

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 030007

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Harris Rudolph L. &/Maine
has permission to Adding 24' x 22' attached garage with 6' curb, driveway and hipped roofing.
AT 30 Aldworth St 309 H005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise used-in.
HOURLY NOTICES ARE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS:
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

PERMIT ISSUED
JAN 30 2003
CITY OF PORTLAND

[Signature]
Director - Building & Inspection Services

LIABILITY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0007	Issue Date: JAN 30 2003	CBL: 309 H005001
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Location of Construction: 30 Aldworth St	Owner Name: Harris Rudolph L &	Owner Address: 30 Aldworth St	Phone: 7878-
Business Name: n/a	Contractor Name: Maine Wide	Contractor Address: PO Box 2106 Augusta	Phone: 8004521940
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family / Adding 24' x 22' attached garage with 6' x 6' breezeway and house roofing.	Permit Fee: \$163.00	Cost of Work: \$19,728.00	CEO District: 1
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FIRE DEPT: <i>N/A</i>	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>U</i> Type: <i>SB</i> <i>BOLA 79</i>
Signature:		Signature:

Proposed Project Description:
Adding 24' x 22' attached garage with 6' x 6' breezeway and house roofing.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By:
gg

Date Applied For:
01/03/2003

Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>1/30/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>1/30/03</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0007	Date Applied For: 01/03/2003	CBL: 309 H005001
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Location of Construction: 30 Aldworth St	Owner Name: Harris Rudolph L &	Owner Address: 30 Aldworth St	Phone: 207-878-
Business Name: n/a	Contractor Name: Maine Wide	Contractor Address: PO Box 2106 Augusta	Phone: (800) 452-1940
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Adding 24' x 22' attached garage with 6' x 6' breezeway and house roofing.	Proposed Project Description: Adding 24' x 22' attached garage with 6' x 6' breezeway and house roofing.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 01/30/2003

Note: 01/30/03 - rec'd additional info - ok to issue/tm

Ok to Issue:

1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 01/30/2003

Note:

Ok to Issue:

Comments:

1/17/03-tm: Proposed structure exceeds maximum allowable lot coverage. Also, headers undersized over garage doors, tread and rise not indicated on stairs, no guards shown on stairs., roof sheathing not shown. Called Tina Marie @ Maine Wide.

1/24/03-tm: spoke w/Tim Cormier @ Maine Wide - will get info submitted.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

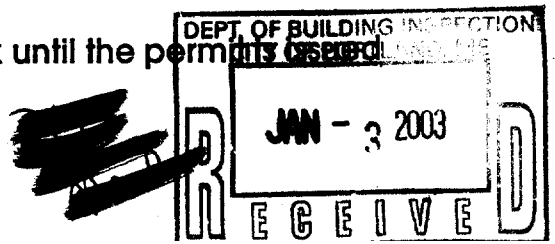
Location/Address of Construction: <u>30 Adworth Street</u>		
Total Square Footage of Proposed Structure <u>564</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>309 H</u> Block# Lot# <u>5</u>	Owner: <u>Rudy Harris</u>	Telephone: <u>878-8815</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>19,728</u> Fee: \$ <u>163⁰⁰</u>
Current use: <u>House</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Garage + Breezeway</u>		
Project description: <u>24x22 Attached Garage with 6x6 Breezeway + House Roofing</u>		
Contractor's name, address & telephone: <u>Maine-wide Construction 1-800-452-1940</u>		
Who should we contact when the permit is ready: <u>TINA OR TIM</u>		
Mailing address: <u>POB 2106, Augusta ME 04338-2106</u>		
		Phone: <u>1-800-452-1940</u>

