

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0812	Issue Date: SEP 03 2003	CBL: 310 B001001
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Location of Construction: 114 Epping St	Owner Name: Ridge Lesley M & Robert J Jr &	Owner Address: 114 Epping St CITY OF PORTLAND	Phone: 878-9535
Business Name:	Contractor Name: L P H Builders Inc	Contractor Address: 56 Roosevelt Trail Windham	Phone: 2078924073
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3/

Past Use: Single Family	Proposed Use: Single Family with 2nd story added above existing garage	Permit Fee: \$201.00	Cost of Work: \$20,000.00	CEO District: 1	F4
Proposed Project Description: Add 2nd story above existing garage		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>		INSPECTION: Use Group: R-3 Type SB BXA 99 	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____

Permit Taken By: kwd	Date Applied For: 07/15/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 8/20/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/20/03
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

PERMIT ISSUED

SEP 03 2003

CITY OF PORTLAND

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 030812

Please Read Application And Notes, If Any, Attached

This is to certify that Ridge Lesley M & Robert J / L P H Builders Inc
has permission to Add 2nd story above existing garage
AT 114 Epping St Call 310 B001001

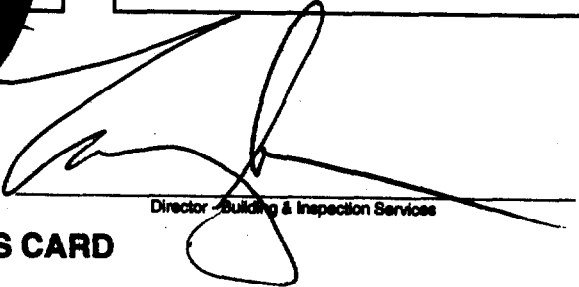
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is leased or otherwise used-in. **NO OTHER NOTICES REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____


