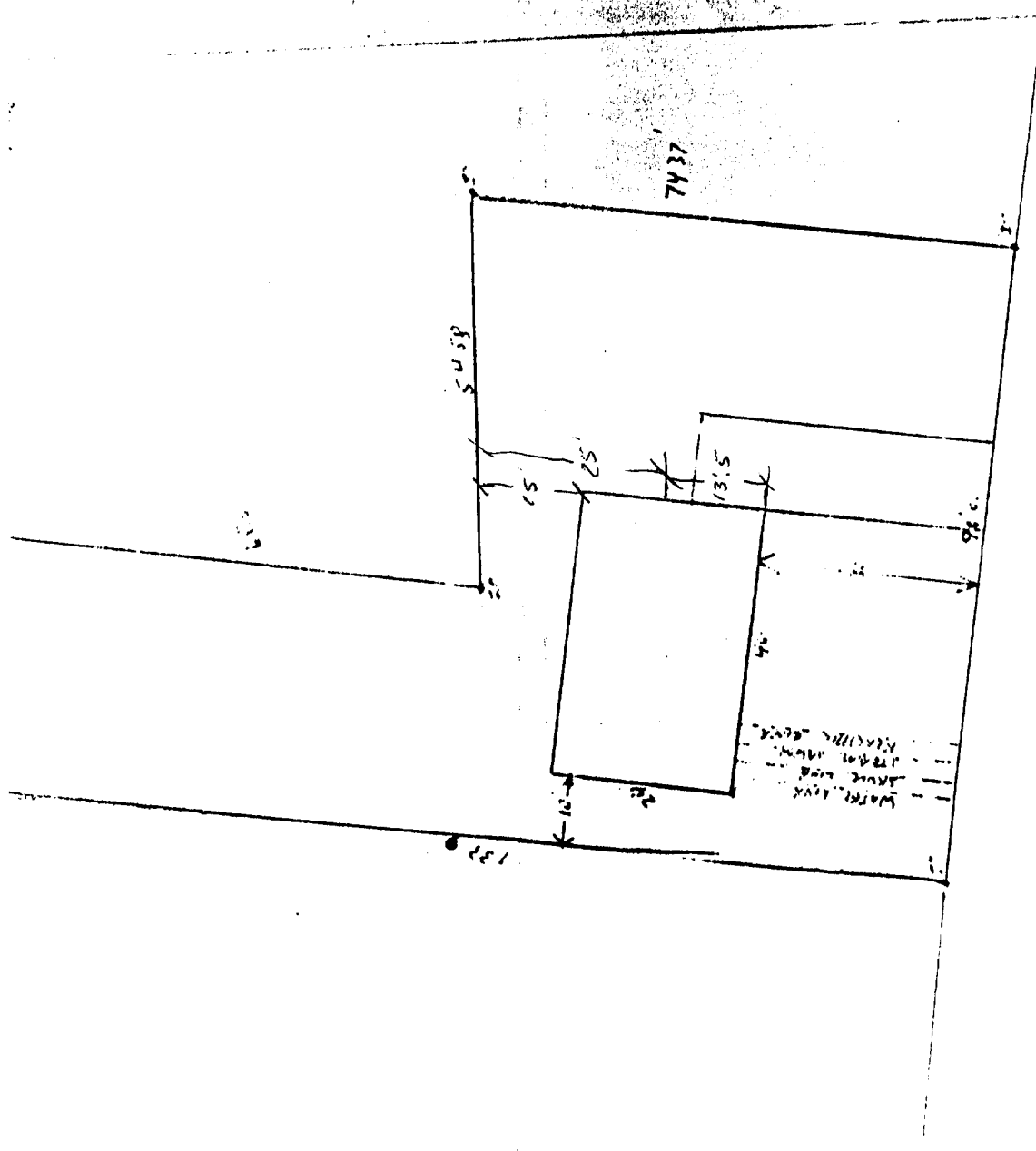


CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS  
FEB C 2006  
SUPERSEDES ALL  
PRIOR DATED PLANS

