

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND BUILDING PERMIT



This is to certify that DAVID R SHEDD

Job ID: 2012-05-3998-ALTR

Located At 55 ALDWORTH ST

CBL: 309- F-036-001

has permission to adding full dormer on the rear of house

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED. A final inspection must be completed by owner before this funding or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SUDE OF THE PROPERTY PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 (ONLY) or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months. If the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.

Required Inspections:

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



Strengthening a Remarkable City, Building a Community for Life . www.portlandmaine.gov

Acting Director of Planning and Urban Development Gregory Mitchell

Job ID: 2012-05-3998-ALTR

Located At: 55 ALDWORTH ST

CBL: 309- F-036-001

Conditions of Approval:

Building

- 1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-3998-ALTR	Date Applied: 5/15/2012		CBL: 309- F-036-001				
Location of Construction: 55 ALDWORTH ST	Owner Name: DAVID R SHEDD		Owner Address: 55 ALDWORTH ST PORTLAND, ME 0			Phone: 835-1068	
Business Name:	Contractor Name: Tom Williams@ Williams Construction		Contractor Address: 29 Ocean Avenue, Portland, ME 04103		Phone: 838-4360		
Lessee/Buyer's Name:	Phone:		Permit Type: BLDG ADD			Zone: R-3	
Past Use: Single Family Dwelling Same: Single Family – to add a full dorme rear of the house and small dormers on fro new deck of rear seco 4.5'x11'		r on the Fire Dept: two nt and		k:		CEO District: Inspection: Use Group: JC- Type: 573 IRC 09 Signature:	
Proposed Project Description: adding full dormer on the rear of house Permit Taken By: Gayle			Pedestrian Activi	ties District (P.A.D.))	C	
			Zoning Approval				
 This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building Permits do not include plumbing, septic or electrial work. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work. 		Special Zone or Reviews Shoreland Shoreland USE 317 of 80° Wetlands Flood Zone Subdivision Site Plan Maj Min MM Date: ST3112		VarianceNot in 1 MiscellaneousDoes no Conditional UseRequire InterpretationApprov		red w/Conditions	

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

PHONE

7-13-12 DWM David 838-1068 Close-MOK Provide egress windows.

12-11-12 & Final ok

CLOSED



5/18/2012

David Shedd P. O. Box 11375 Portland, ME 04104 (207) 253-3141 Davidshedd1@gmail.com

May 11, 2012

City of Portland RE: 55 Aldworth Street

To Whom It May Concern:

I authorize Williams Construction of Ocean Avenue, Portland to perform all work related to the structural plans drawn by Becker Structural Engineers for 55 Aldworth Street. Any questions, please feel free to contact me.

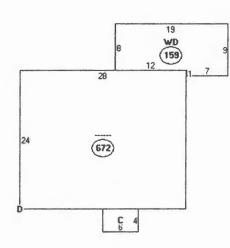
Sincerely,

an

David Shedd

Page 1 of 1

Descriptor/Area A:-----672 sqft B: WD 159 sqft C: OFP 24 sqft D: RG1 480 sqft



5/31/2012

GENERAL NOTES

1

- 1. THE FOLLOWING NOTES ARE INTENDED TO BE USED AS OUTLINED SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- 3. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- 4. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE STRUCTURAL DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, BUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- 5. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE STRUCTURAL ENGINEER.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

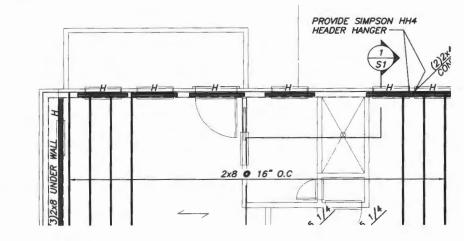
DESIGN LOADS

BUILDING CODE: MAINE UNIFORM BUILDING AND ENERGY CODE, INTERNATIONAL RESIDENTIAL CODE, 2009 EDITION ASCE 7–05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES. DESIGN FLOOR LIVE LOADS: SLEEPING ROOMS 2. 30 PSF 40 PSF ALL OTHER AREAS 3. DESIGN ROOF SNOW LOAD: GROUND SNOW LOAD (Pg): 60 PSF GROUND SNOW LOAD (F9). SNOW EXPOSURE FACTOR (Co): SNOW LOAD IMPORTANCE FACTOR (Is): SNOW LOAD THERMAL FACTOR (Ct): 1.0 1.0 1.1 46 PSF + DRIFT FLAT ROOF SNOW LOAD (Pf): 4. DESIGN WIND LOAD: BASIC WIND SPEED: 100 MPH WIND LOAD IMPORTANCE FACTOR (Iw): 1.0 WIND EXPOSURE: C INTERNAL PRESSURE COEFFICIENT: ±0.18 COMPONENTS & CLADDING LOADS PER ASCE 7-05

STRUCTURAL STEEL NOTES

1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN FABRICATIONS, AND ERECTION OF STRUCTURAL STEEL" 13TH EDITION, AND THE "CODE OF STANDARD PRACTICE", LATEST EDITION.

- 2. STRUCTURAL STEEL: STEEL PLATES, SHAPES, AND BARS, SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHER WISE (U.N.O.). STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS: ASTM A992 (ASTM A572 GRADE 50 WITH SPECIAL REQUIREMENTS PER AISC TECHNICAL BULLETIN #3 DATED MARCH, 1997)
- 3. WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1-LATEST EDITION. ELECTRODES SHALL CONFORM TO AWS A5.1 E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN)
- 4. ALL STEEL SHALL BE FABRICATED AND SHIPPED AS BARE UN-PAINTED STEEL, EXCEPT STEEL PERMANENTLY EXPOSED TO WEATHER. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED.
- 5. PROVIDE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL DRAWINGS.



TIMBER NOTES

- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AITC TIMBER CONSTRUCTION MANUAL-LATEST EDITION, AND THE AF & PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 2001 EDITION.
- 2. INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED. MINIMUM GRADE NO1/NO2 SPRUCE-PINE-FIR (NOT S.P.F. SOUTH (S)) KILN DRIED TO 19% MAXIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ENGINEERED WOOD PRODUCTS SHALL BE AS SPECIFIED ON THE DRAWINGS. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES. MANUFACTURER AND PRODUCT SHALL BE: 3.

