

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached-

## BUILDING INSPECTION PERMIT

PERMIT ISSUED  
Permit Number: 060826  
310 B008001  
CITY OF PORTLAND

This is to certify that DONELSON SALLY M / Mission Custom Home Builders, Inc.

has permission to 30' x 24' Addition which includes a mud room and garage

AT 92 EUCLID AVE

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0826	Issue Date: 1/13/06	CDL: 310 B008001
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Location of Construction: 92 EUCLID AVE	Owner Name: DONELSON SALLY M	Owner Address: AVE ire Rc	Phone:
Business Name:	Contractor Name: Moulton Custom Home Builders, In		
Lessee/Buyer's Name	Phone:		

Past Use: Single Family Home	Proposed Use: Single Family Home/ 30' x 24' Addition which includes a mud room and Garage	Permit Fee: \$579.00	Cost of Work: \$61,700.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 23 Type: 3B	

Proposed Project Description: 30' x 24' Addition which includes a mud room and Garage	Signature	Signature: <i>[Signature]</i>
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 06/02/2006	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>with conditions</i> Date: 6/26/06 ASB	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ASB</i> Date:
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**CERTIFICATION**

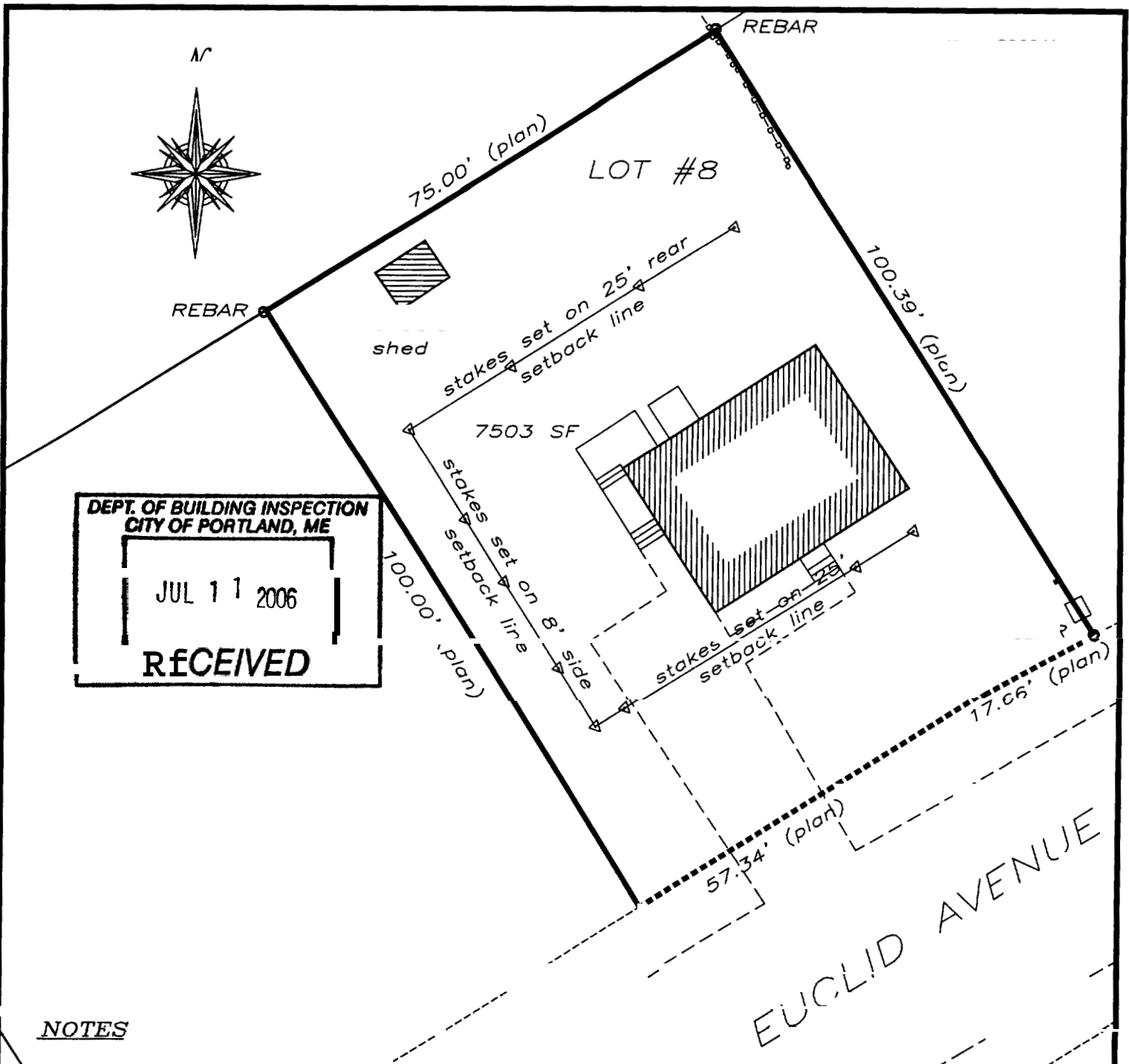
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter **all** areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

THIS IS NOT A BOUNDARY SURVEY



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
JUL 11 2006  
RECEIVED



NOTES

- 1. REFERENCE IS MADE TO THE PLAN TITLED "PINE TREE TERRACE"

126

made from an instrument survey. This plan applies only to conditions existing as of the date shown hereon. This plan is not for recording.

**T** Titcomb Associates Falmouth, Maine

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0826	<b>Date Applied For:</b> 06/02/2006	<b>CBL:</b> 310 B008001
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<b>Location of Construction:</b> 92 EUCLID AVE	<b>Owner Name:</b> DONELSON SALLY M	<b>Owner Address:</b> 92 EUCLID AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Moulton Custom Home Builders, In	<b>Contractor Address:</b> 58 Eastman Road Cape Elizabeth	<b>Phone</b> (207) 831-6728
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home/ 30' x 24' Addition which includes a mud room and Garage	<b>Proposed Project Description:</b> 30' x 24' Addition which includes a mud room and Garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 06/26/2006

**Note:** Owner says that Titcombs has located the property lines and set stakes indicating the setback lines.      **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 07/21/2006

**Note:**      **Ok to Issue:**

- 1) Need a stair detail for the stairs going into the garage.
- 2) 3) A Header schedule shall be submitted and approved prior to framing. The Roof Truss support above the entry porch must be designed submitted and approved prior to framing.
- 3) The garage shall be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied to the garage side. Door openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors. This must be designed submitted and approved prior to framing.
- 4) The area of roof shown on page 9 of the plans and described As "2" x 10" or 2" x 8" framing TBD..." must be designed submitted and approved prior to framing.
- 5) 2) Footing draing shall be protected from siltation w/ filter fabric
- 6) A framing, stair and guard detail for the exterior porch must be designed submitted and approved prior to framing.
- 7) The window on the left side of the entry door must be Safety Glazing.
- 8) 1) Anchor bolts shall also be spaced at 6 feet (1829 mm) on center and located within 12 inches (305 mm) from the ends of each plate section at interior braced wall lines when required by Section R602.10.9 to be supported on a continuous foundation. Bolts shall be at least 1/2 inch (12.7 mm) in diameter and shall extend a minimum of 7 inches (178 mm) into masonry or concrete.
- 9) Provide "H" Clips for Roof Sheathing, if using 1/2 inch plywood unless manufacturer requires other.