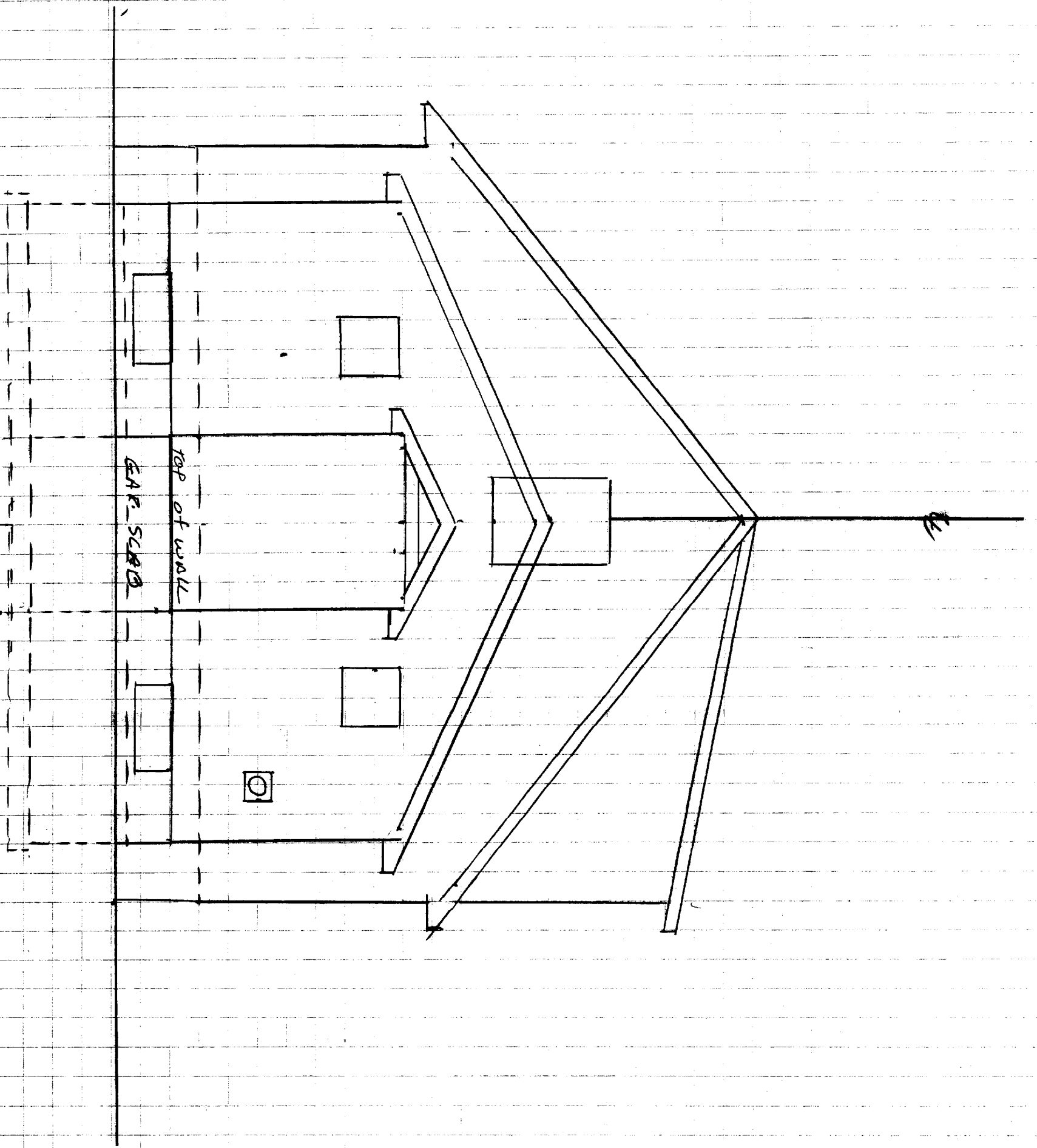
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