TRUS-JOIST: I-JOIST (TJI), PARALLAM (PSL), MICROLAM (LVL), TIMBERSTRAND (LSL) I-JOIST (BCI), VERSALAM (LVL) BOISE:

- SUBSTITUTIONS OF ENGINEERED WOOD MATERIALS OTHER THAN THOSE SPECIFIED WILL B PERMITTED ONLY WITH WRITTEN CERTIFICATION FROM THE MANUFACTURER THAT SUBSTITUTED ITEMS "MEETS OR EXCEED" ALL PROPERTIES OF SPECIFIED PRODUCT, INCLUDING ENGINEERING AND DURABILITY CHARACTERISTICS. SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE ARCHITECT 4. AND ENGINEER.
- PRESSURE TREATED LUMBER SHALL BE USED FOR SILL MEMBERS, EXTERIOR EXPOSURE, OR WHERE SHOWN ON THE DRAWINGS. TIMBER SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA OR ACQ TO 0.4 #/CF IN ACCORDANCE WITH AWPA C-18. ACZA IS STRICTLY PROHIBITED. 5.
- ALL ROOF AND WALL SHEATHING SHALL BE APA PERFORMANCE-RATED. PROVIDE 5/8" THICK CD-X ROOF SHEATHING AND 1/2" THICK WALL SHEATHING (U.N.O.) SEE SHEARWALL SCHEDULE FOR NAILING REQUIREMENTS EXCLUSIVE TO SHEARWALLS. SHEATHING SHALL BE NAILED TO THE FRAMING 6. AS FOLLOWS, U.N.O .:

EX BE TO RE

TYPICAL PANEL FASTENING (U.N.O.) A.ROOFS: Bd NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12"O.C. AT INTERMEDIATE SUPPORTS.

B.WALLS: 8d NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

- FLOOR SHEATHING SHALL BE 3/4", APA RATED TONGUE AND GROOVE PANELS. GLUE AND NAIL TO FLOOR FRAMING WITH BU RING SHANK NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- 8. ALL BUILT-UP BEAMS AND COLUMNS SHALL BE NAILED AS FOLLOWS (FASTENING IN EACH PLY):

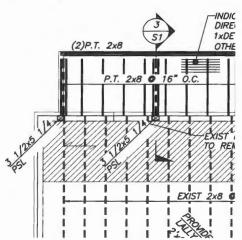
UNIFORMLY LOADED BEAMS. BEAM DEPTH <16" - 2 ROWS OF 16d NAILS AT 12" O.C., STAGGERED BEAM DEPTH >=16" - 3 ROWS OF 16d NAILS AT 12" O.C. STAGGERED NOTE: SIDE LOADED BEAMS REQUIRE ADDITIONAL FASTENING. SEE DETAILS.

COLUMNS: 2-10d NAILS AT 6" O.C.

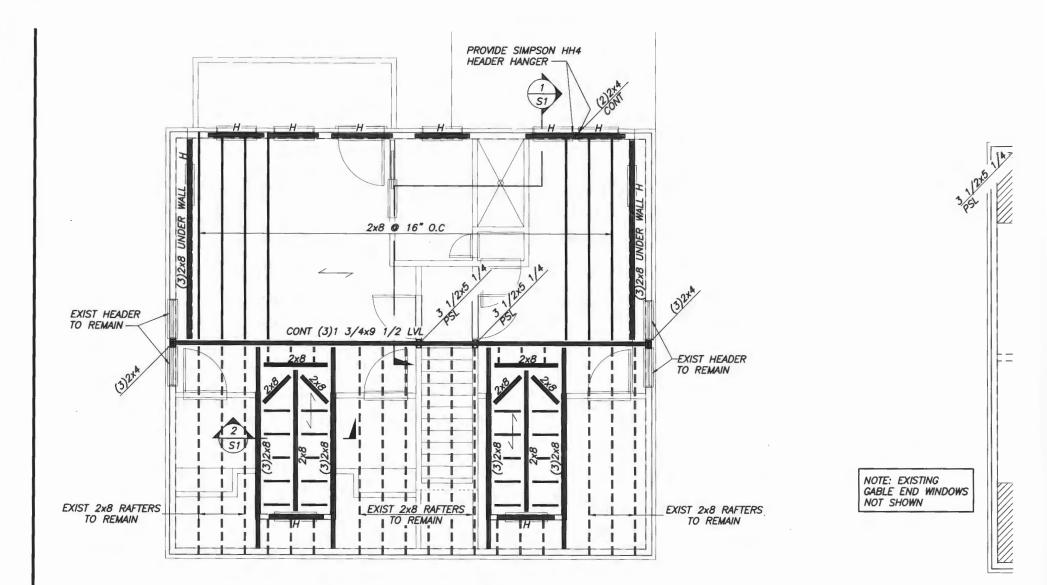
FASTENING NOT SPECIFIED SHALL CONFORM WITH IBC (2003) TABLE 2304.9.1. NAIL FASTENERS SHALL MEET THE REQUIREMENTS OF ASTM F1667. UNLESS NOTED OTHERWISE, NAILS REFERENCED ON DRAWINGS ARE TO BE COMMON NAILS WITH DIMENSIONS AS FOLLOWS.