**Comments:**

<b>Location of Construction:</b> 92 EUCLID AVE	<b>Owner Name:</b> DONELSON SALLY M	<b>Owner Address:</b> 92 EUCLID AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Moulton Custom Home Builders, In	<b>Contractor Address:</b> 58 Eastman Road Cape Elizabeth	<b>Phone</b> (207) 831-6728
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction			92 Euclid Avenue, Portland, ME		
Total Square Footage of Proposed Structure			Square Footage of Lot		
628			7500		
Tax Assessor's Chart, Block & Lot		Owner:		Telephone:	
Chart#	Block#	Lot#	Sally M. Donelson		878-6288
310	B-	8			
Lessee/Buyer's Name (If Applicable)		Applicant name, address & telephone:		Cost Of Work: \$	
N/A		Sally M. Donelson 92 Euclid Avenue Portland, ME 04103		61,700 <sup>00</sup>	
				Fee: \$	
				578.00	
				C. of O Fee: \$	
Current Specific use: <u>Residential</u>					
If vacant, what was the previous use? <u>N/A</u>					
Proposed Specific use: <u>Adding on an office/den mudroom, porch &amp; one car garage</u>					
Project description: <u>30 x 24 Addition inc garage &amp; mudroom</u>					
Contractor's name, address & telephone: <u>Moulton Custom Home Builders Inc.</u> <u>831-6728</u> <u>58 Eastman Rd, Cape Elizabeth, ME 04107</u>					
Who should we contact when the permit is ready: <u>Sally Donelson</u>					
Mailing address:			Phone: <u>878-6288</u> <u>232-6235 = cell</u>		
<u>92 Euclid Avenue</u>					
<u>Portland, ME 04103</u>					

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

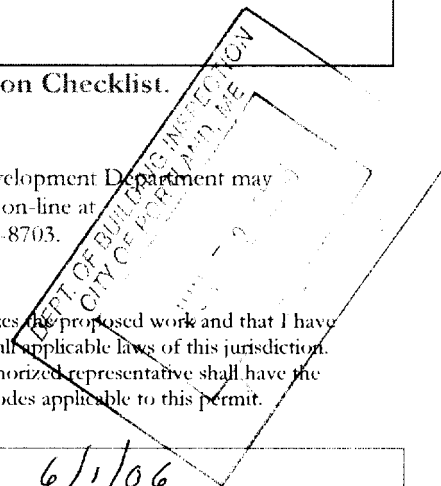
Signature of applicant:

Sally M. Donelson

Date:

6/1/06

**This is not a permit; you may not commence ANY work until the permit is issued.**



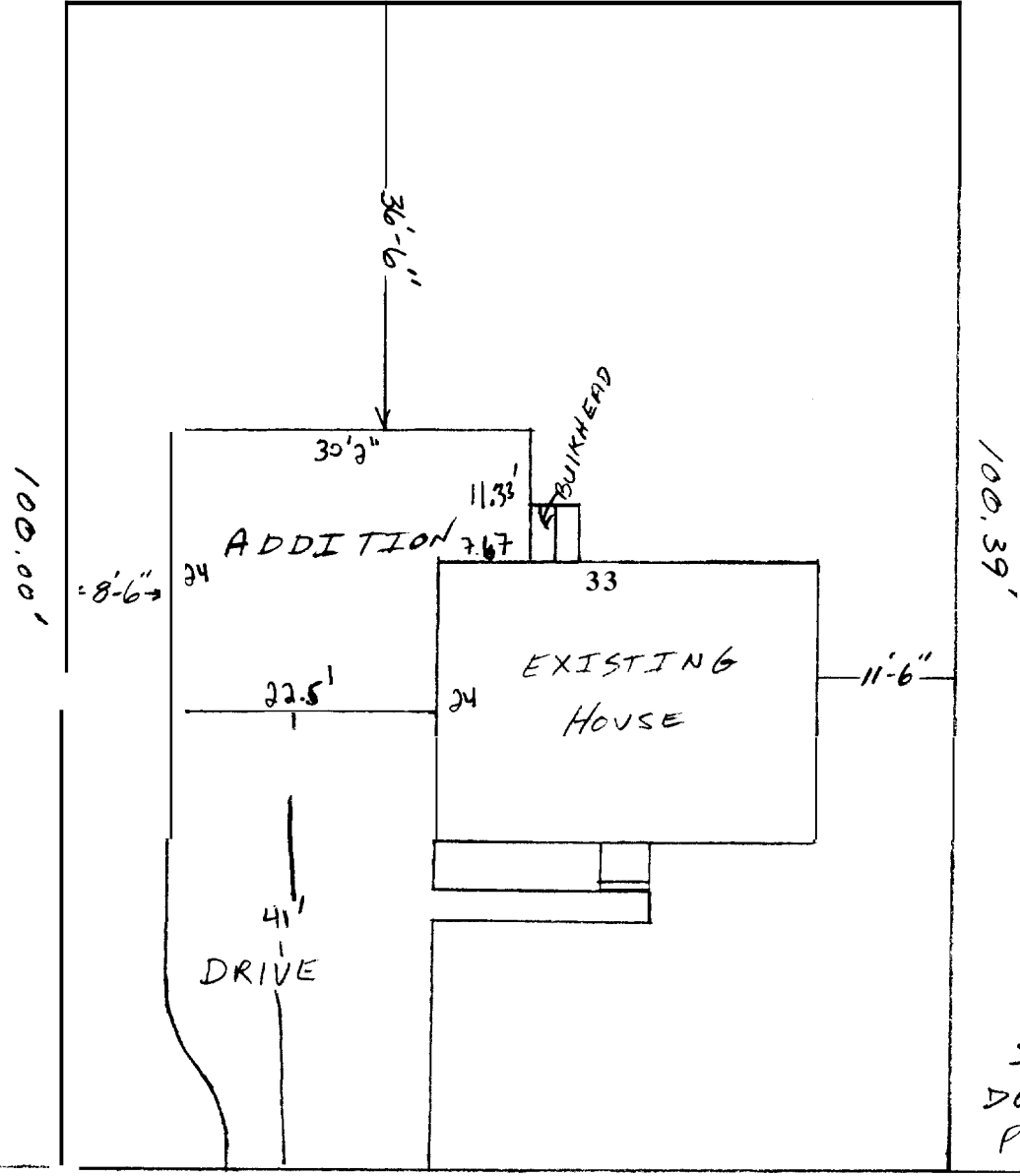
\* Titcomb's has marked property lines! ~~own~~ setbacks according to owner.

Height 35' max  
14.7' scaled (OK)

lotsize - 7500 R3  
 front setback - 25' req. - 41' given on building  
 rear " - 25' req. - 36.5' given plan  
 side 1/2 story - 8' right 11.6' porch  
 2 stories - 14' left 8.5' to garage.  
 lot coverage 35% = 2626.05 sq ft

24 x 32 = 768  
 24 x 22.5 = 540  
 2.67 x 11.33 = 86.9  
 1394.9 sq ft

75.00'



SALLY  
 DONELSON  
 PROJECT

EUCLID AVENUE



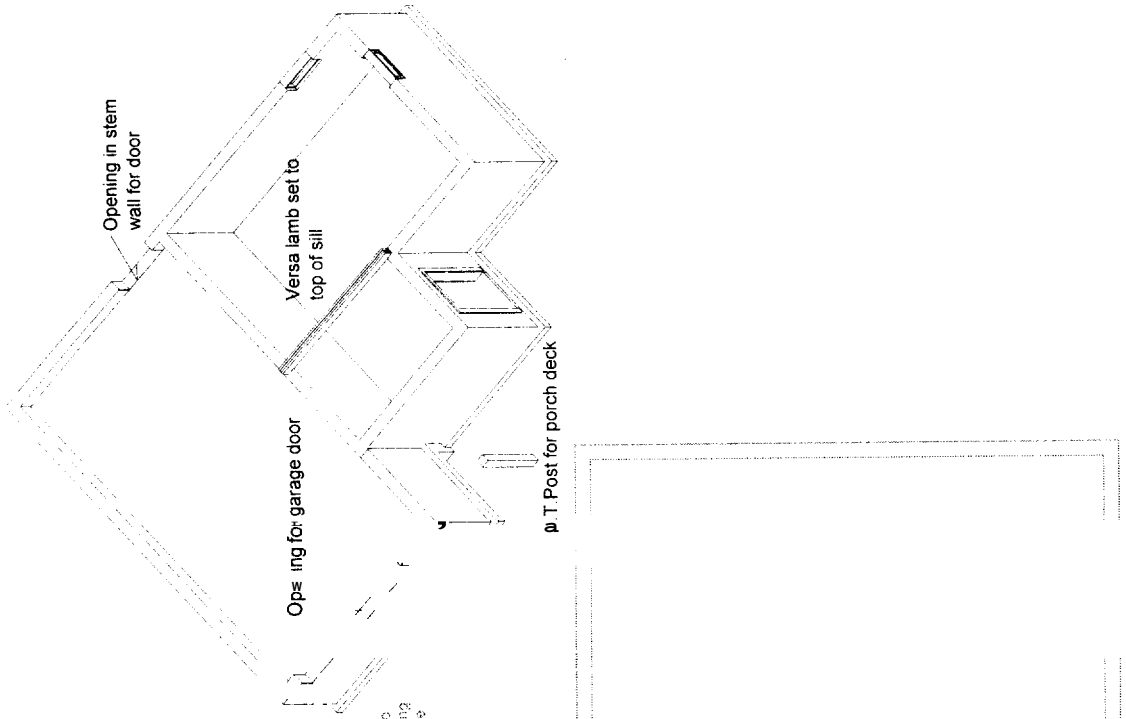
Plans are drawn by Susan Bowley, a designer/draftsperson. Professional Engineer or Registered Architect/Engineer are not directly involved in the design of the foundation. Contractor must verify compliance with all building codes. Contractor must verify compliance with all building codes.