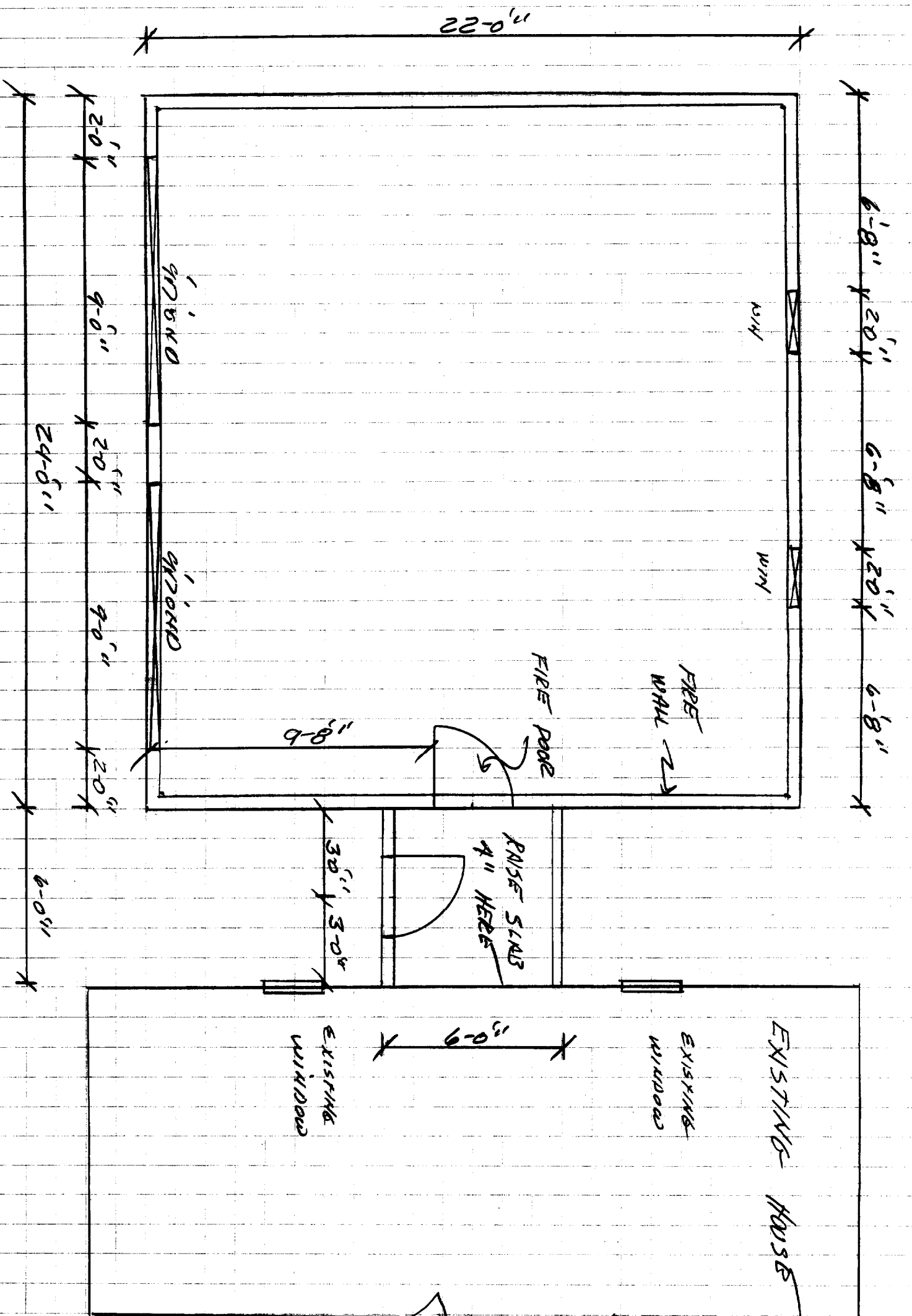
Signature of applicant: <u>R. Harris/Maine-wide</u>	Date: <u>1-2-03</u>
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This is not a permit, you may not commence ANY work until the permit is issued.