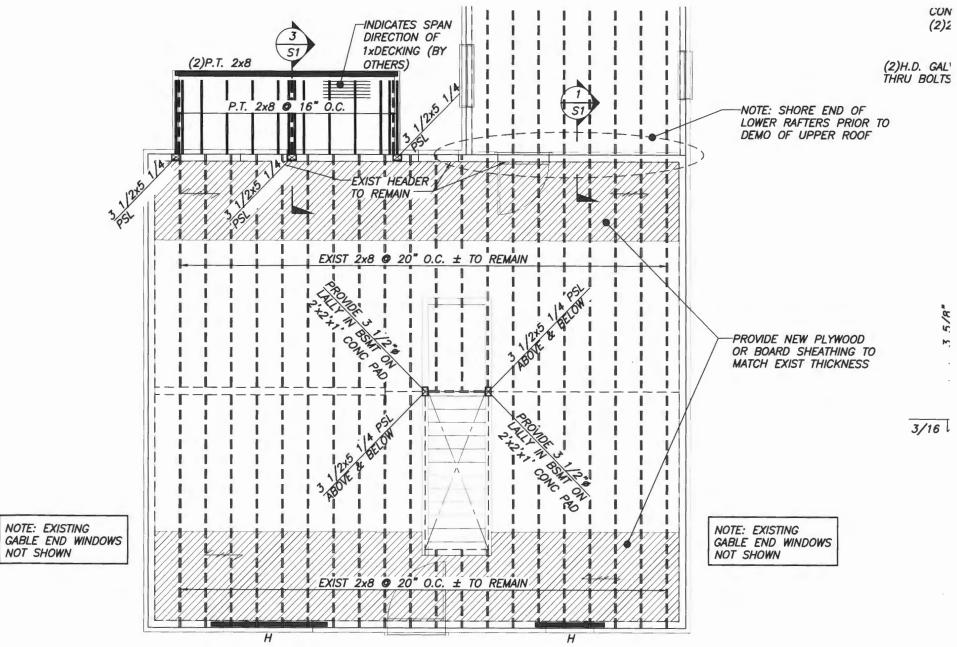
6d: 2" LONG BY 0.113" DIAMETER SHANK WITH 0.266" DIAMETER HEAD 8d: 2 10 NG BY 0.131" DIAMETER SHANK WITH 0.281" DIAMETER HEAD 10d: 3" LONG BY 0.131" DIAMETER SHANK WITH 0.281" DIAMETER HEAD 12d: 3 1/2" LONG BY 0.148" DIAMETER SHANK WITH 0.312" DIAMETER HEAD 12d: 3 1/2" LONG BY 0.148" DIAMETER SHANK WITH 0.312" DIAMETER HEAD 16d: 3 1/2" LONG BY 0.162" DIAMETER SHANK WITH 0.344" DIAMETER HEAD 20d: 4" LONG BY 0.192" DIAMETER SHANK WITH 0.406" DIAMETER HEAD 30d: 4 1/2" LONG BY 0.207" DIAMETER SHANK WITH 0.438" DIAMETER HEAD

- 10. ALL TIMBER CONNECTION HARDWARE (JOIST HANGERS, POST BASES, SHEARWALL HOLDOWNS, ETC) SHALL BE AS INDICATED ON THE DRAWINGS AND MANUFACTURED BY SIMPSON STRONG-TIE. ALL CONNECTION HARDWARE SHALL BE HOT-DIPPED GALVANIZED G-90 (U.N.O.). CONNECTION HARDWARE USED IN CONTACT WITH PRESERVATIVE TREATMENT SHALL BE GALVANIZED G185 (ZMAX) USE FASTENERS AND HANGERS OF SAME MATERIAL & COATING. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.
- 11. FASTENERS USED IN CONTACT WITH PT LUMBER SHALL BE HOT DIPPED GALVANIZED (ASTM A153), STAINLESS STEEL, OR OTHER FINISH AS APPROVED BY THE ENGINEER.