**FLOOR PLANS**  
Scale: 3/16" = 1'-0"

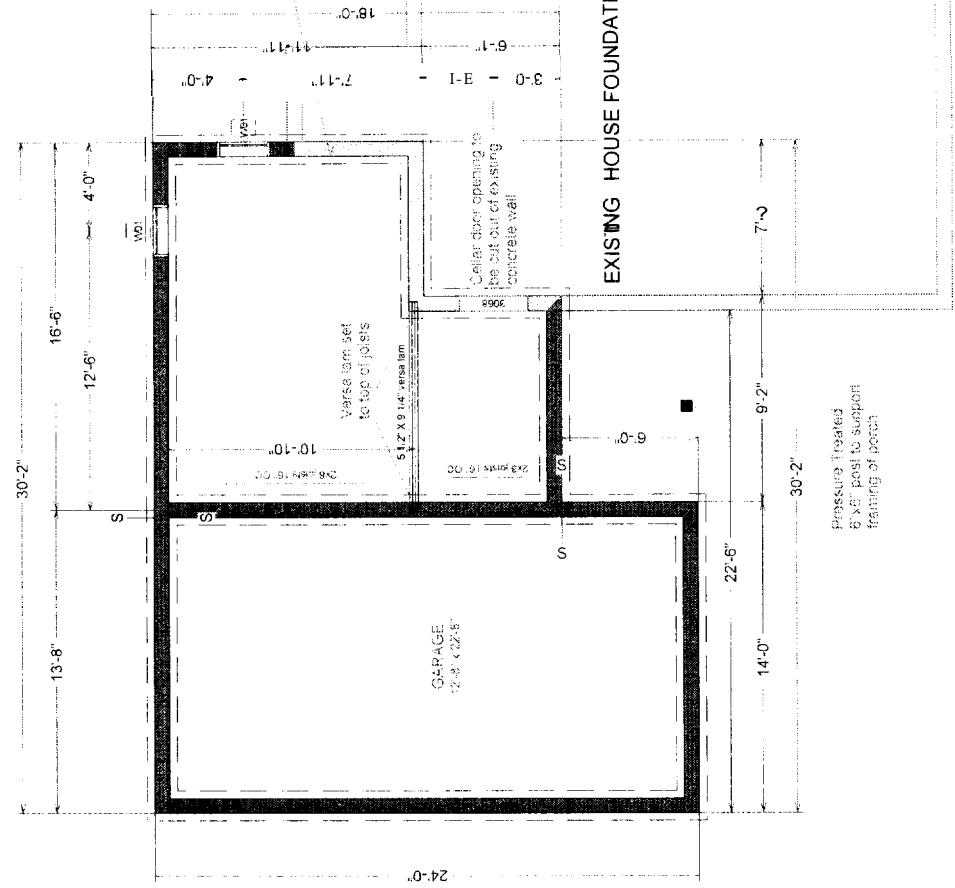
Conceptual Plans for:  
Garage/Office Addition  
May 2016

**DONELSON**  
RESIDENCE  
Portland, Maine

Sheet  
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NUMBER	DESCRIPTION	DATE	BY
1	FOUNDATION LAYOUT	5/16/16	SB
2	REVISED	5/16/16	SB



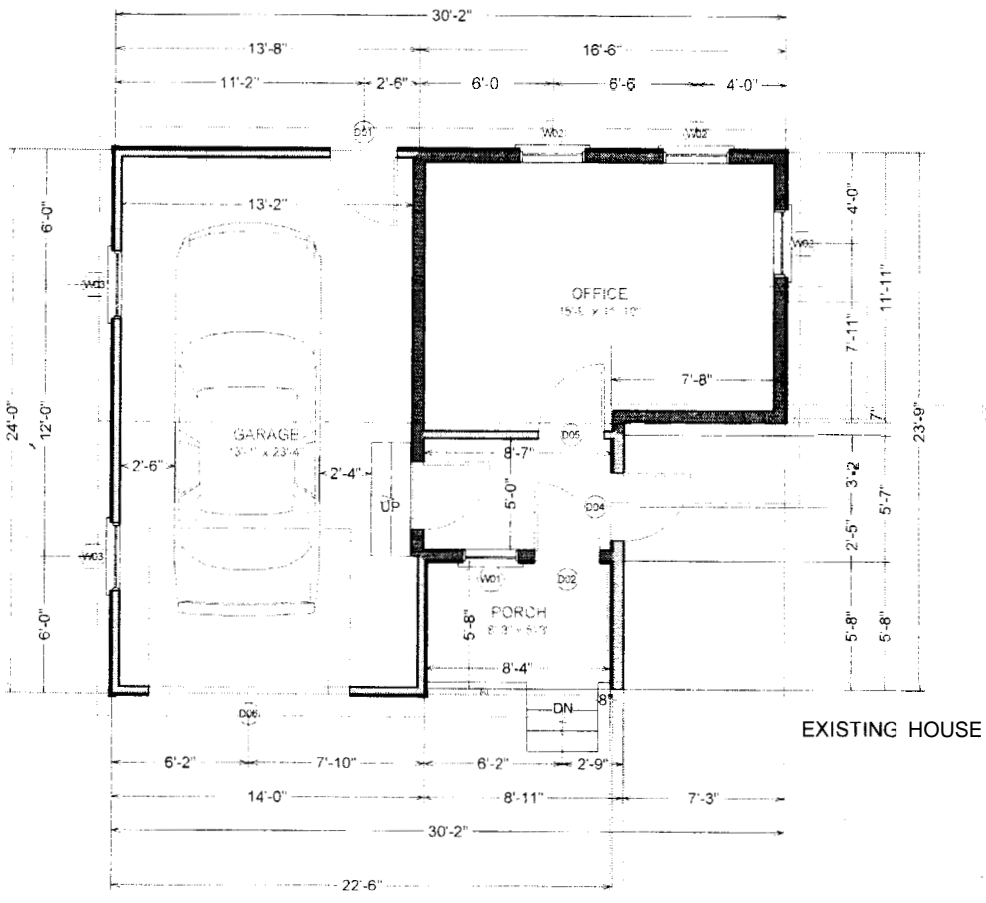
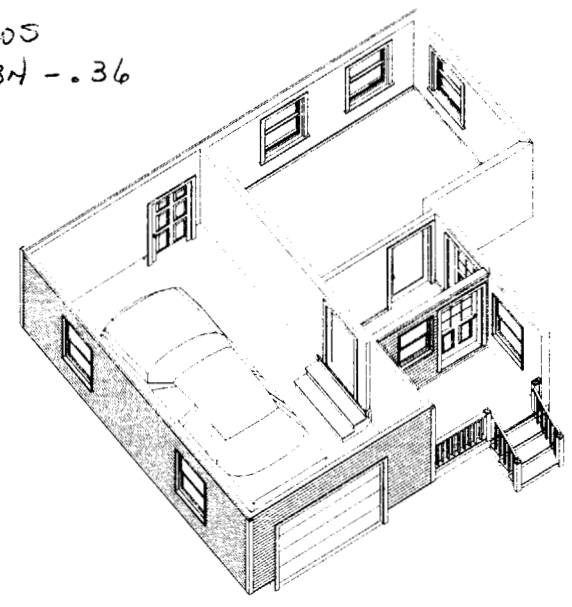
**FOUNDATION LAYOUT**



WINDOW SCHEDULE										
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	
W01	1	1	2831DDH	30" X 46" DH	30"	46"	31 X 47	1/2	DOUBLE HUNG	2 X 6 X 40 (2)
W02	3	1	3046DH	36" X 54" DH	36"	54"	37 X 55	1/2	DOUBLE HUNG	2 X 6 X 40 (2)
W03	2	1	3046DH	36" X 54" DH	36"	54"	37 X 55	1/2	DOUBLE HUNG	2 X 6 X 40 (2)

Anderson Windows  
U-Factor .34 - .36

DOOR SCHEDULE										
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	
D01	1	1	3068 L EX	36" X 80" X 1 3/4" L EX	36"	80"	37 X 81	1/2	EXT 8 PANEL - WHITE	2 X 6 X 40 (2)
D02	1	1	3068 L EX	36" X 80" X 1 3/4" L EX	36"	80"	37 X 81	1/2	EXT 9 LITE DOOR	2 X 6 X 40 (2)
D03	1	1	3068 L EX	36" X 80" X 1 3/4" L EX	36"	80"	37 X 81	1/2	EXT HINGED - WHITE	2 X 6 X 40 (2)
D04	1	1	3068 L IN	36" X 80" X 1 3/4" L IN	36"	80"	37 X 81	1/2	9 LITE DOOR	2 X 6 X 40 (2)
D05	1	1	3068 S IN	36" X 80" X 1 3/4" R IN	36"	80"	37 X 81	1/2	HINGED-GLASS	2 X 6 X 40 (2)
D06	1	1	9070	108 X 84"	108"	84"	109 X 85	1/2	GARAGE	2 X 12 X 15 (2)



MAIN LEVEL FLOOR PLAN

EXISTING HOUSE



Plans prepared by Donelson Residence, a designer/drafting firm. Professional Engineering or Licensed Architectural Service use not directly allowed. It is the responsibility of the owner(s) and the contractor to verify all dimensions and structural design prior to proceeding with construction. Contractor must verify compliance with all building codes.