Director - Building & Inspection Services

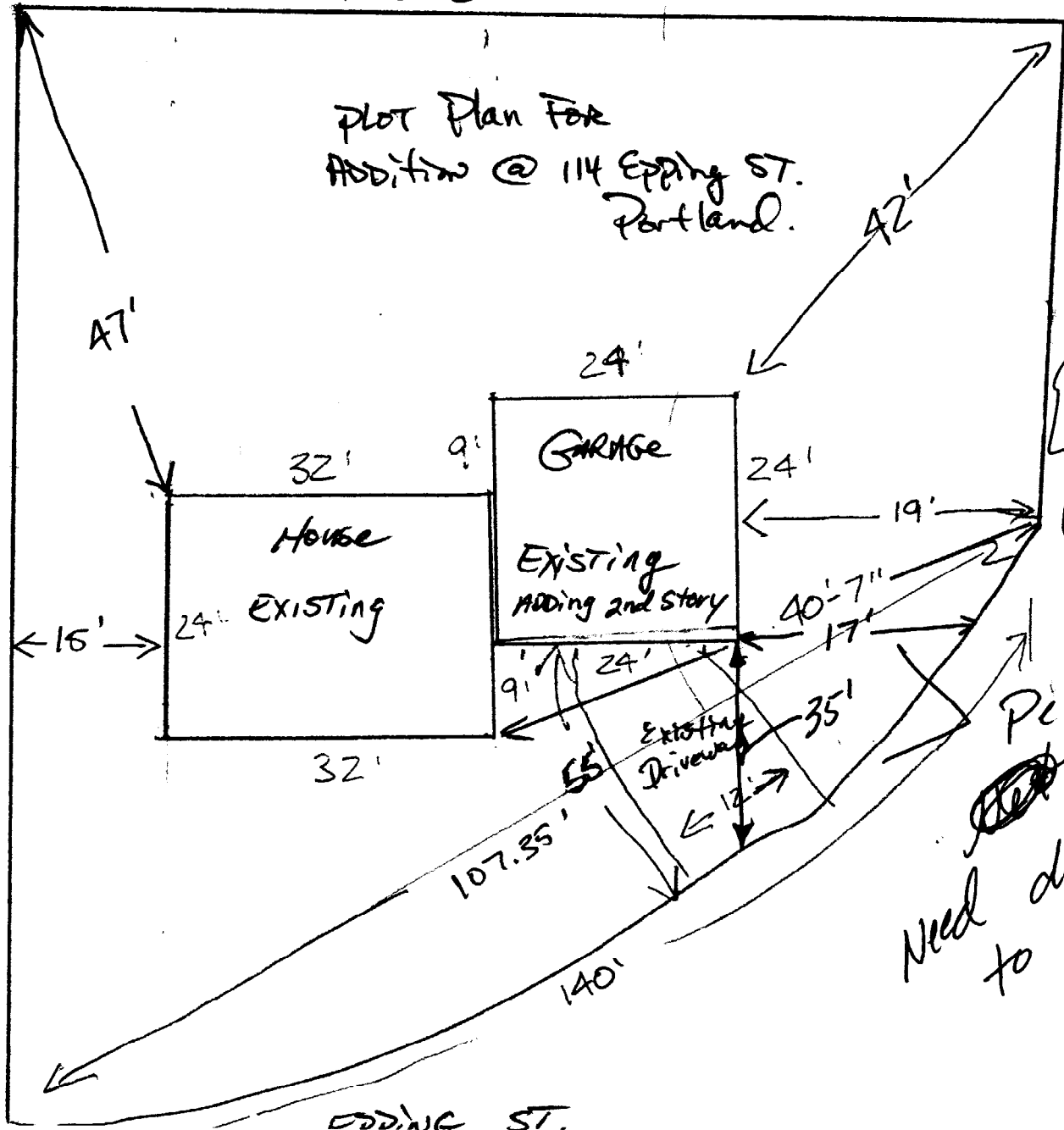
PENALTY FOR REMOVING THIS CARD

LPH Builders Inc
207-890-5252 ERIC

103.3'

Plot Plan For
Addition @ 114 Epping St.
Portland.

107.86'



50'
R-3
side - 14'
front - 25'
rear OK

Per Eric
@ 890-5252
Need distances
to prop. lines.

03-0812

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>114 EPPING ST. PORTLAND</u>		
Total Square Footage of Proposed Structure <u>576 S/F</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>310</u> Block# <u>B</u> Lot# <u>001</u>	Owner: <u>Robert + Lesley Ridge</u>	Telephone: <u>878-9535</u>
Lessee/Buyer's Name (if Applicable) <u>SAME</u>	Applicant name, address & telephone: <u>Robert + Lesley Ridge</u>	Cost Of Work: \$ <u>20,000</u> Fee: \$ <u>20.00</u>
Current use: <u>Residential SFR</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Residential SFR w/</u>		
Project description: <u>ADD 2nd STORY TO EXISTING 24' X 24' GARAGE FOR PURPOSE OF BEDROOM & BATH ROOM</u>		
Contractor's name, address & telephone: <u>LPH BUILDERS, INC. 56 ROOSEVELT TRAIL WINDHAM, ME 04062</u>		
Who should we contact when the permit is ready: <u>ERIC HALLE</u> <u>890-5252</u> <u>878-4073</u>		
Mailing address: <u>56 ROOSEVELT TRAIL WINDHAM, ME 04062</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-890-5252</u> <u>ERIC HALLE</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officer or authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

DEPT. OF BUILDING & PLANNING
CITY OF PORTLAND
JUL 10 2003

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS THAT we, Richard J. Mercier and Susan C. Mercier of 54 Bartlett Street, Portland, County of Cumberland and State of Maine, for consideration paid, grant to Lesley M. Ridge, Robert J. Ridge Jr., and Robert J. Ridge Sr., of 37 Summit Street, Old Orchard, County of York and State of Maine, As Joint Tenants With Rights of Survivorship with WARRANTY COVENANTS,


A certain lot or parcel of land with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, being Lot 1 on a Plan entitled Reconfiguration of Lots of Pine Tree Terrace, made by H.I. and E.C. Jordan, and recorded in the Cumberland County Registry of Deeds, Plan Book 144, Page 64, and more particularly described as follows:

BEGINNING at the northwesterly corner of Lot 1 as shown on said Plan; thence running North 69° 58' 15" East a distance of one hundred seven and eighty-six hundredths (107.86) feet to a street and the northeasterly corner of said Lot 1; thence running southerly and southwesterly on a curve to the right having a radius of one hundred forty (140) feet a distance of one hundred seven and thirty-five hundredths (107.35) feet by said street to a point on said street; thence running South 48° 15' 00" West a distance of fifty (50) feet to the southerly corner of said Lot 1; thence running North 20° 06' 45" West a distance of one hundred three and thirty hundredths (103.30) feet to the point of BEGINNING; said Lot 1 being formerly known as Lot 182 as shown on a Plan of Lots of Pine Tree Terrace made by H.I. Jordan, Civil Engineer, and recorded in said Registry of Deeds in Plan Book 30, Page 29.