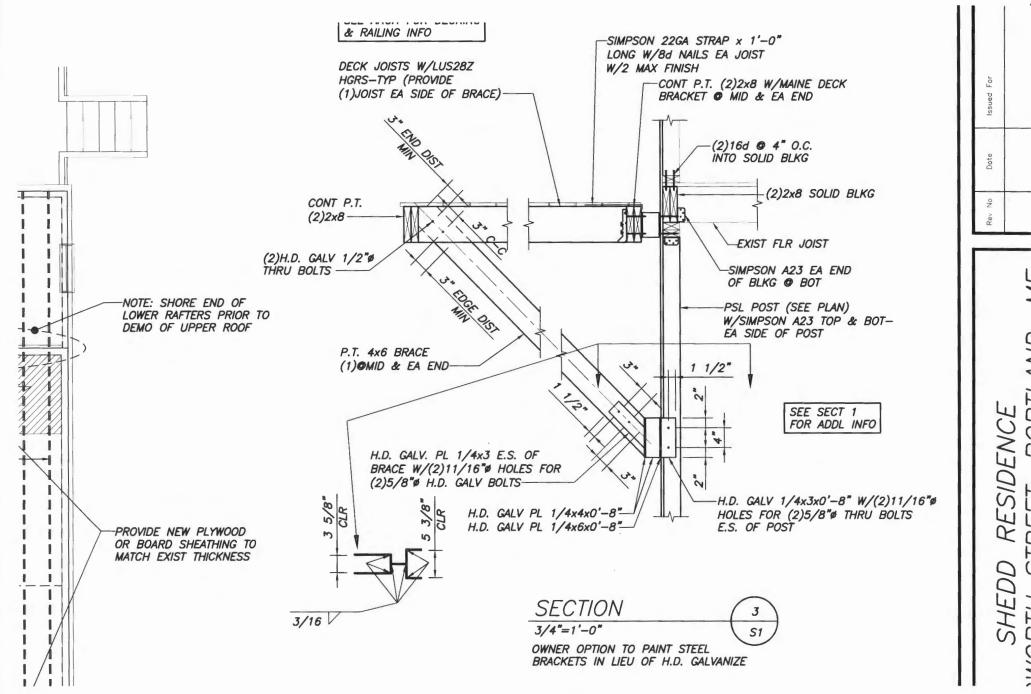


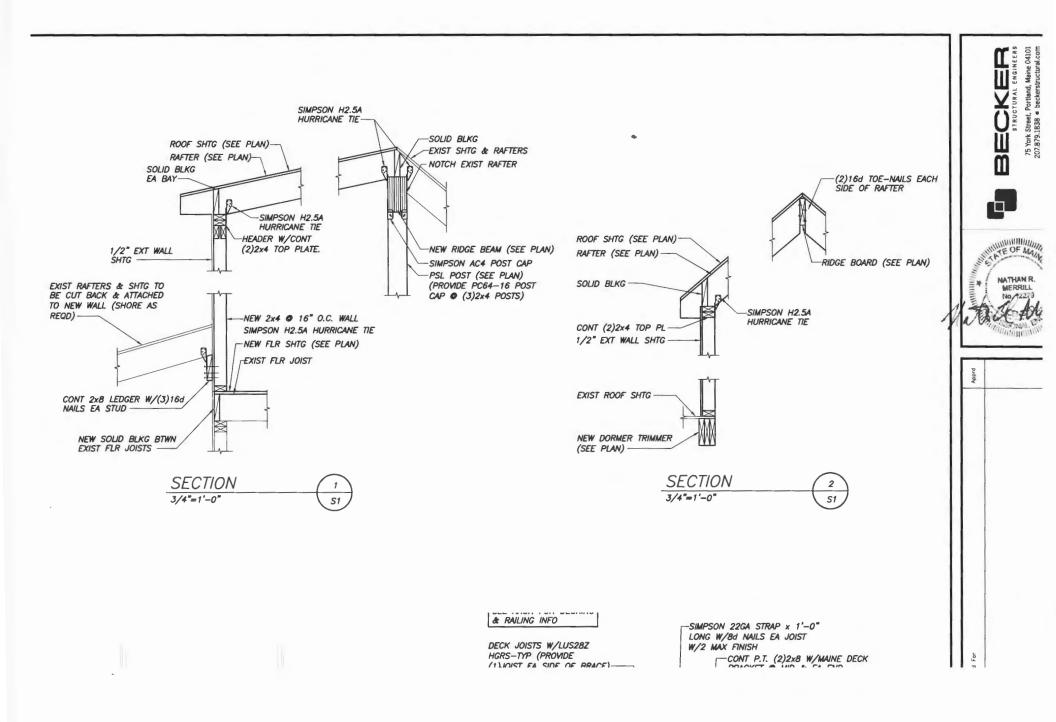


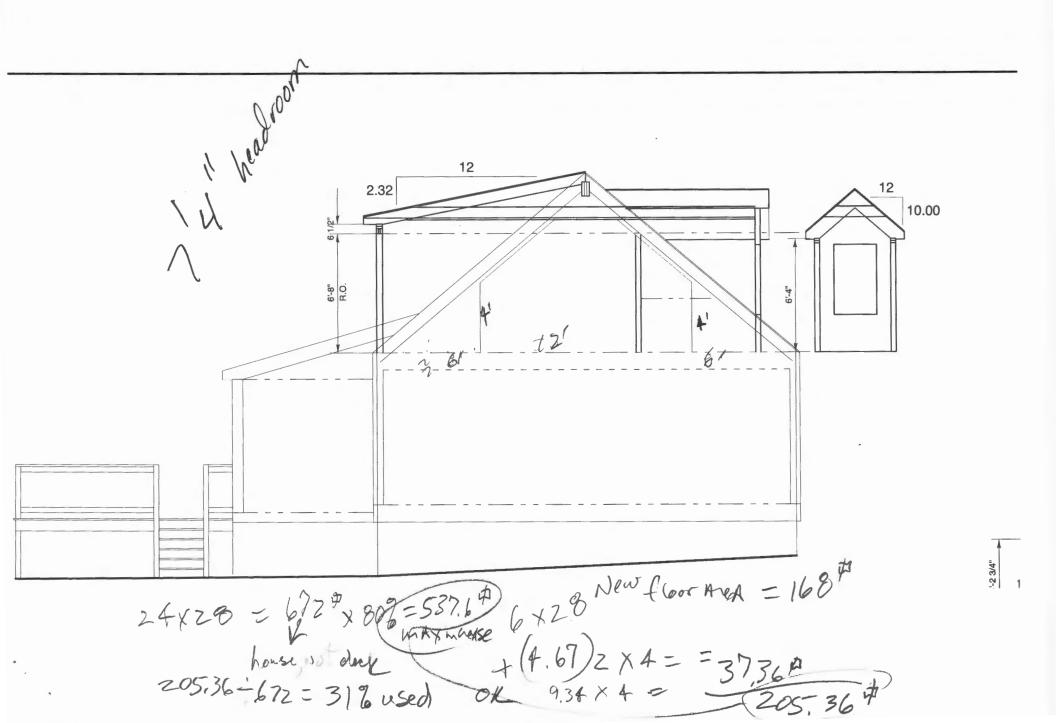


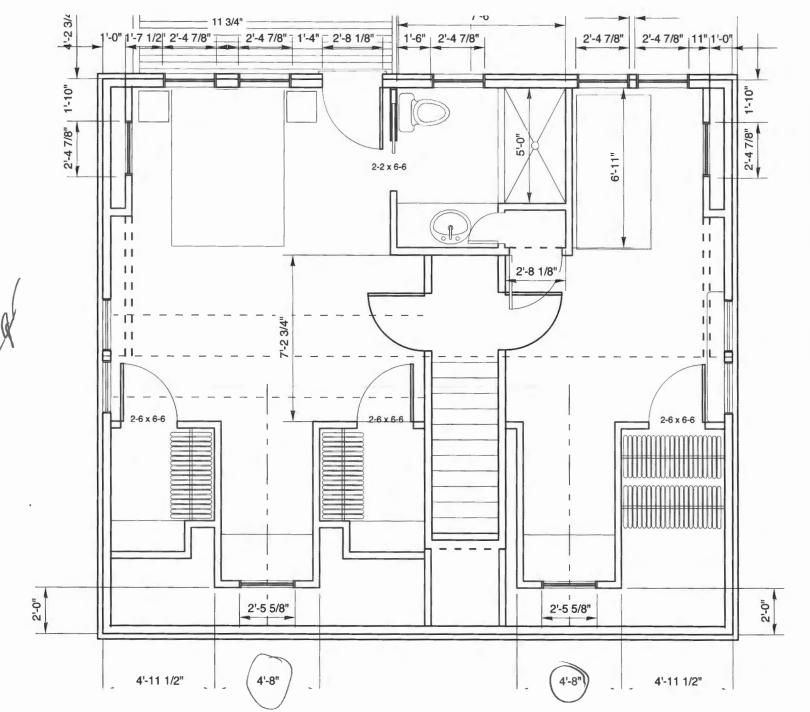


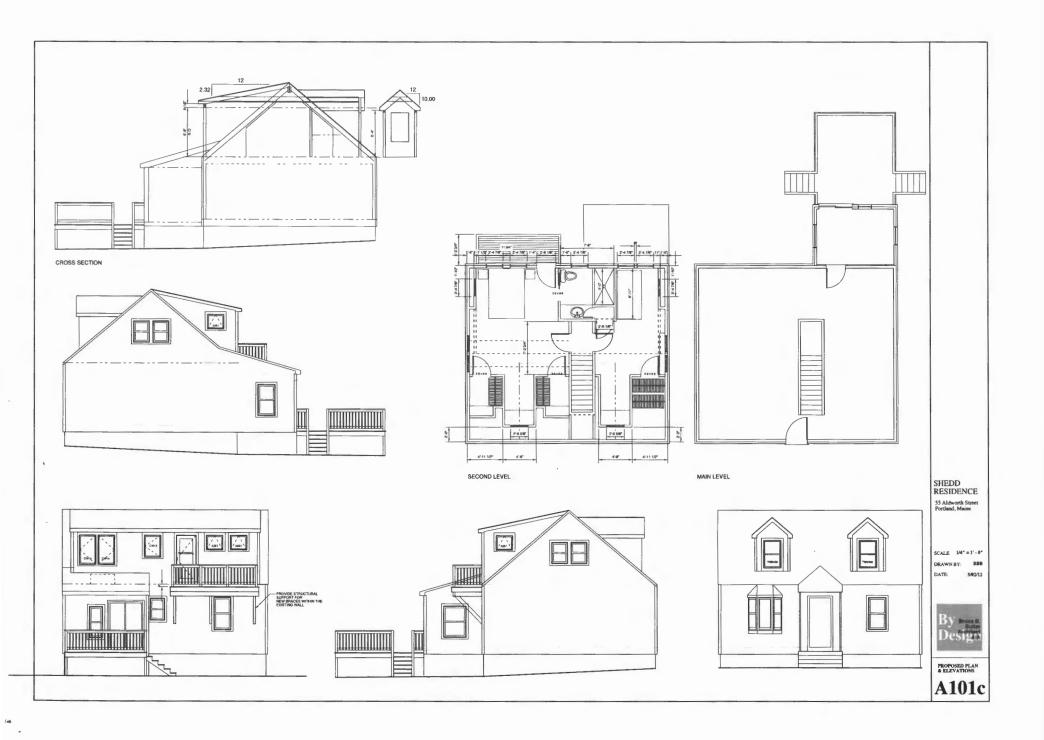
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GENERAL NOTES

THE FOLLOWING MOTES ARE WITENDED TO BE USED AS OUTLINED SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAW CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENNICS, CHASES, MSENTS, RECLETS, SLEDNES, DEPRESSIONS, AND OTHER DETALS NOT SHOWN ON

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SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAININGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE STRUCTURAL ENGINEER.

ALL APPLICABLE FEDERAL, STATE, AND IRLINGIPAL REGULATIONS SHALL BE FOLLOWED, MILLIDDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

DESIGN LOADS

BUILDING CODE: WAINE UNITORNI BUILDING AND ENERGY CODE. INTERNATIONAL RESIDENTIAL CODE, 2008 EDITION ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.

2	DESIGN FLOOR LINE LONDS:	
	SLEEPING ROOMS	30 PSF
	ALL OTHER AREAS	40 PSF
r	DESIGN ROOF SNOW LOND:	
	CHOLIND SNOW LOAD (Pg):	60 PSF
	SNOW EXPOSURE FACTOR (Ca):	1.0
	SNOW LOAD IMPORTANCE FACTOR (IN):	
	SHOW CORD BOOKDAKE PACTOR (b):	1.0
	SNOW LOAD THERMAL FACTOR (CI):	1.1
	FLAT ROOF SNOW LOND (PH):	48 PST + DRIFT
4.	DESIGN MIND LOAD:	
	BASIC INNO SPEED:	100 MPH
	HAND LOND APORTANCE FACTOR (10):	1.0
	WHO EXPOSUNE:	C
	INTERNAL PRESSURE COEFFICIENT:	\$0.18
	COMPONENTS & CLADDING LOADS PER ASCE	10.18

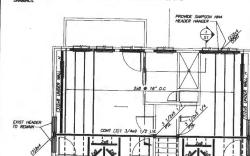