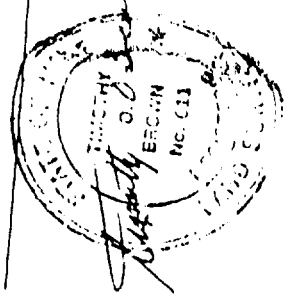
CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS  
FEB C 2006  
SUPERSEDES ALL  
PRIOR DATED PLANS



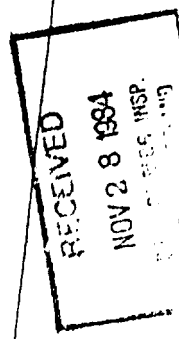
PROPOSED PLOT PLAN RECEIVED



Sheet 1



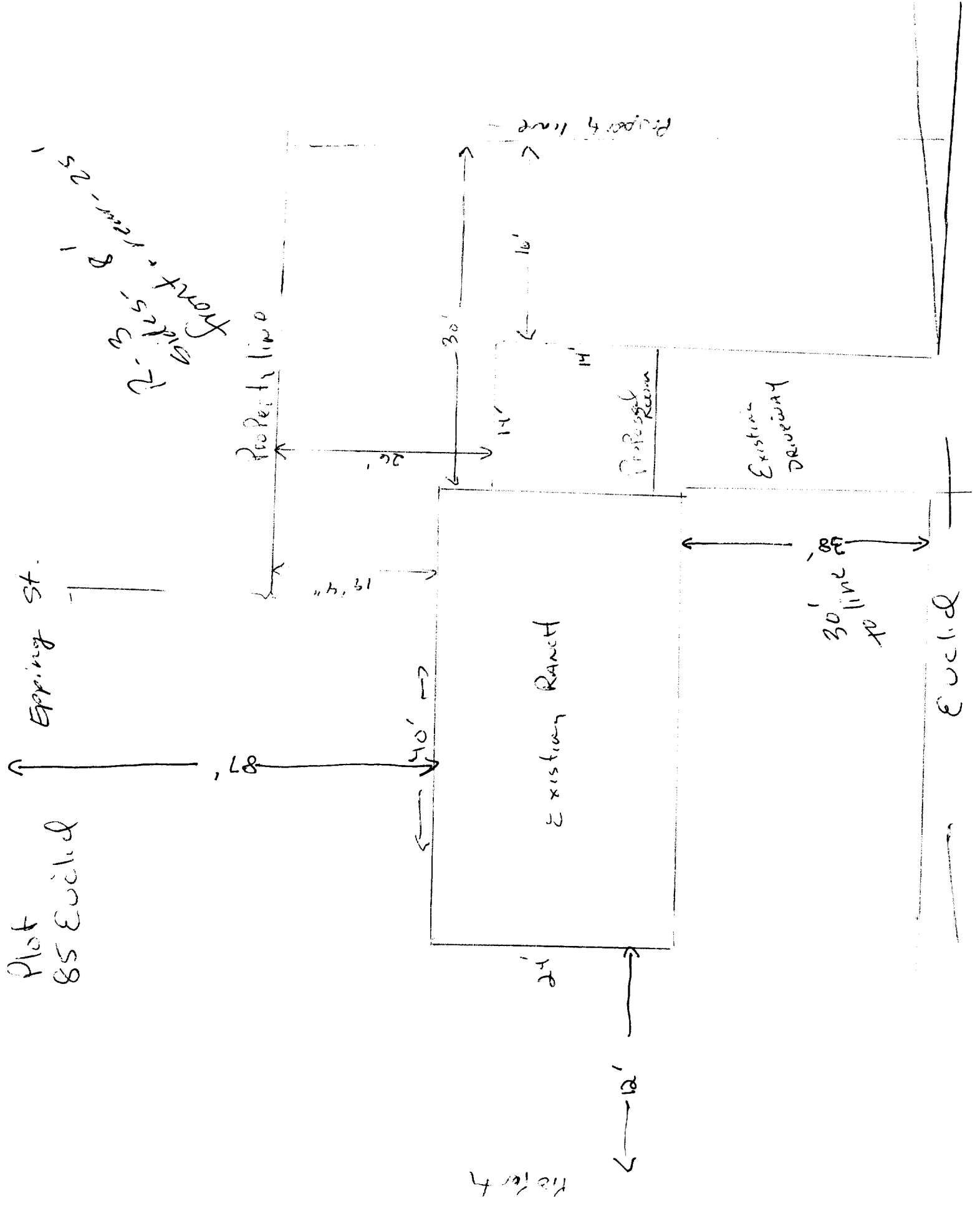
PROPOSED PLOT PLAN





Plot  
85 Eucled

Epping St.



Applicant: L.C. Anderson Custom Homes Date: Dec. 27, 1984  
28 Kieport Road Shell Middletown  
Address:  
Assessors No.: 310-C-2

CHECK LIST AGAINST ZONING ORDINANCE

Date -  
Zone Location - R-3 Residence  
Interior or corner lot -  