Meaning and intending to describe and convey all and the same premises as conveyed to Richard J. Mercier by Warranty Deed of Greater Portland Homebuilders dated August 28, 1985, recorded with the Cumberland County Registry of Deeds at Book 6878, Page 111. Reference a deed from Richard J. Mercier to Richard J. Mercier and Susan C. Mercier dated October 27, 1992 recorded in said registry of Deeds in Book 1036, Page 299.

IN WITNESS WHEREOF, we have hereunto set our hand this 27th day of January, 1994.


Witness


Richard J. Mercier


Susan C. Mercier

STATE OF Maine
COUNTY OF Cumberland

EXHIBIT A

A CERTAIN LOT OR PARCEL OF LAND WITH THE BUILDINGS THEREON, SITUATED IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND AND STATE OF MAINE, BEING LOT 1 ON A PLAN ENTITLED RECONFIGURATION OF LOTS OF PINE TREE TERRACE, MADE BY H.I. AND E.C. JORDAN, AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, PLAN BOOK 144, PAGE 64, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF LOT 1 AS SHOWN ON SAID PLAN; THENCE RUNNING NORTH 69° 58' 15" EAST A DISTANCE OF ONE HUNDRED SEVEN AND EIGHTY-SIX HUNDREDTHS (107.86) FEET TO A STREET AND THE NORTHEASTERLY CORNER OF SAID LOT 1; THENCE RUNNING SOUTHERLY AND SOUTHWESTERLY ON A CURVE TO THE RIGHT HAVING A RADIUS OF ONE HUNDRED FORTY (140) FEET A DISTANCE OF ONE HUNDRED SEVEN AND THIRTY-FIVE HUNDREDTHS (107.35) FEET BY SAID STREET TO A POINT ON SAID STREET; THENCE RUNNING SOUTH 48° 15' 00" WEST A DISTANCE OF FIFTY (50) FEET TO THE SOUTHERLY CORNER OF SAID LOT 1; THENCE RUNNING NORTH 20° 06' 45" WEST A DISTANCE OF ONE HUNDRED THREE AND THIRTY HUNDREDTHS (103.30) FEET TO THE POINT OF BEGINNING; SAID LOT 1 BEING FORMERLY KNOWN AS LOT 182 AS SHOWN ON A PLAN OF LOTS OF PINE TREE TERRACE MADE BY H.I. JORDAN, CIVIL ENGINEER, AND RECORDED IN SAID REGISTRY OF DEEDS IN PLAN BOOK 30, PAGE 29.

LPH BUILDERS INC
56 ROOSEVELT TRAIL
WINDHAM ME 04062
Phone: 207-892-4073
Fax: 207-892-5968



LPH BUILDERS, INC.

Building Homes from the Ground Up

Fax

To: Tammy Munson

From: Kathy Halice

Fax: 874-8716

Date: August 11, 2003

Pages:

Pages: 3

Re:

Building Permit for 114 Epping Street

Urgent For Review Please Comment Please Reply Please Recycle

-Comments-

*114 Epping St
Builders*

ISAACSON STEEL, INC.
BOX 67
BERLIN, NH 03570

TEL. (603) 752-3022
(603) 752-2044
(800) 752-2045

*** QUOTE ***
Quote # 09702
Page 1

Sold to
CHICK LUMBER
PO BOX 3060
North Conway, NH 03860-3060

Ship To
Chick Lumber
Mountain Valley Mall
North Conway, NH

*Ref. LPH
Tom Nurni*

603 356-6371

Fax 603 356-6587

Cust # 1510 Quote Date 7/31/03 Cust. P.O. Buyer DAVE LARAB Sls MICHEL GALEK Terms NET 30 DAYS

QTY	U/M	Description	Weight	Price	U/M	Amount
1	EA	W 12 X 30 26'1" SAWCUT TO 1 PC 23'4"????????? PUNCH 9/16" HOLES 2' ON CENTER STAGGERED W/2 HOLES EACH END IN TOP FLANGE.	783	0.3050	LB	238.8
2	EA	LABOR CHARGE	0	60.0000	EA	60.0