FLOOR PLANS  
Scale: 3/16" = 1' - 0"

Conceptual Plans for:  
Garage/Office Addition  
May 2006

DONELSON  
RESIDENCE  
Portland, Maine

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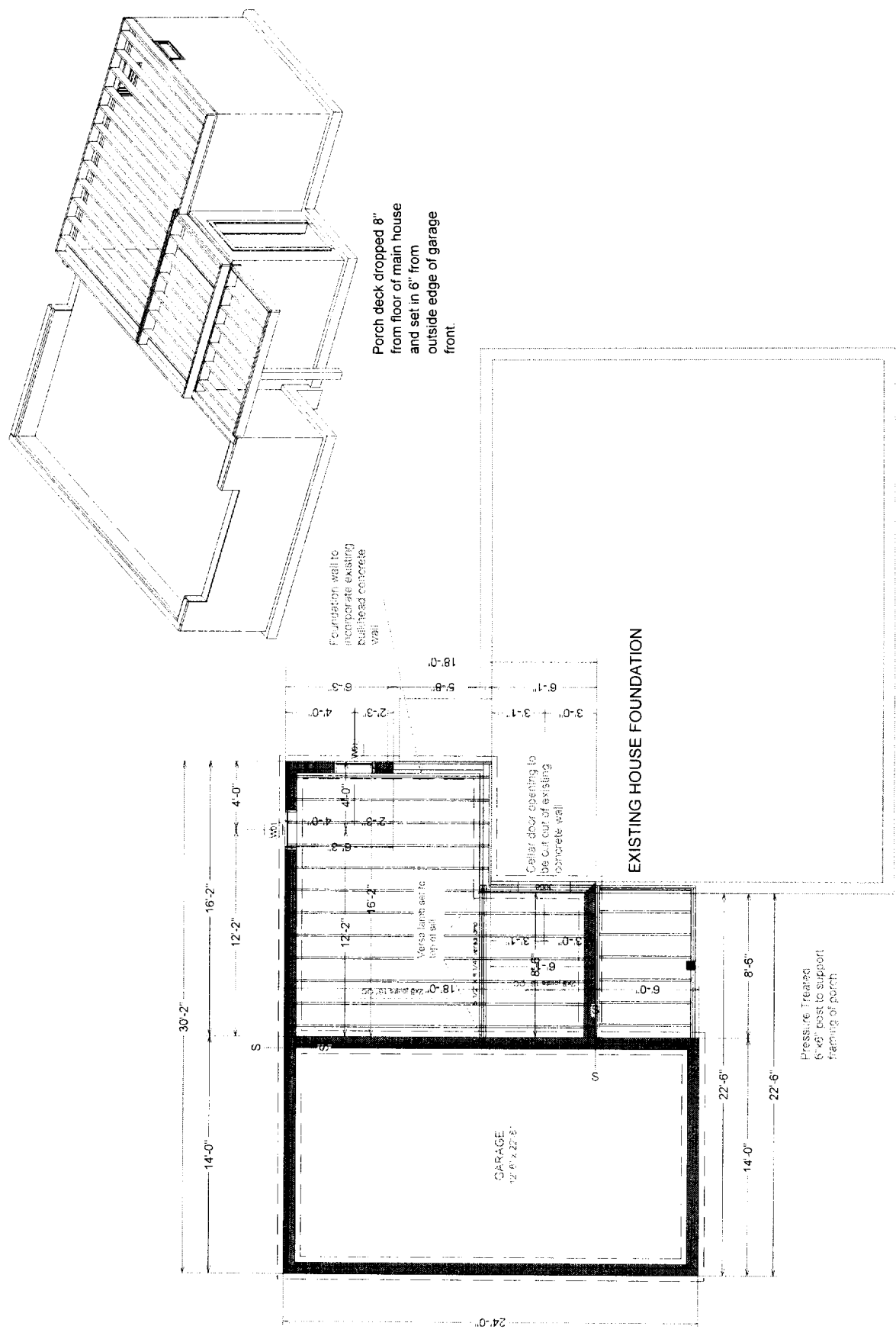
Plans are drawn by Brian Bowles, a designer/draftsperson. Professional Engineer and Architectural Services are not directly provided. It is the responsibility of the owner(s) and/or contractor to verify all dimensions and structural design prior to proceeding with construction. Contractor must verify compliance with all building codes.

**FRAMING**  
Scale: 3/16" = 1' - 0"

Conceptual Plans for:  
Garage/Office Addition  
May 2006

**DONELSON**  
RESIDENCE  
Portland, Maine

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**FIRST FLOOR DECK**



Plans are subject to change without notice. The contractor shall verify all dimensions and conditions on site. It is the responsibility of the contractor to verify all dimensions and structural design prior to proceeding with construction. Contractor must verify compliance with all building codes.

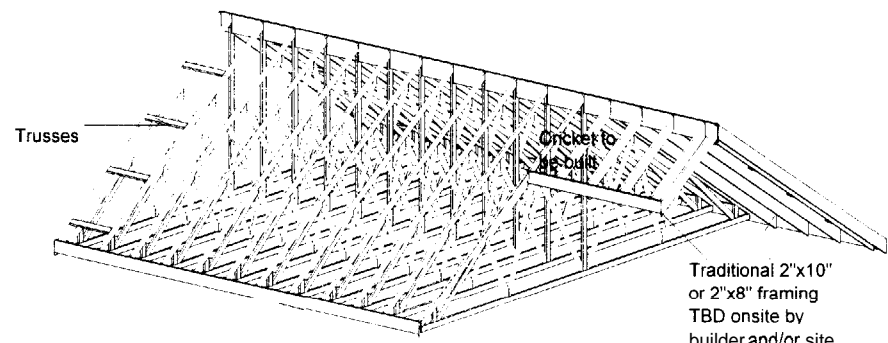
**FRAMING**

Scale: 3/16" = 1'-0"

Conceptual Plans for:  
Garage/Office Addition  
May 2016

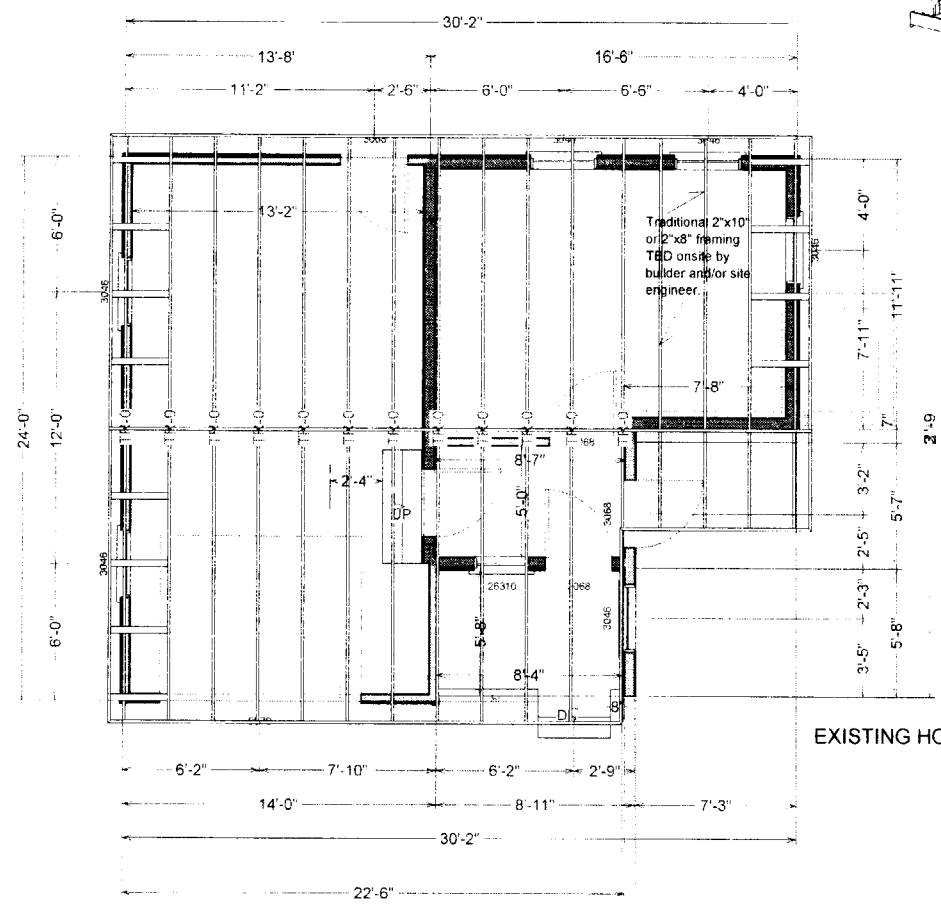
**DONELSON  
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Portland, Maine