Use - Single Family No garage  
Sewage Disposal -  
Rear Yards - 12' - 25' req'd  
Side Yards - 10' x 40' - 8' x 8' req'd  
Front Yards - 30' - 25' req'd  
Projections -  
Height - 1 story  
Lot Area - 8,798 sq. ft.  
Building Area - 960 sq. ft. (24' x 40')  
Area per Family - 6500 sq. ft.  
Width of Lot - 90'  
Lot Frontage - 90'  
Off-street Parking - 2 cars  
Loading Bays -  
Site Plan -  
Shoreland Zoning -  
Flood Plains -

① Need full plot plan

② w/all dimensions

~~③ New porch details~~

④ Elevations.

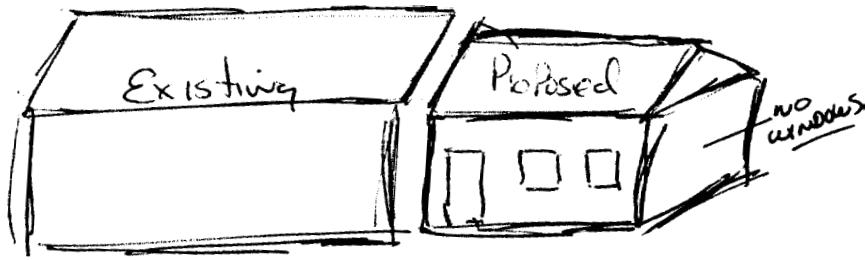
⑤ New stairs?

⑥ Floor plans.