Isaacson Steel is not responsible or liable for any design work. Please consult with a professional engineer to verify that this material is appropriate for its intended use.
BEAM SIZED TO SUPPORT 6000/FT TOTAL UNIFORM SINGLE FLOOR RESIDENTIAL LOAD

*Steel Beam -
Need Stamped*

NE AND MA TAX EXEMPT

Total Weight	783
Subtotal	238.8
Freight	0.0
Tax	0.0
Total Amount	238.8

11464677A

11/21/2003 1:48 PAGE 2/2 RightFAX



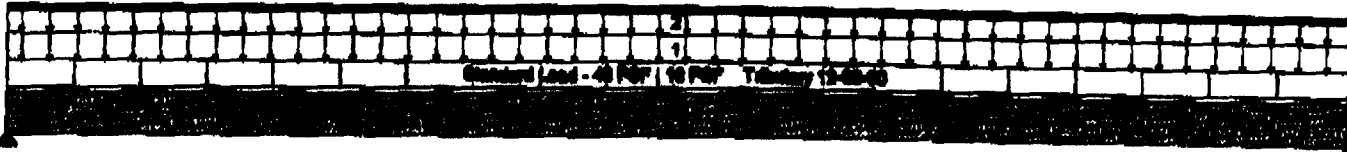
BC CALC 2002 DESIGN REPORT - US

Tuesday, July 22, 2003 13:58

Single 5 1/4" x 16" VERSA-LAM® 3080 DF

Job Name - RIDGE
 Address - EPPING STREET
 City, State, Zip - PORTLAND, ST
 Customer - CHECK LBR
 Code reports - ICBO 8883, NER 442

File Name - BC CALC Project : FB02
 Description -
 Specifier - TOM NUWM
 Designer - DON BELMONT
 Company - WOOD STRUCTURES INC.
 Misc -



B0
 7680 lbs LL
 2893 lbs DL

B1
 7680 lbs LL
 2893 lbs DL

Total Horizontal Length - 16-00-00

General Data

Version: US Imperial

Member Type: - Floor Beam
 Number of Spans: - 1
 Left Cantilever: - No
 Right Cantilever: - No

Slope: 0/12
 Tributary: 12-00-00
 Repetitive: n/a
 Construction Type: n/a

Live Load: 40 PSF
 Dead Load: 10 PSF
 Part Load: 0 PSF
 Duration: 100

Load Summary

ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
3	Standard	Unf.Area Load	Left	00-00-00	16-00-00	40 PSF	10 PSF	12-00-00	100
1		Unf.Area Load	Left	00-00-00	16-00-00	40 PSF	10 PSF	12-00-00	115
2		Unf.Lin. Load	Left	00-00-00	16-00-00	0 PLF	100 PLF n/a		80