STRUCTURAL STEEL MOTES

STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SWALL CONFORM TO ASC "SPECIFICATION FOR THE DESIGN FABRICATIONS, AND ERECTION OF STRUCTURAL STEEL" 13TH EDITION, AND THE "CODE OF STANDARD PRACTICE", LATEST EDITION.

STRUCTURAL STEEL STEEL PLATES SHAPES AND BARS, SHALL COMPOSAL TO ASTA AND UMELSS NOTED OTHER MISE (U.R.O.). STRUCTURAL STEEL SHAPES DESCANDED ON THE DRAMMES FOR MUEL-TAMORE STRUCTURE SATA MARS (ARTH AST2 CARDE SO WITH SPECIA RECURRENTIATIS PER ASSC TECHNICAL BALLETIN (3) DATED WARCH, 1997)

WHETHE WELDING IS WOMCATED, ALL WELDING SHULL CONTORN TO ANY D.1.1-LATEST DDITION. ELECTRODES SHULL CONTORN TO ANY AS.1 ETOXS SERIES WITH PROPER ROD TO PRODUCE OFTINAM WELD (LOW HYDROGEN) ALL STEEL SHALL BE FABRICATED AND SHEPPED AS BARE UN-PANNTED STEEL DUCEPT STEEL PREMAMENTLY EXPOSED TO WEATHER. ALL STEEL EXPOSED TO WEATHER SHALL BE NOT-OPPED GALWARTED.

PROMOE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL



LEXIST 2xe

ROOF FRAMING PLAN

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NDICATES SPAN DIRECTION OF 5/8" COX ROOF SHTC.

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ALL TWEER FRAMMIC SHALL BE IN ACCORDANCE WITH THE ATC TWEER CONSTRUCTION WARKING LATEST EDITION, AND THE AF & PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NOS) 2001 EDITION.

THREE NOTES

INDIVIDUAL TRABER FRIMANIC MEMBERS SIVIL BE VISUALLY ORDED, MINIMUM GRADE HOT/MOZ SIMUCE-PRE-FRE (NOT S.P.F. SOUTH (SJ) NEW DRED TO THE MAXIMUM HORSTURE CONTENT UNLESS OFMERINGE REACATED ON THE OMMINIS.