← Tom BLAIR

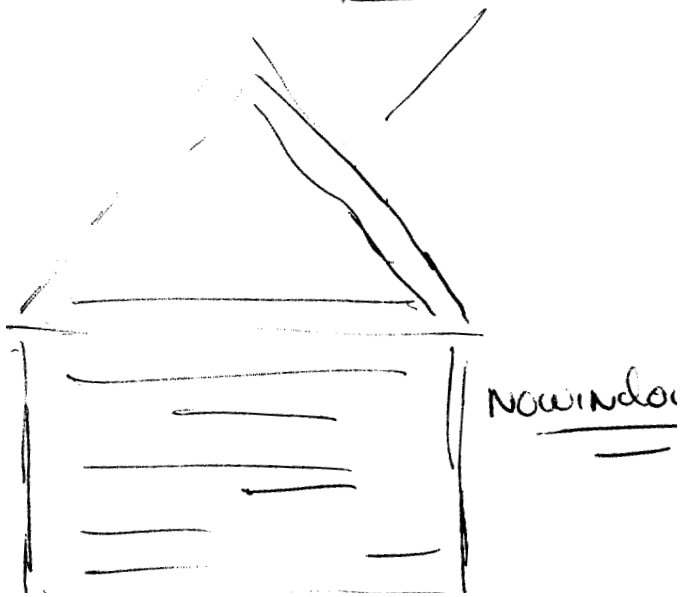
838-0612

# Front View

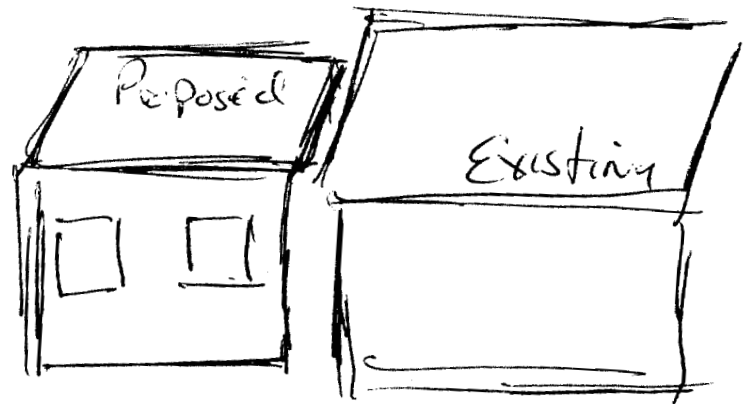


3.0 Door  
Ellison Egress windows  
Typical 2x10 Headers  
Ice/water  
Trim + Siding to match

# Side View



# Back View



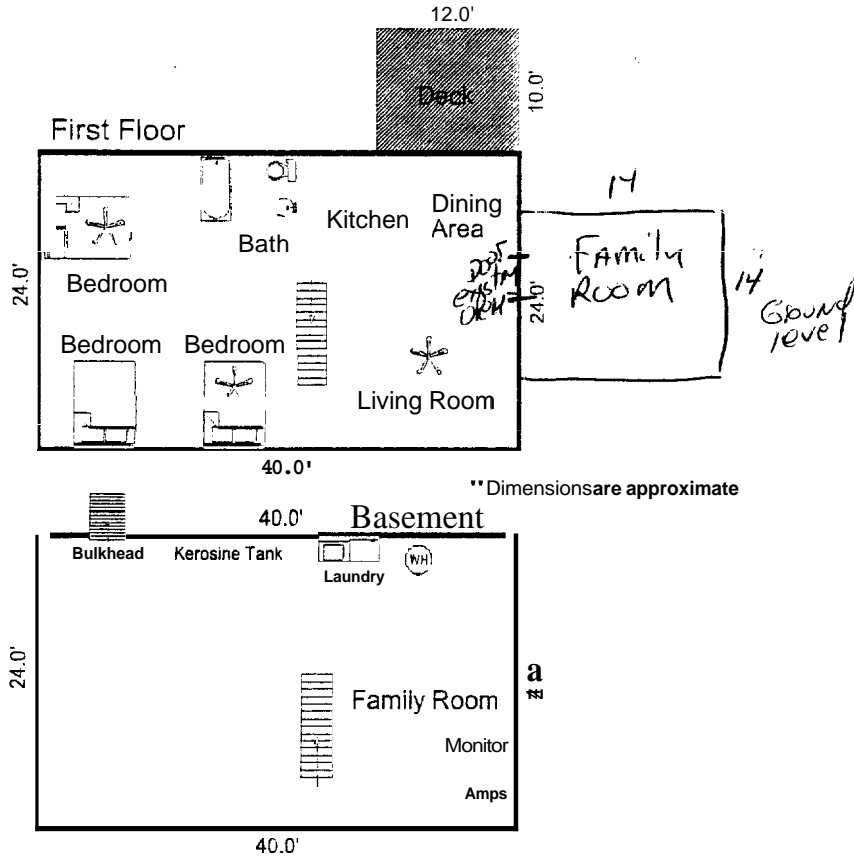
# INSIDE Common Wall



Two step platform  
into Room - Code Height  
( $7\frac{3}{4}$ " MAX RISE  
10" MIN TREAD)