Controls Summary

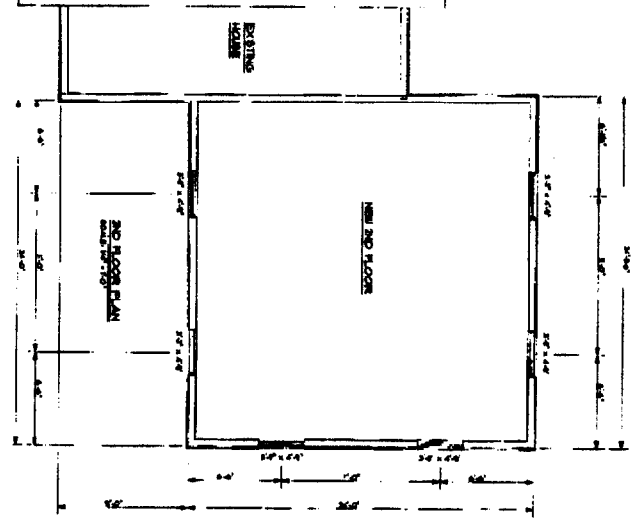
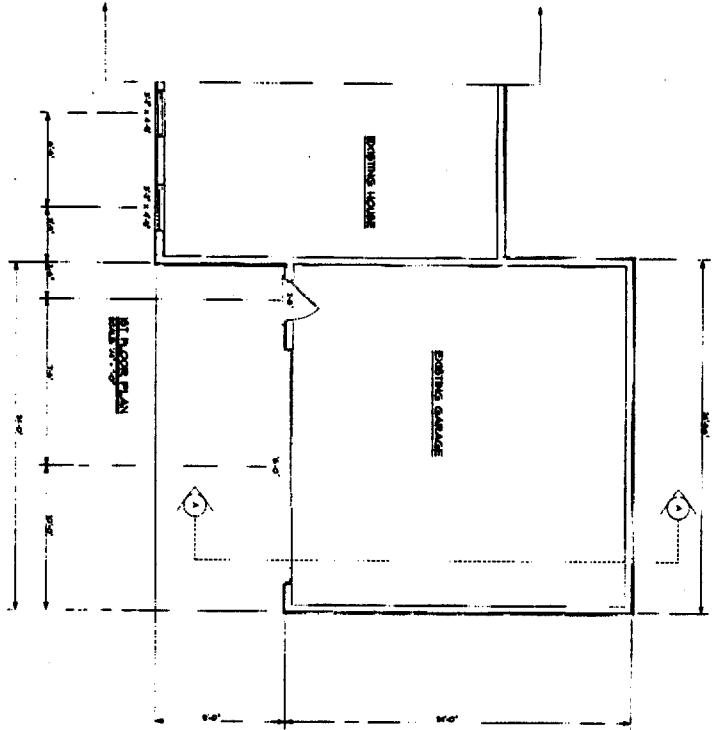
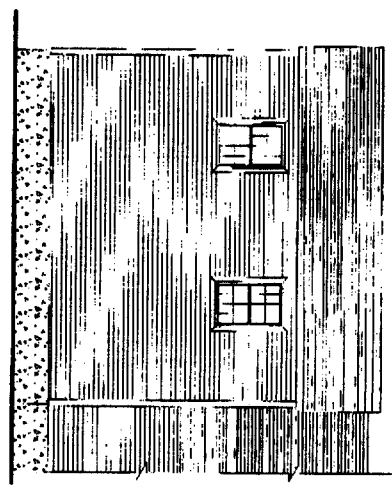
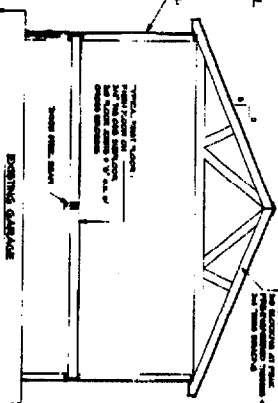
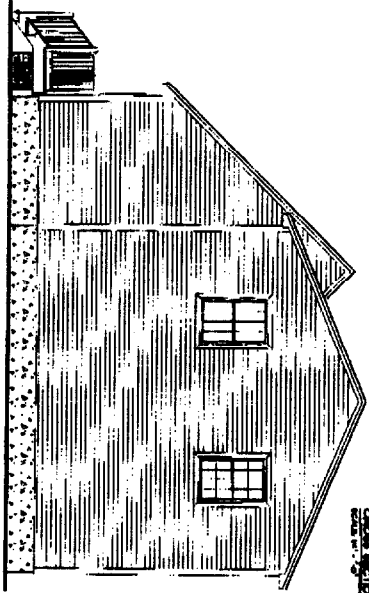
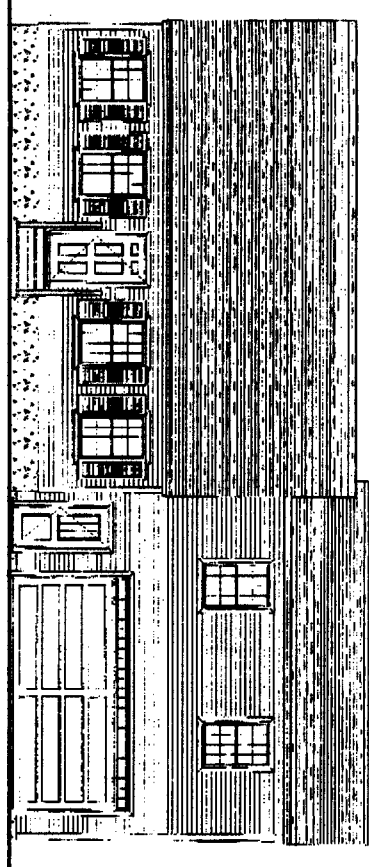
Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	42281 ft-lbs	88.0%	● 115%	3	1 - Internal
End Shear	8911 lbs	48.0%	● 115%	3	1 - Left
Total Deflection	1.883 (0.644")	88.0%		3	1
Live Deflection	1.488 (0.389")	88.7%		3	1
Max. Defl.	0.844" (Limit: 1")	84.4%		3	1
Span/Depth	12.0				1