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Traditional 2"x10"  
or 2"x8" framing  
TBD onsite by  
builder and/or site  
engineer

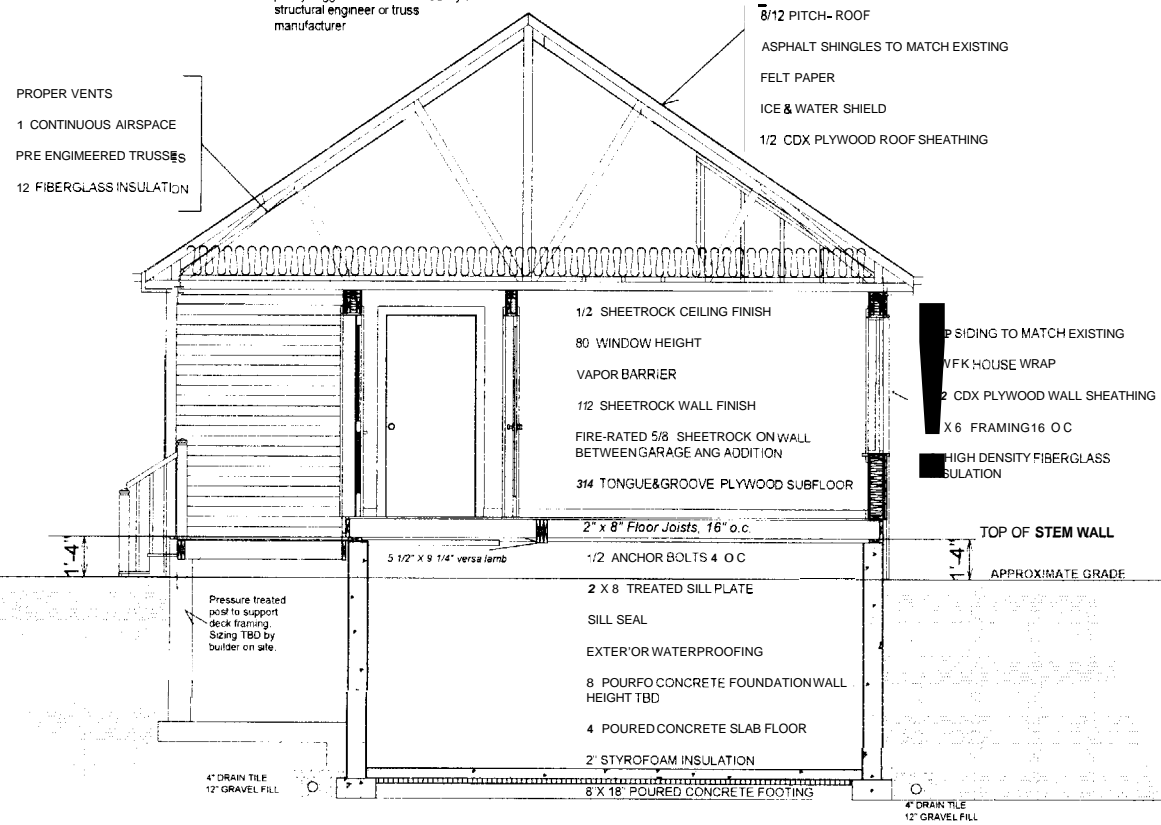
Roof designed is 8/12 pitch. It is suggested that roof be framed with trusses - designed by truss manufacturer - and traditional framing. Traditional Framing TBD by builder and/or site engineer for section of roof that abuts existing roof and cricket to be built on site by builder.



**ROOF LAYOUT**

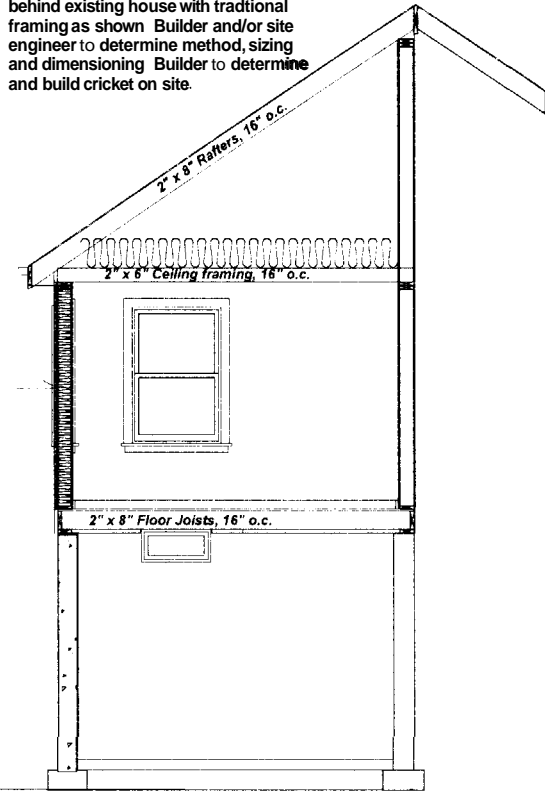
### SECTION OF OFFICE ENTRY

Truss framing dimensioning shown is purely suggestive. Trusses TBD by a structural engineer or truss manufacturer.



### SECTION OF OFFICE BEHIND EXISTING HOUSE

It is suggested to frame the roof section behind existing house with traditional framing as shown. Builder and/or site engineer to determine method, sizing and dimensioning. Builder to determine and build cricket on site.



Plans are drawn by Susan Boyle, a design professional. Professional Engineering or Registered Architectural Services are not directly offered. It is the responsibility of the owner and/or contractor to verify all dimensions and structural design prior to proceeding with construction. Contractor must verify compliance with all building codes.

CROSS SECTION  
 Scale: 1/4" = 1' - 0"

Conceptual Plans for:  
 Garage/Office Addition  
 May 2006

DONELSON  
 RESIDENCE  
 Portland, Maine

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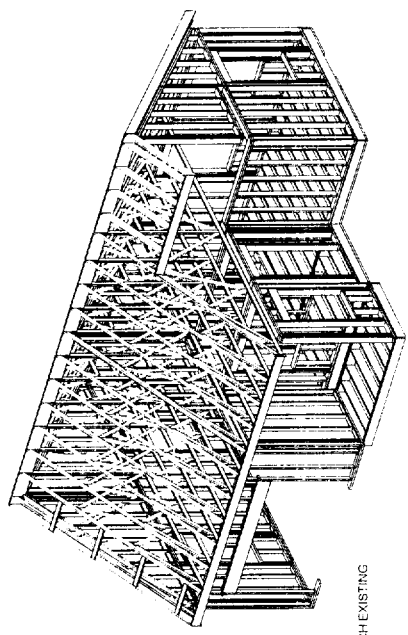
Plans are drawn by Susan Bowler, designer/draftsperson. Professional Engineer or Registered Architectural Servers are not directly offered. It is the responsibility of the owners and/or contractor to verify all dimensions and details design prior to proceeding with construction. Contractor must verify compliance with all building codes.

**CROSS SECTION**  
Scale: 1/4" = 1' - 0"

Conceptual Plans for:  
Garage/Office Addition  
May 2006

**DONELSON**  
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Portland, Maine

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**SECTION OF GARAGE**

Truss framing dimensioning shown is purely suggestive. Trusses TBD by a structural engineer or truss manufacturer

**PROPER VENTS**  
1 CONTINUOUS AIRSPACE  
PRE-ENGINEERED TRUSSES

3/4" PITCH - ROOF  
ASPHALT SHINGLES TO MATCH EXISTING  
FELT PAPER  
ICE & WATER SHIELD  
1/2" CDX PLYWOOD ROOF SHEATHING

LAP SIDING TO MATCH EXISTING  
TYVEK HOUSE WRAP  
1/2" CDX PLYWOOD WALL SHEATHING  
2 X 4" FRAMING 16" O.C. FOR GARAGE ONLY

TOP OF STEM WALL

12" ANCHOR BOLTS 4' O.C.