**SKETCH**

Borrower/Clien: Joel M. & Carrie A. Coleman  
 Address: Euclid Avenue 85 Unit No. N/A  
 City: Portland County: Cumberland State: ME Zip Code: 04103  
 Lender/Clien: Infinity Federal Credit Union



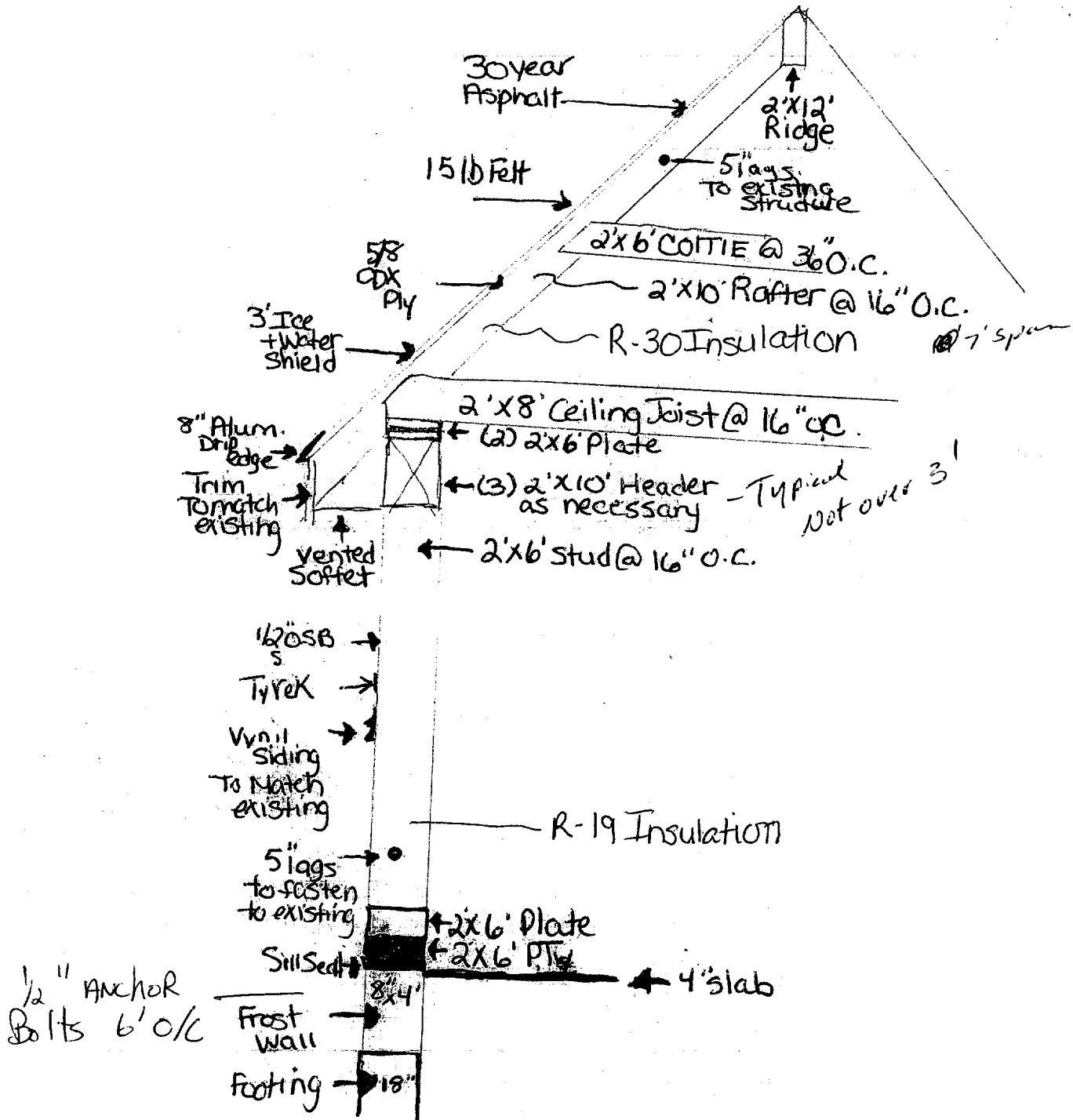
Sketch by Apex IV™

Comments:

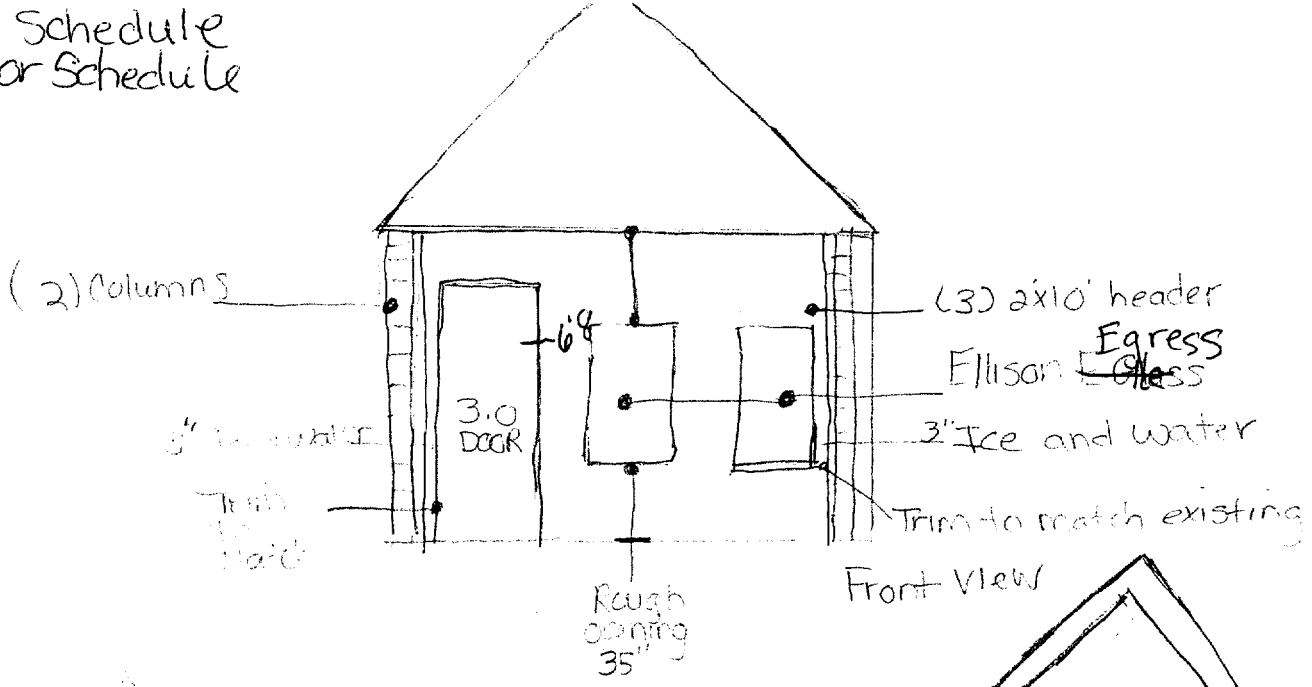
AREA CALCULATIONS SUMMARY			
Code	Description	Size	Net Totals
GLA1	First Floor	960.00	960.00
BSMT	Basement	960.00	960.00
P/P	Deck	120.00	120.00
<b>TOTAL LIVABLE (rounded)</b>			<b>960</b>

LIVING AREA BREAKDOWN		
	Breakdown	Subtotals
First Floor		
	24.0 x 40.0	960.00
<b>1 Calculation Total (rounded)</b>		<b>960</b>