NOTES:
 Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets User specified (L/480) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 2-1/4".
 Minimum bearing length for B1 is 2-1/4".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Garage Header - OK

Disclosure
 The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)283-0788 before beginning product installation.

BC CALC®, BC FRAMERS®, BOISE®, BC RIM BOARD™, BC OGS RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOISTS® and AJS™ are registered trademarks of Boise Cascade Corporation.



DATE	1-1-54
SCALE	1/4" = 1'-0"
BY	JACK SPRAGUE
CHECKED BY	
APPROVED BY	

DRAWN BY **JACK SPRAGUE**
 PROJECT FOR: **RIDGE ADDITION**
 CONTRACTOR:

REPRESENTATION OR RELEASE BY THE ARCHITECT'S FIRM,
 WITHOUT PERMISSION FROM JACK SPRAGUE IS PROHIBITED.

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN
 PREPARED BY A REGISTERED ARCHITECT OR ENGINEER,
 JACK SPRAGUE IS NOT LICENSED AS THE
 PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR
 DOES HE HOLD HIMSELF OUT AS SUCH. THESE PLANS ARE
 PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE
 A GUARANTEE TO THE SOUNDNESS AND SAFETY
 OF THE STRUCTURE PROVIDED. ALL PERMITS
 AND INSPECTIONS TO BE REQUIRED FOR ACCU-
 RACY AND STRUCTURAL INTEGRITY BY A REGISTERED
 ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE
 ACTUAL CONSTRUCTION.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0812	Date Applied For: 07/15/2003	CBL: 310 B001001
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Location of Construction: 114 Epping St	Owner Name: Ridge Lesley M & Robert J Jr &	Owner Address: 114 Epping St	Phone:
Business Name:	Contractor Name: L P H Builders Inc	Contractor Address: 56 Roosevelt Trail Windham	Phone (207) 892-4073
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family with 2nd story added above existing garage	Proposed Project Description: Add 2nd story above existing garage
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Dept: Zoning **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 08/28/2003
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/28/2003
Note: **Ok to Issue:**

1) As discussed during the review process, all the walls and ceiling in the garage will be firerated.

SEI SHELLEY ENGINEERING, INC.
STRUCTURAL CONSULTANTS

SEI Job #2003-

Fax Transmittal

To: Tammy Munson	From: Patrick Jordan ext. 17
Fax: 874-8716	Pages: 2
Company: City of Portland Code Enforcement	Date: 8/28/2003 7:45 AM
Re: Ridge Residence - 114 Epping St.	CC:

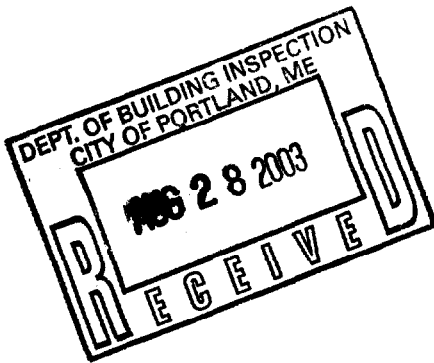
Urgent
 For Review
 Please Comment
 Please Reply
 For Your Use

Comments:

Ms. Munson:

To follow is a sketch of the garage addition to the Ridge Residence located at 114 Epping Street in Portland. You will notice the clouded items on the second floor framing that Shelley Engineering, Inc. has designed.