2 X 8" TREATED SILL PLATE

SILL SEAL

EXTERIOR WATERPROOFING

8" POURED CONCRETE FOUNDATION WALL - HEIGHT TBD

4" POURED CONCRETE SLAB FLOOR

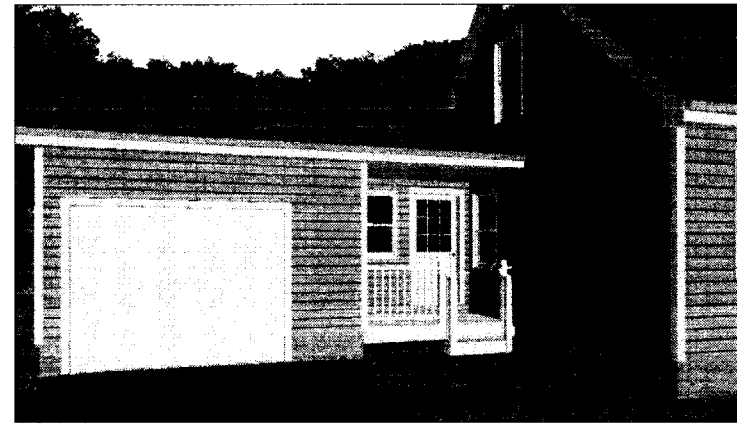
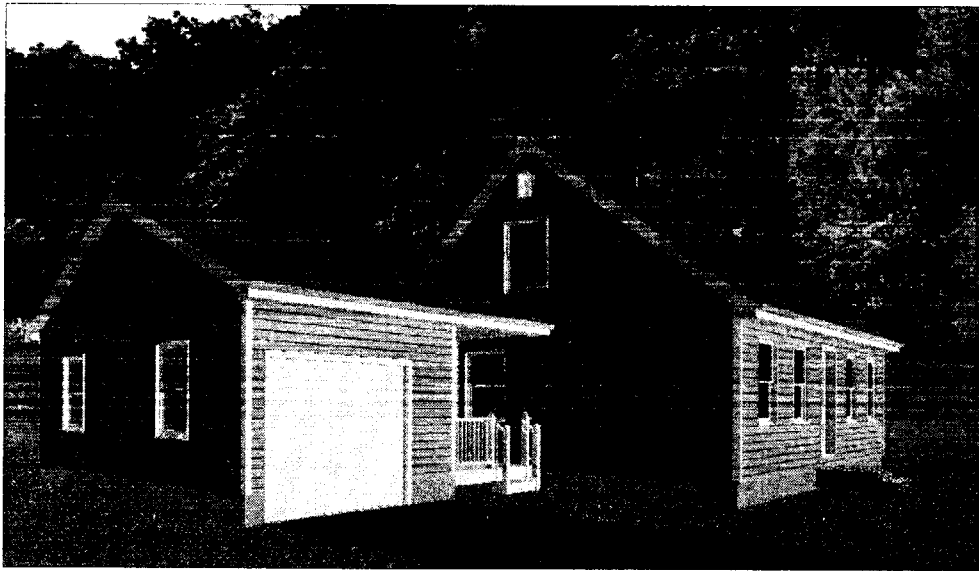
8 X 18" POURED CONCRETE FOOTING

APPROXIMATE GRADE

24'-0"

6'-0"

1'-4"

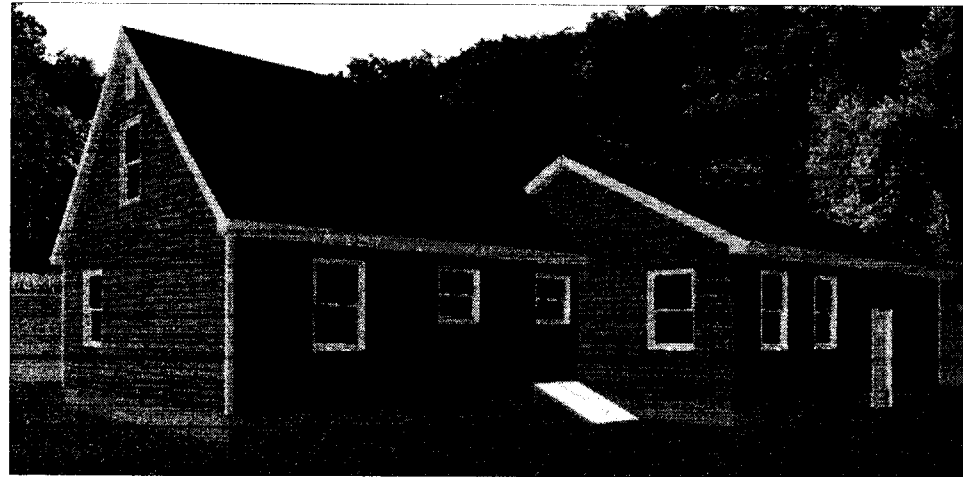


**Plans Content**

Sheet #	Sheet Description
1	Cover page with descriptions
2	front Elevation
3	Left Elevation
4	Rear Elevation
5	Right Elevation
6	Foundation Layout
7	Main Level Floor Plan
8	First Floor Deck Plan
9	Roof Framing Plan
10	Cross Section of Office
11	Cross Section of Garage

**General Notes:**

- Plans are conceptual To the best of my knowledge there plans are drawn to comply with the owner's designs and any changer made on them after prints will be the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions on enclosed drawings. SusanBowles is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes themaker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter
- Codes All work shall be performed in accordance with all applicable national, state and local building coder It is the responsibility of the contractor to comply with these coder
- Job site Prior to submitting bid, contractor shall visit job site and notify owner of any conditions not included in these plans which require corrective or additional actions
- Plan Review. There plans are conceptual in nature and therefore shall be reviewed by structural and mechanical engineers prior to construction. The owner is responsible for all site conditions, including bur not limited to, orientation, drainage soil bearing, wind loads and other subsurface conditions
- Installation. All material, supplies and equipment shall be installed per manufacturers recommendations and per applicable coder and requirements. The designer shall not have control or charge of and shall not be responsible for construction means methods, technique,, sequence, or procedures in connection with the work, for the acts or omissions of the contractor, rub contractor, or any other person performing any of the work, or for the failure of any Of them to carry out the work in accordance with the plans
- Permits Prior to construction, the contractor/owners shall be responsible to obtain all required permits, approvals and final certificate of occupancy. Prior to construction contractor/owner to verify service with utility agency and schedule on site inspection to locate utility
- Framing. Contractor, structural engineer and owner to determined method of framing and materials used.



Prepared by: Susan Bowles, Registered Professional Engineer  
 For use by: The enclosed Architectural Services are not directly offered  
 It is the responsibility of the contractor and/or contractor to verify all  
 dimensions and structural design prior to proceeding with construction.  
 Contractor must verify compliance with all building codes.

Cover Page

Conceptual Plans for:  
 Garage/Office Addition  
 May 2016

DONELSON  
 RESIDENCE  
 Portland, Maine

Sheet  
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Plans are drawn by Susan Rowe, a Designer/Supervisor, Professional Engineering grade holder of the state and for contractor to verify all dimensions and structural design prior to proceeding with construction. Contractor must verify compliance with all building codes.