ENGINEERED WOOD PRODUCTS SHULL BE AS SPECIFIED ON THE DIMININGS. RETER I MANUFACTURER'S LITEMATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES MANUFACTURER AND PRODUCT SHULL BE:

IRUS-JOIST: I-JOIST (TJ), PARALLAM (PSL), MICROLAM (LVL), TIMBERSTRAND (LSL) BOISE: I-JOIST (BC), VERSALAM (LVL)

SUBSTITUTIONS OF DISAMEDIED WOOD MATTEMES OTHER THAN THOSE SPECIFIED WILL B PERATTED ONLY WITH WIRTEN CONFERANCE FROM THE MANAGEMENT THAT SUBSTITUTION THUS "WELTS OF DECOLOT ALL PROPERTIES OF SPECIFIC AND CLUDING OPARIZING MO DISAMELTY CHARACTERISTICS, SUBSTITUTIONS ARE SUBJECT TO APPROVE BY THE ARCHITECT MO DISAMELTY

PRESSURE THEATED LUMBER SHULL BE USED FOR SUL MEMBERS, EXTERIOR DRIVOSURE, OR MRZES SHOWN ON THE DRAWNINGS. THABER SHULL BE SOUTHERN VELLOW PRIE TREATED WITH COM OR ACD TO LO LA JUCE IN ACCORDANCE WITH NAMEN C-18. ACEA IS STREATLY PROMABED.

ALL ROOF AND BULL SHEATHING SHALL BE ANA PETROBUNCE-ANTO. PROME 5,78" THOR CO-X ROOF SHEATHING AND 1/2" THOR BULL SHEATHING (U.N.O.) SE SHEATHING SHEATHING

DIPHON, PANEL FASTENING (U.K.O.) A.ROOFS: BU NALS AT & O.C. AT SUPPORTED PANEL EDGES AND 12"D.C. AT INTERMEDIATE SUPPORTS, SUPPORTS, AT & O.C. AT SUPPORTED PAREL EDGES AND 12" O.C. AT INTERMEDIATE BUNKLS: OH NALS AT & O.C. AT SUPPORTED PAREL EDGES AND 12" O.C. AT INTERMEDIATE

FLOOR SHEATHING SHALL BE 3/4", APA INJED TOMOLE AND GROOME PANELS. GLUE AND HAL TO FLOOR FRAMMIN WITH BU RING SHAWK HALS AT 6" G.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT SUPPORTS.

B. ALL BUILT-UP BEAKS AND COLLIMINS SHALL BE MALED AS FOLLOWS (FASTENING IN EACH PLY):

FASTENING MOT SPECIFIED SHALL CONFORM WITH USC (2003) TABLE 2304.9.1, NME FASTENERS SHALL MEET THE REQUIREMENTS OF ASTM F1087. UNLESS MOTED OTHERWISE, NMLS REFERENCED ON DOMUNISE ARE TO BE COMMENT MULL WITH DUBRISONS AS FOLLOWS.

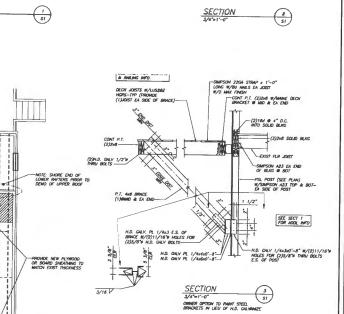
We define the order of the constraint were set in the descent of the definition of the transformation of the transformation of the transformation of the transformation of the definition of th

10. ALL DEET COMECTION HARDWAYE (ADST HANGER, POST BASES, SHARRALL HOLDOWRS, ETC.) SHALL BEET COMECTION HARDWAYE (ADST HANGER, POST BASES, SHARRALL HOLDOWRS, ETC.) COMECTION HARDWAYE SHALL BE HORDOWN AND BHARDATHED BY SUBJECT STATUS HARDWAYE USED IN CONTACT WITH INFORMATINE THALTER AND UNABLED DIES (DWAY HARDWAYE USED IN CONTACT WITH INFORMATINE THALTER AND UNABLED DIES (DWAY LIEF MART FOR FORMEN HARDWAYE AND RESTAUTION GARDLASS.

11. FASTENERS USED IN CONTACT WITH PT LUMBER SHALL BE HOT DUPPED GALWANZED (ASTW A15J), STARLESS STEEL, OR OTHER FINISH AS APPROVED BY THE ENGINEER.

IMPORMAY LOADED BEAMS: BEAM DEPTH <18" - 3 ROWS OF 18d MALS AT 12" O.C., STADDERED BEAM DEPTH >=18" - 3 ROWS OF 18d MALS AT 12" O.C. STADDERED MOTE: SOC LOADED BEAMS REDUKE ADDITIONAL FASTENING, SEE DEMALS 2-100 NALS AT 8" O.C.





ROOF SHITE (SEE PLAN)

RAFTER (SEE PLAN)-

CONT (2)2+4 TOP P

1/2" EXT WALL SHITS

EXIST ROOF SHITC-

NEW DORMER TRAMER

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SECTIONS

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PLANS

NOTES,

RESIDENCE REET, PORTLAND,

SHEDD DWORTH STH

ALI

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ARE AS NOTED

MK 5/1/2012

S1

ARM 2620

(2)164 TOE-MALS EACH SIDE OF RAFTER

. BOGE BOARD (SEE PLAN)

SIMPSON H2.54

A THE P

INDICATES : DIRECTION 1xDECKING OTHERS) SPA OF (B) 3 C. EXTST 2x8 @ 20" O.C. ± TO REMAIN 1 PS

NOTE: EXISTING GABLE END INNEON MOT SHOWN

SIMPSON HZ.5A

-SIMPSON H2.5A

NEW 2nd @ 10" O.C. MALL

SIMPSON H2.5A HURRICAME THE

NEW FLR SHITG (SEE PLAN)

HEADER W/CONT

EXIST FLR JOIST

-SOLID RENG

-EXIST SHITE & RAFTERS

NOTCH EXIST RAFTER

NEW RIDGE BEAM (SEE PLAN)

-SIMPSON AC4 POST CAP -PSL POST (SEE PLAN) (PROVIDE PC84-18 POST CAP
(3)2#4 POSTS)

NOUT SHTG (SEE PLAN RAFTER (SEE PLAN) SOLID BLAG EA BAY-ROOF SHITE (SET PLAN)

1/2" DIT BALL

EXIST RAFTERS & SHTG TO BE CUT BACK & ATTACHEO TO NEW WALL (SHORE AS

CONT 2x8 LEDGER W/(3)184

- Aller NOTE: EXISTING GABLE END WINDOWS MARSON.