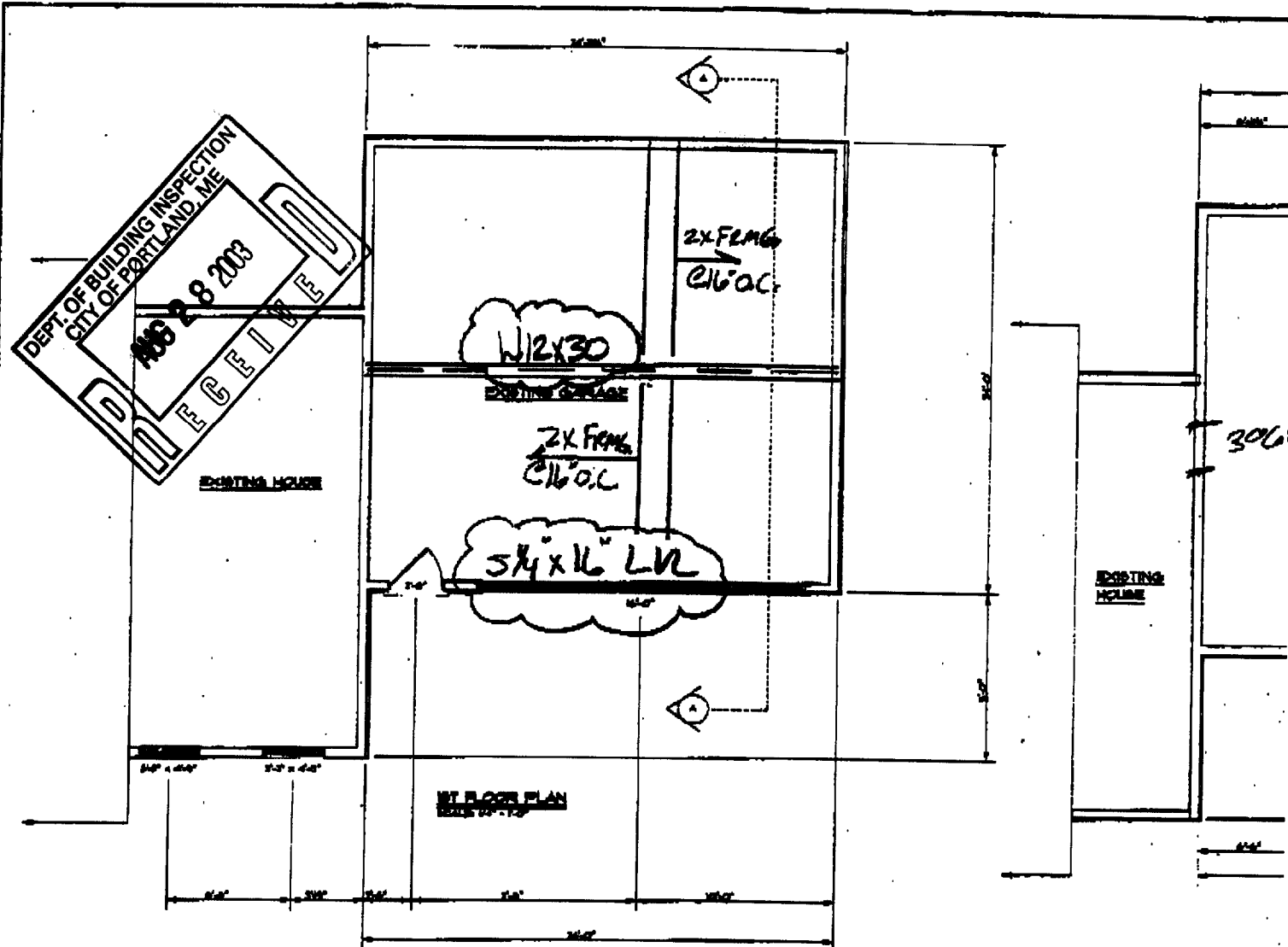
We will send you a hard copy in the mail today. If you have any questions, feel free to call.



Regards,

Shelley Engineering, Inc.

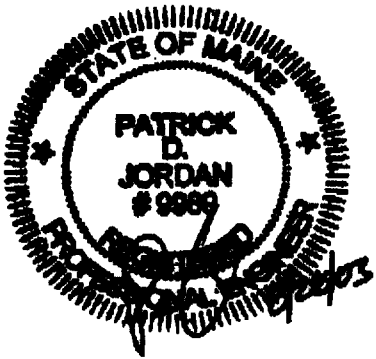
Patrick Jordan, P.E.



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG 28 2003
D D E G E I E

CLOUDED ITEMS DESIGNED
BY SHELLEY ENGINEERING
PDS
8/28/03

Hea
3 pc
w/



FRONT ELEVATION
SCALE 1/4\"/>