**ELEVATIONS**

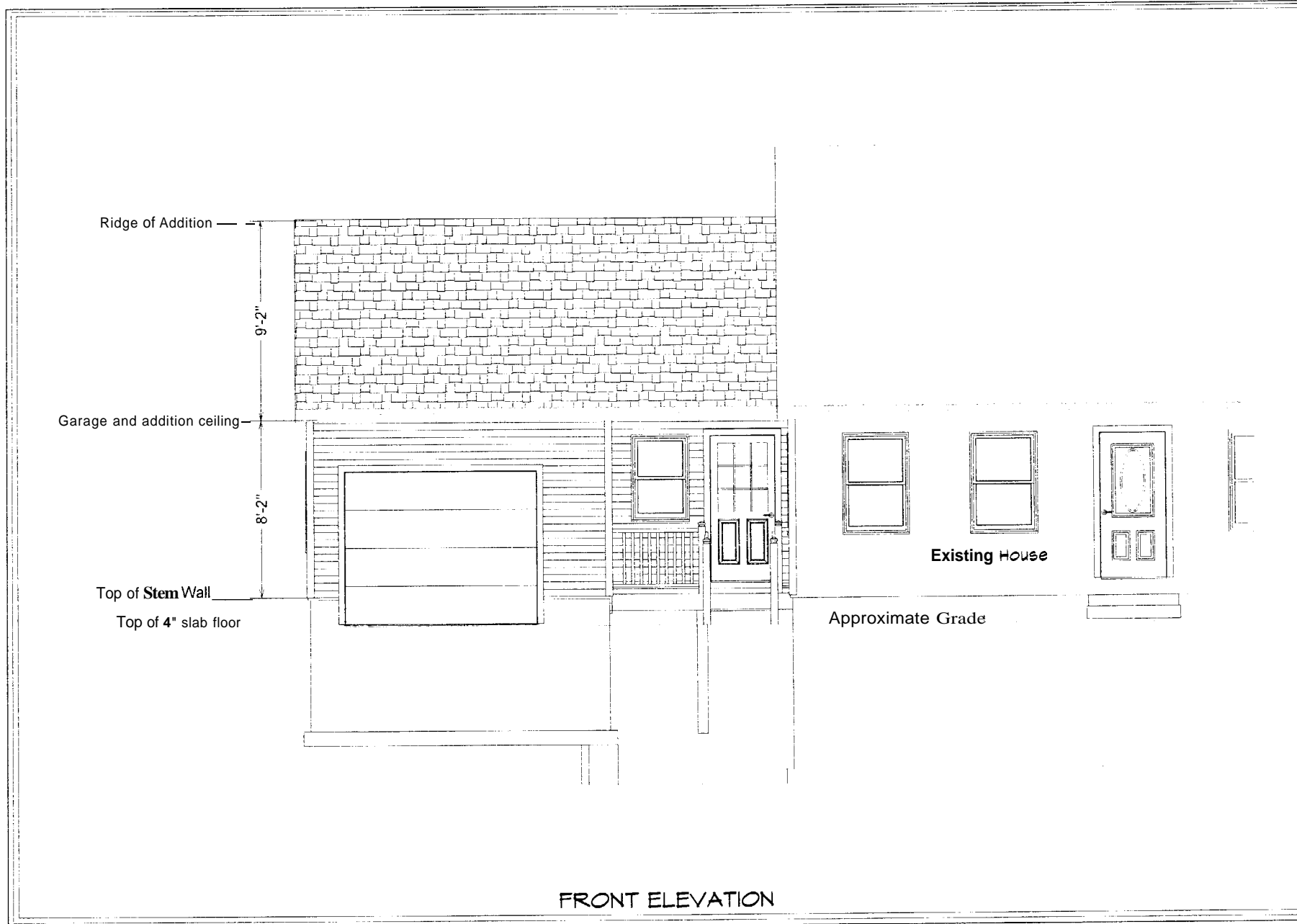
Scale: 1/4" = 1' - 0"

Conceptual Plans for:  
Garage/Office Addition

May 2016

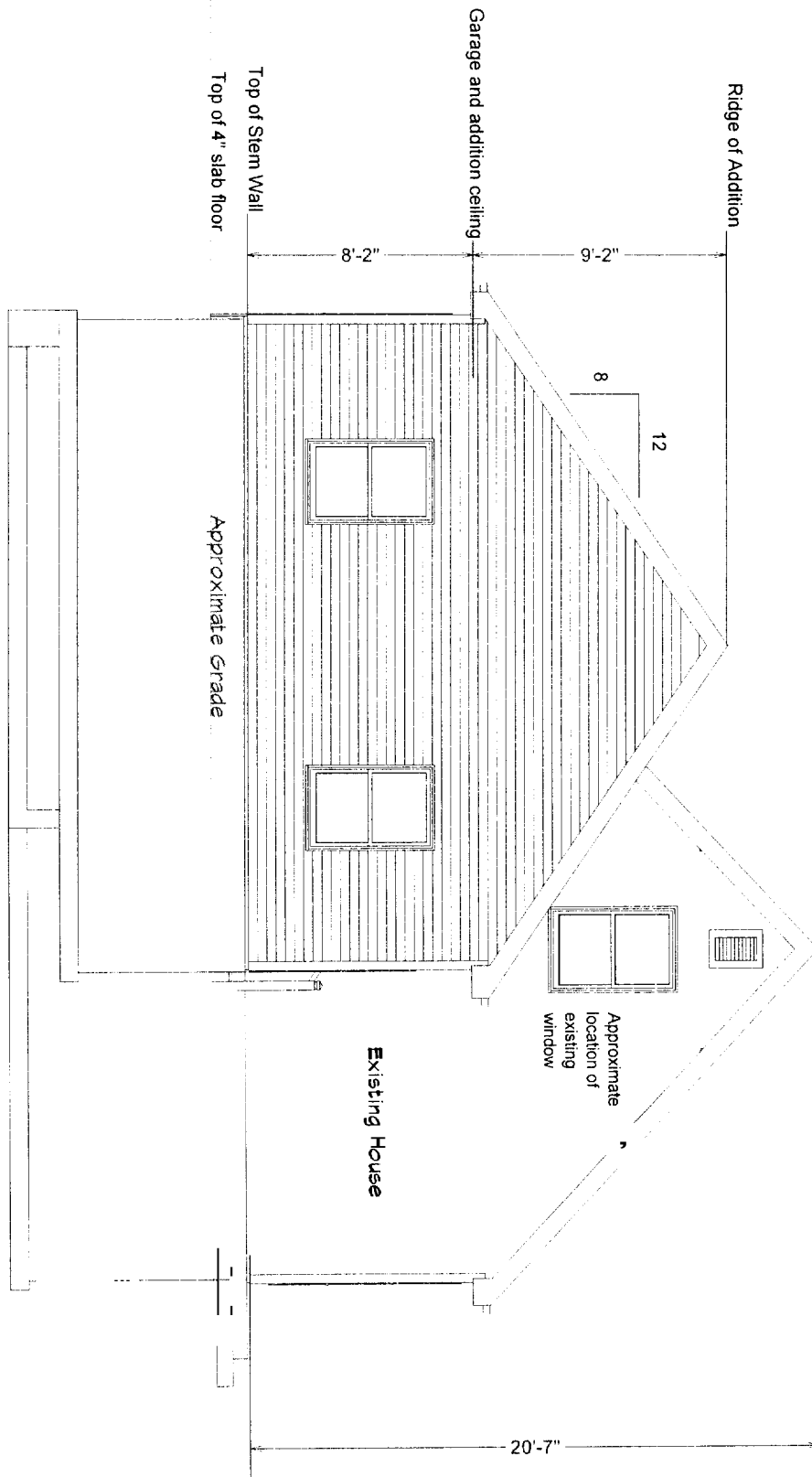
**DONELSON  
RESIDENCE**  
Portland, Maine

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**FRONT ELEVATION**

LEFT ELEVATION



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**DONELSON**  
**RESIDENCE**  
Portland, Maine