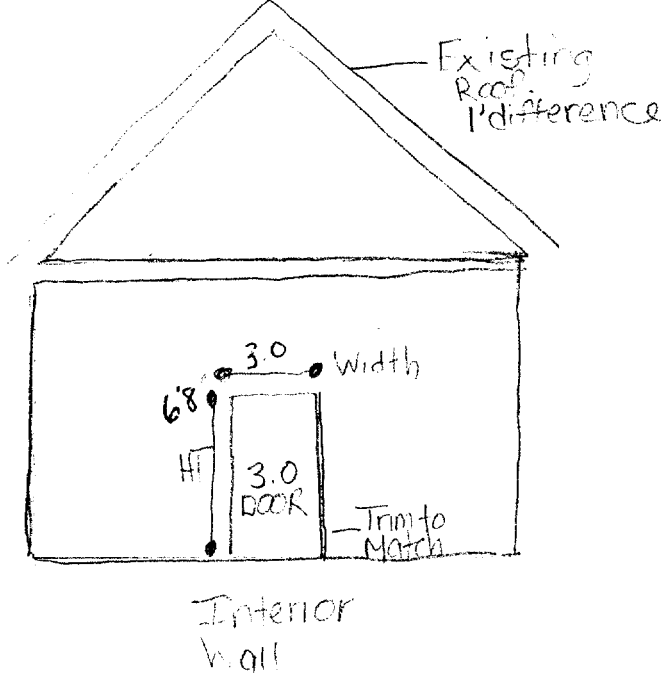
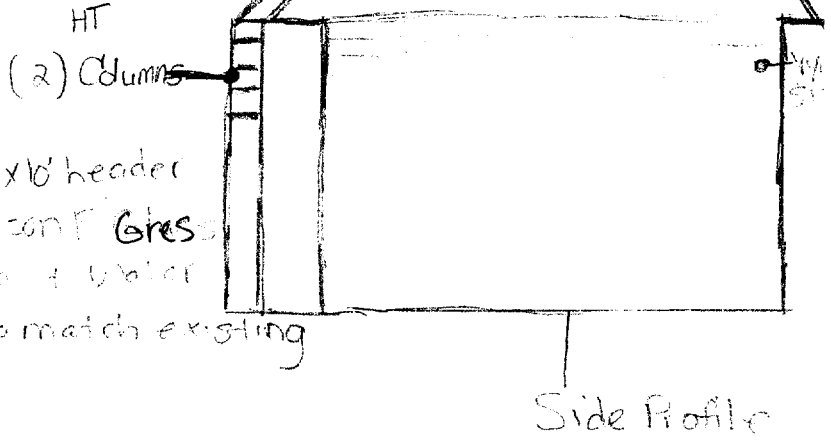
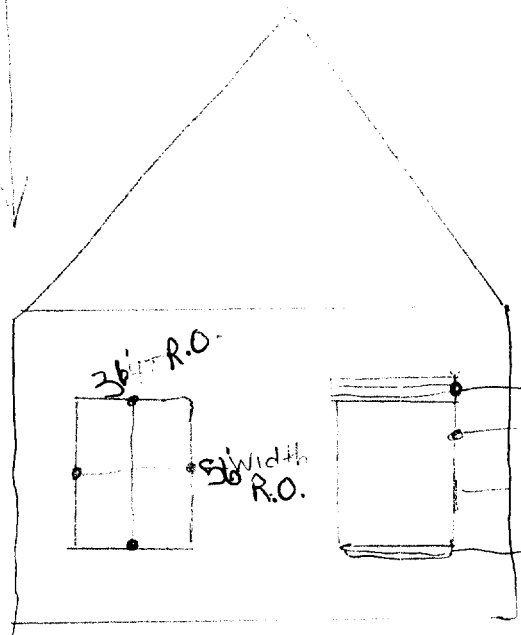
# Wall Section