(3/4" +

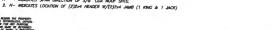
SECOND FLOOR FRAMING PLAN

NIKIN KIKIK

1. -- MORATES SPAN DIRECTION OF FLOOR SHEATHING TO MATCH EXISTING IN THICKNESS

2. H- INDICATES LOCATION OF (2) 2x8 HEADER W/(2) 2x4 JAMB (1 KING & 1 JACK)

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EXIST HEADER

EXIST 2x8 RAFTERS

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EXIST 2×8 RAFTERS TO REMAIN



Receipts Details:

Tender Information: Check , BusinessName: Visa, Check Number: 761 **Tender Amount:** 370.00

Receipt Header:

Cashier Id: gguertin Receipt Date: 5/15/2012 Receipt Number: 43934

Receipt Details:

Referance ID:	6511	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	370.00	Charge Amount:	370.00
	2-05-3998-ALTR - adding full dormer on th	e rear of house	
Additional Comm	ents: Tom Williams		

Thank You for your Payment!



- THE FOLLOWING NOTES ARE INTENDED TO BE USED AS OUTLINED SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.
- STRUCTURAL DRAWNOS SHUL BE USED IN CONJUNCTION WITH ARCHTECTURAL DRAWNOS. CONSULT THESE DRAWNOS FOR LOCATIONS AND DAILINSIONS OF OPENINOS, CHASES, INSERTS, REGLETS, GERVES, DEPRESSIONS, AND OTHER DETALS NOT SHOWN ON STRUCTURAL DRAWNOS.
- ALL DMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISOREPANCES SHALL BE BROUGHT TO THE ATBUTTON OF THE STRUCTURAL ENGINEER BEFORE FROCEEDING WITH THE ATTRECTED PART OF THE WORK.
- THE STRUCTURE IS DESCRED TO BE SELF SUPPORTING AND SUBLE ONLY AFTER THE STRUCTURAL MORY CONTINUED IN THE STRUCTURAL DRIVINGS IS COUPLED. IT IS THE CONTINUES SOLE RESONSEINT'T TO EFEBANCE DECEMON PROCEDURES AND SECURINCE TO DISJURE THE SUPERT OF THE BUILDING AND ITS CONFIGNETS DURING BUILDING BUILDS THE ADDITION OF THE PROCEDURE SUBJOINTS OF THE CONTINUES DURING BUILDS THE ADDITION OF THE PROVENT.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SMILLAR CONDITIONS AS DETERMINED BY THE STRUCTURAL ENGINEER.
- ALL APPLICABLE FEDERAL, STATE, AND MURICIPAL REGULATIONS SHALL BE FOLLOWED, MICLIONIG THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SWETT AND HEALTH ACT [OSTH].

DESIGN LOADS

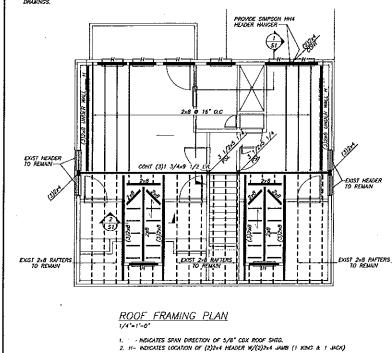
- BUILDING CODE: MAINE UNIFORM BUILDING AND ENERGY CODE. INTERNATIONAL RESIDENTIAL CODE, 2009 EDITION ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- 2. DESIGN FLOOR LIVE LOADS: SLEEPING ROOMS ALL OTHER AREAS
- 30 PSF 40 PSF 60 PSF
- 3. DESCH ROOF SHOW LOAD: CROWND SHOW LOAD (Pg): SHOW DPOSURE FACTOR (Cg): SHOW LOAD MEMORTUNEE FACTOR (Sj): SHOW LOAD THEBWILL FACTOR (Cj): FLAT ROOF SHOW LOAD (Pf): is PSF + DRFI
- DESCH WHO LOUD BASE WHO SPEED HIND LUG INFORTANCE FACIOR (IN): 10 WF WHO EXPOSINE NITERAL PRESSURE COEFFICIENT: 10.18 COMPONINTS & COMONGE LONGS PER ASCE 7-05 100 MPH
- STRUCTURAL STEEL NOTES
- STRUCTURAL STEEL FUBRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO ANSO "SPECIFICATION FOR THE DESIGN FUBRICATIONS, AND ERECTION OF STRUCTURAL STEEL" ISTIF EDTION, AND THE "CODE OF STANDARD PRACTICE", LITEST EDTION.
- STRUCTURAL STEEL STEEL PLATES, SHOPES, AND BARS, SHALL CONFORM TO ASTM A35 UNLESS MOTED OTHER HISE (U.N.C.). STRUCTURAL STELL STAVES DESSAMILED ON THE DRAMMOS FOR HUBE-FLANCE SECTIONS: ASTM A992 (ASTM A572 ORDE 50 HTTH SPECIAL REQURRENTS FER ASS. TECHNICAL BULLETIN \$3 ONTO WARCH, 1597)
- WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO ANS 01,1-LATEST EDITION, ELECTROZES SHALL CONFORM TO ANS ASJ. ETDIX SERES WITH PROPER ROD TO PRODUCE OFTENAN WELD (ON HYDROCED)
- ALL STEEL SHULL BE FADDCATED AND SHOPED AS BASE (HI-PAINTED STEEL, DICEPT STEEL PERMINENTLY DEPOSED TO WEATHER, ALL STEEL EXPOSED TO WEATHER SHULL BE HOT-DAPPED GULWARTAD.
- PROMOE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL DRAWNES.