Conceptual Plans for:  
Garage/Office Addition  
May 2006

**ELEVATIONS**  
Scale: 1/4" = 1' - 0"

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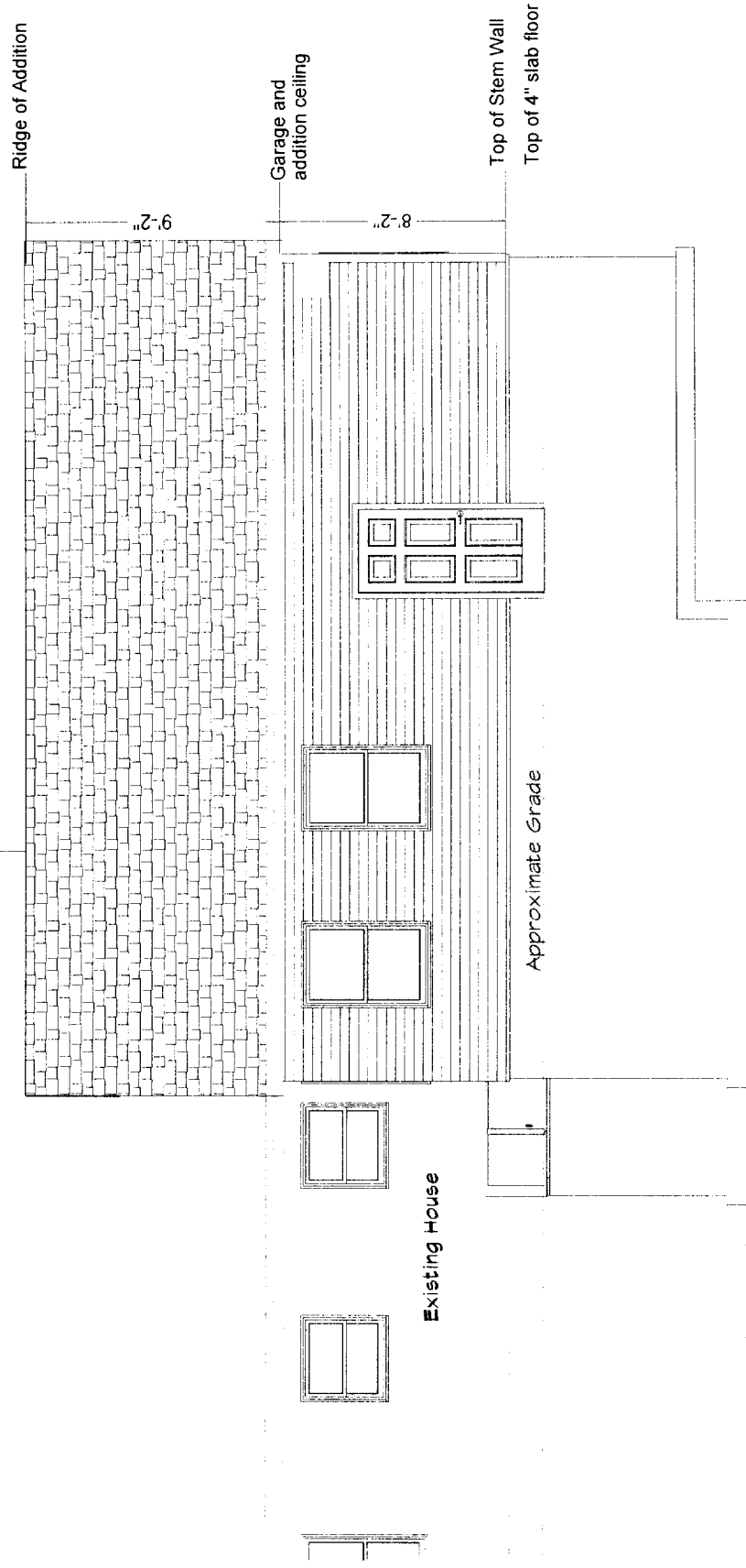
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**ELEVATIONS**  
Scale: 1/4" = 1' - 0"

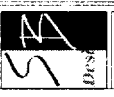
Conceptual Plans for  
Garage/Office Addition  
May 2006

**DONELSON**  
**RESIDENCE**  
Portland, Maine

Sheet  
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**REAR ELEVATION**



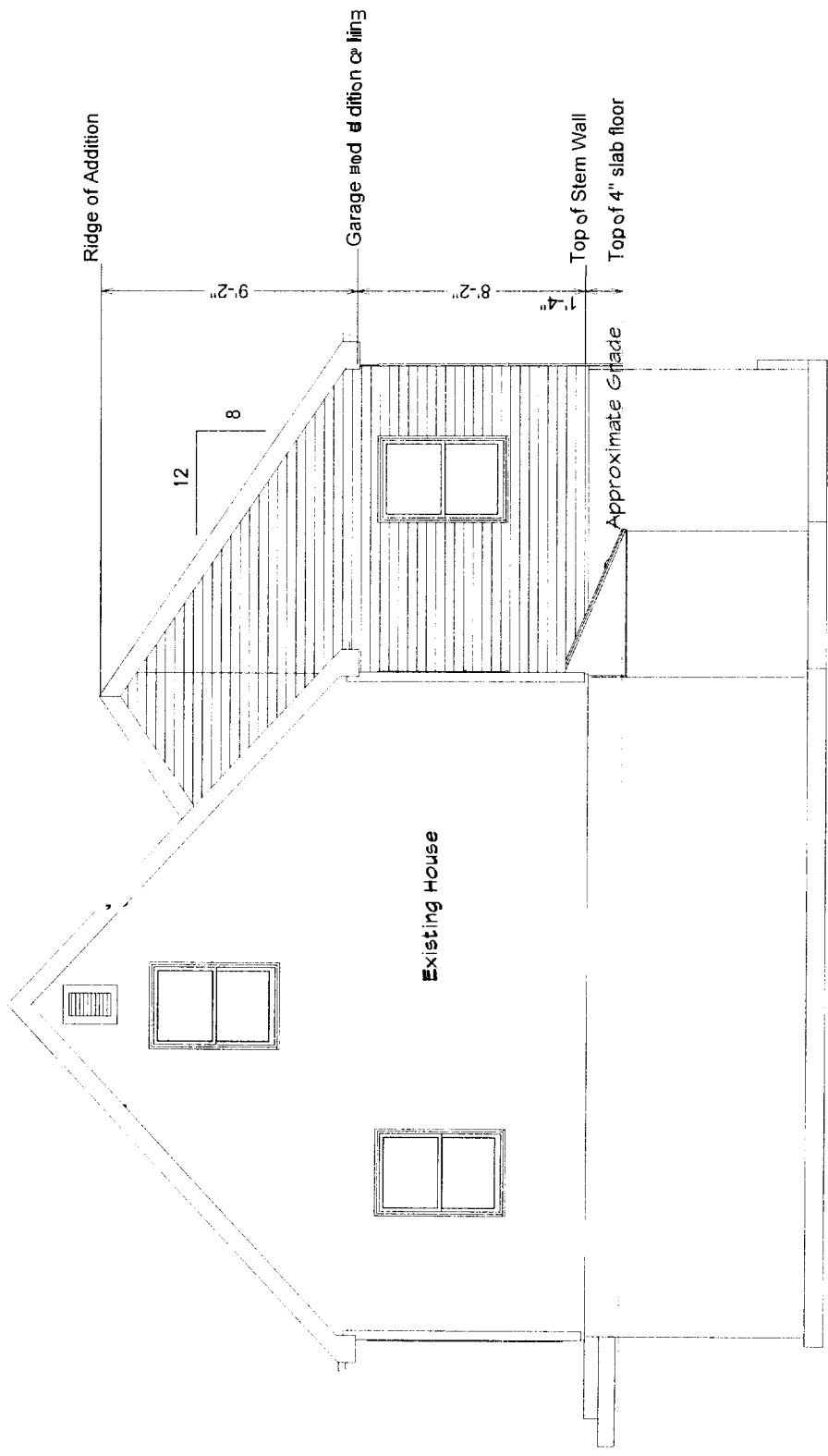
Plans are drawn by Susan Rothen, a registered professional engineer and registered architect. It is the responsibility of the owner, architect, engineer, contractor and building codes official to verify compliance with all applicable building codes. Contractor must verify compliance with all applicable building codes.

**ELEVATIONS**  
Scale: 1/4" = 1' - 0"

Conceptual Plans for:  
Garage/Office Addition  
May 2006

**DONELSON**  
**RESIDENCE**  
Portland, Maine

Sheet  
5 of 11



**RIGHT ELEVATION**

This page contains a detailed description of the Parcel ID you selected. Press the New Search button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	310 B008001
<b>Location</b>	92 EUCLID AVE
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	DONELSON SALLY M 92 EUCLID AVE PORTLAND ME 04103
<b>Book/Page</b>	13510/126
<b>Legal</b>	310-B-8 EUCLID AVE  7503 SF

**Current Assessed Valuation For Fiscal Year 2006**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$47,280	\$77,030	\$124,310

**Estimated Assessed Valuation For Fiscal Year 2007\***

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$62,100	\$87,800	\$149,900

\* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

**Property Information**

<b>Year Built</b> 1985	<b>Style</b> Cape	<b>Story Height</b> 1	<b>Sq. Ft.</b> 1075	<b>Total Acres</b> 0.172		
<b>Bedrooms</b> 3	<b>Full Baths</b> 1	<b>Half Baths</b>	<b>Total Rooms</b> 6	<b>Attic</b> Full Finsh	<b>Basement</b> Full	

**Outbuildings**

<i>Type</i>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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**Sales Information**

<b>Date</b> 12/22/1997	<b>Type</b> LAND t BLDING	<b>Price</b> \$94,900	<b>Book/Page</b> 13510-126
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**Picture and Sketch**

<u><a href="#">Picture</a></u>	<u><a href="#">Sketch</a></u>	<u><a href="#">Tax Map</a></u>
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[Click here to view Tax Roll Information.](#)



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection; Prior to pouring concrete
- ~~Re-Bar Schedule Inspection:~~ Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Sally M. Donelson  
Signature of Applicant/Designee

7/21/06  
Date

[Signature]  
Signature of Inspections Official

7/21/06  
Date

CBL: 510 BOOK

Building Permit #: 06 08 26