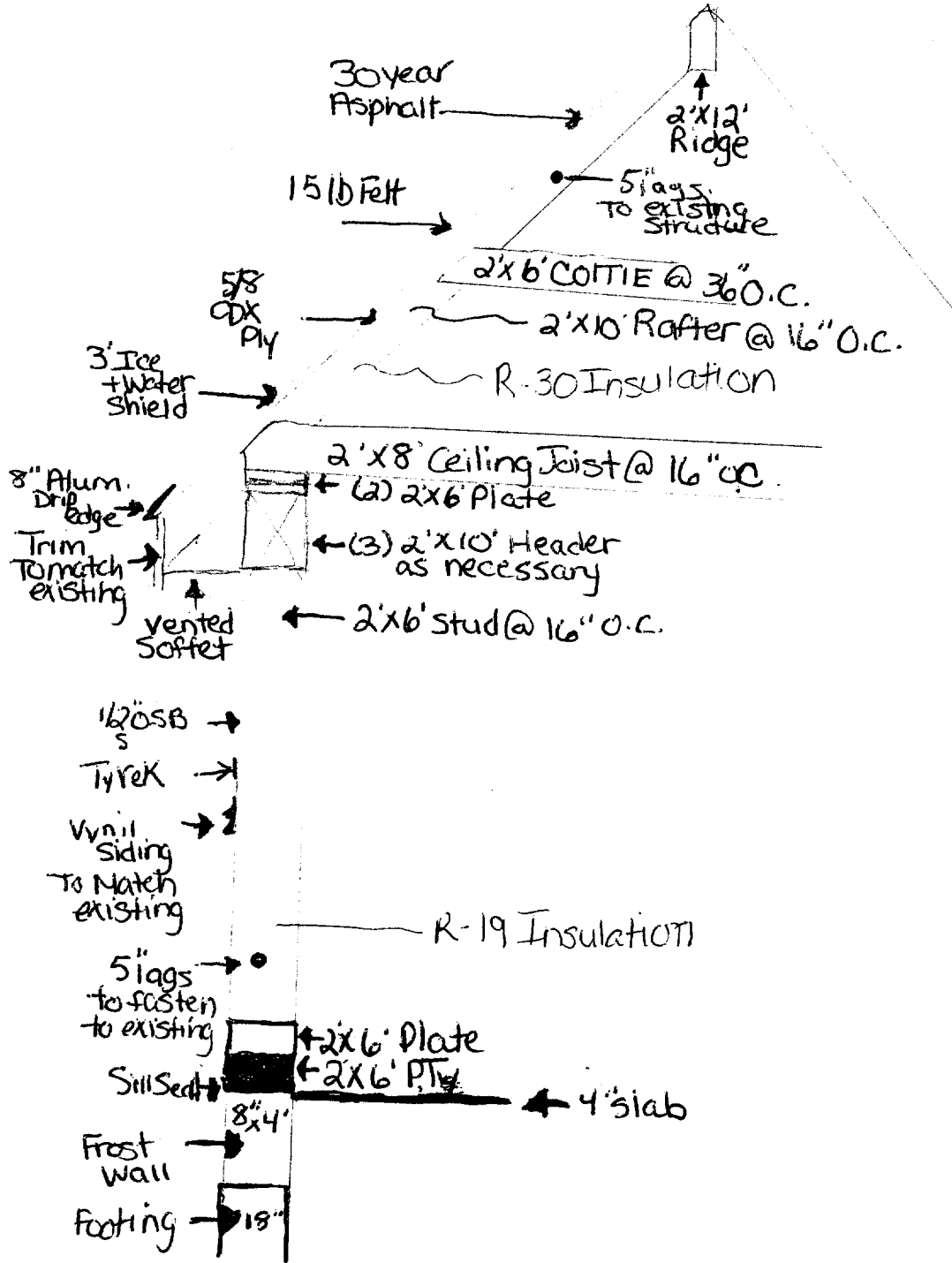
Window Schedule  
and door Schedule



car view



# Wall Section





P 1 1 1  
 RE d FOR ONE OF THE

Set backs  
 City/County

Property Line