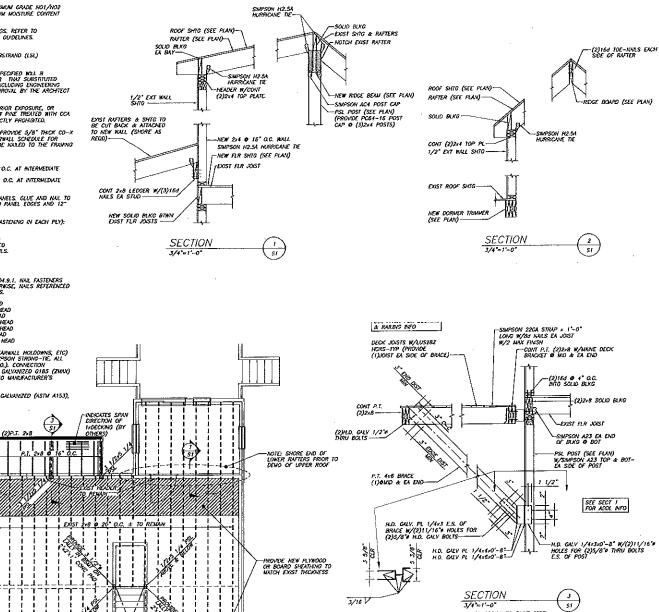
- INDER NOTES
- ALL TABLER FRAMMO SHALL BE IN ACCORDANCE WITH THE ATC TAMBER CONSTRUCTION WANNAL LATEST EXITEM, AND THE AF & PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (MOD) ZOI EXITEM.
- ногноци, тивер гранно меняерся skul, ве visually gruded, играний grude kol/hoz spruce-prue-pr (not s.p.f. south (s)) kun dred to 19% махамим молтике content unless otherwise kolocited on the drankos.
- DRONGERED WOOD PRODUCTS SHULL BE AS SPECIFIED ON THE DRAWNOG, REFER T MANIFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUDGUNES. MANIFACTURER AND PRODUCT SHULL BE:
- <u>IRUS-JOIST</u> (FJ), PARALLAH (PSL), WCROLAH (LM.), TAMBERSTRAND (LSL) BOISE: I-JOIST (BCI), VERSALAH (LM.)
- SUBSTITUTIONS OF ENGINEERED WOOD WATERIUS OTHER THAN THOSE SPECIFICO WILL B FEMILITED ONLY WITH WEITEN CENTRICATION FROM THE WANAFACTURER THAT SUBSTITUTED FEMILY "WEITS" OR EXCEPT ALL PROPENSIES OF SPECIFIC PRODUCT, NOULDONG ENGINEERING AND DURINGLITY CHRARCEPISTICS. SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE ARCHITECT THO DURINGLITY CHRARCEPISTICS. SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE ARCHITECT AND DURABUT
- PRESSURE TREATED LUMBER SHULL BE USED FOR SILL MEARERS, EXTERIOR DIPOSIRE, OR MERE SHOWN ON THE DRAWNOS, TWOER SHULL BE SOUTHERN FELLOW FILE TREATED WITH COA OR AGO TO OA JYOE TH ACCORDANCE WITH MARA C-LA ACCALS STREATUR FROMATED.
- ALL ROOF AND WAL SHEATHING SHALL BE APA PERFORMANCE-RATED. PROVIDE 5/8" THCK CO-X ROOF SHEATHING AND 1/2" THCK WALL SHEATHING (UNID) SEE SHEARHALL SCHEARLE FOR NALMG REGURDEMENTS EXCLUSIVE TO SHEATHALLS. SHEATHING SHALL BE NAILED TO THE FRAVING AS FOLLOWS, UNID:
- TPRCM PART TASTEDARIC (U.M.O.) AROOTS: BI MAIS AT 6" O.C. AT SUPPORTED PAREL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS: BI MAIS AT 6" O.C. AT SUPPORTED PAREL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS: BI MAIS AT 6" O.C. AT SUPPORTED PAREL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS:
- FLOOR SHEATHING SHALL BE 3/4", APA RATED TONCUE AND GROOVE PANELS. GLUE AND NAL TO FLOOR FRAMMO WITH BE RENG SHAWK NALS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.G. AF BITKENEDATE SUPPORTS.
- 8. ALL BURLT-UP BEAMS AND COLUMNS SHALL BE NAMED AS FOLLOWS (FASTERING IN EACH PLY):
- UNEORMY LONDED BEAMS: BEAM DEPTH <18" 2 ROAS OF 160 NALS AT 12" O.C. STAGGERED BEAM DEPTH >=16" 3 ROAS OF 160 NALS AT 12" O.C. STAGGERED NOTE: SOE LONDED BEAMS RECORE ADDITIONAL FASTENING, SEE DETALS. <u>COLUMNS:</u> 2-10d NALS AT 6" O.C.

- FASTERING NOT SPECIFIED SHULL CONFORM WITH 48C (2003) TABLE 2304.9.1. NAL FASTERERS SHUL MEET THE REQUIREMENTS OF ASTM FIBER. UNLESS NOTED OTHERMISE, NAUS REFERENCED ON DRAWNING ARE TO BE COMMON NAUS WITH DURINGING AS FOLLOMS.
 - The second seco
- 10. ALL TUBBER CONNECTION HAPDWARE (JOST HANCERS, POST BASES, SHEARWALL HOLDOWNS, ETC) SHALL BE AS ROUCATED ON THE DRABNES AND WANERACTURED BY SAPSON STRANG-TE, ALL CONNECTION HAPDWARE SHALL BE HOT-DOPED GUIVARED G-30 (UN.O.). CONNECTION HAPDWARE USED IN CONTACT WITH PRESERVATIRE THEATHEAT SHALL BE GUIVARED G185 (2014X) USE ASTEDRES MO HAVERES OF SUM ENTERIAL & COMING REFER TO WANERACTURER'S LITERATURE FOR PROPER HAPPLING AND INSTALLATION GUIDELINES.
- 11. FASTENERS USED IN CONTACT WITH PT LUMBER SHALL BE HOT DIPPED GALVANIZED (ASTM A153), STANLESS STEEL, OR OTHER FINISH AS APPROVED BY THE ENGINEER.

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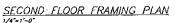
NOTE: EXISTING CABLE END WINDOWS NOT SHOWN





NOTE: EXISTING GABLE END MINDOWS NOT SHOWN

OWNER OPTION TO PAINT STEEL BRACKETS IN LIEU OF H.D. GALVANIZE



(MANARA) MANARANA

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1. WE INDICATES SPAN DIRECTION OF FLOOR SHEATHING TO MATCH EXISTING IN THICKNESS

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(3/4" MEN). 2. H- INDICATES LOCATION OF (2)2x8 HEADER W/(2)2x4 JAUB (1 KING & 1 JACK)