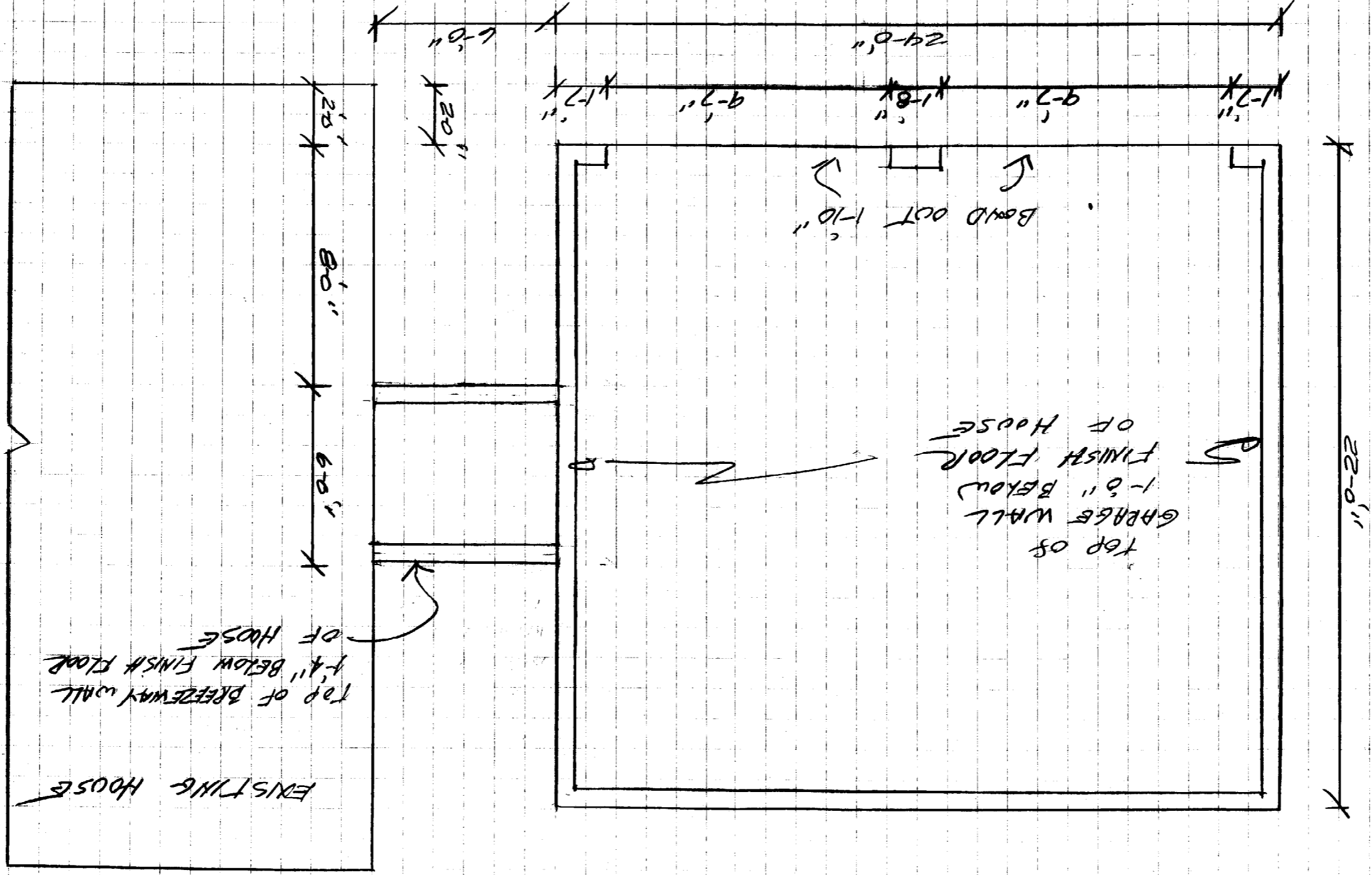


		ALLEN-WALKER CONSULTING INC.	
Scale	1/8" = 1'-0"	Approved by	Mark J. T.C.
Date	12-3-08	Drawn by	ELBY
Division	MARLBOROUGH	Location	WIS
Project	EDITHWAD	Sheet	1



WALK-WIRE CONSULTING INC.	
Scale: 1/4" = 1'-0"	Approved By: _____
Date: 12-31-02	Drawn By: HPEBIS
Location: BERKELEY	Sheet: WBS
	Drawing #: 2

	
Approved By <i>[Signature]</i>	Date 1/7/03
Drawn For HARRIS	Date 12-31-02
Location PORTLAND ME	Drawing # 3

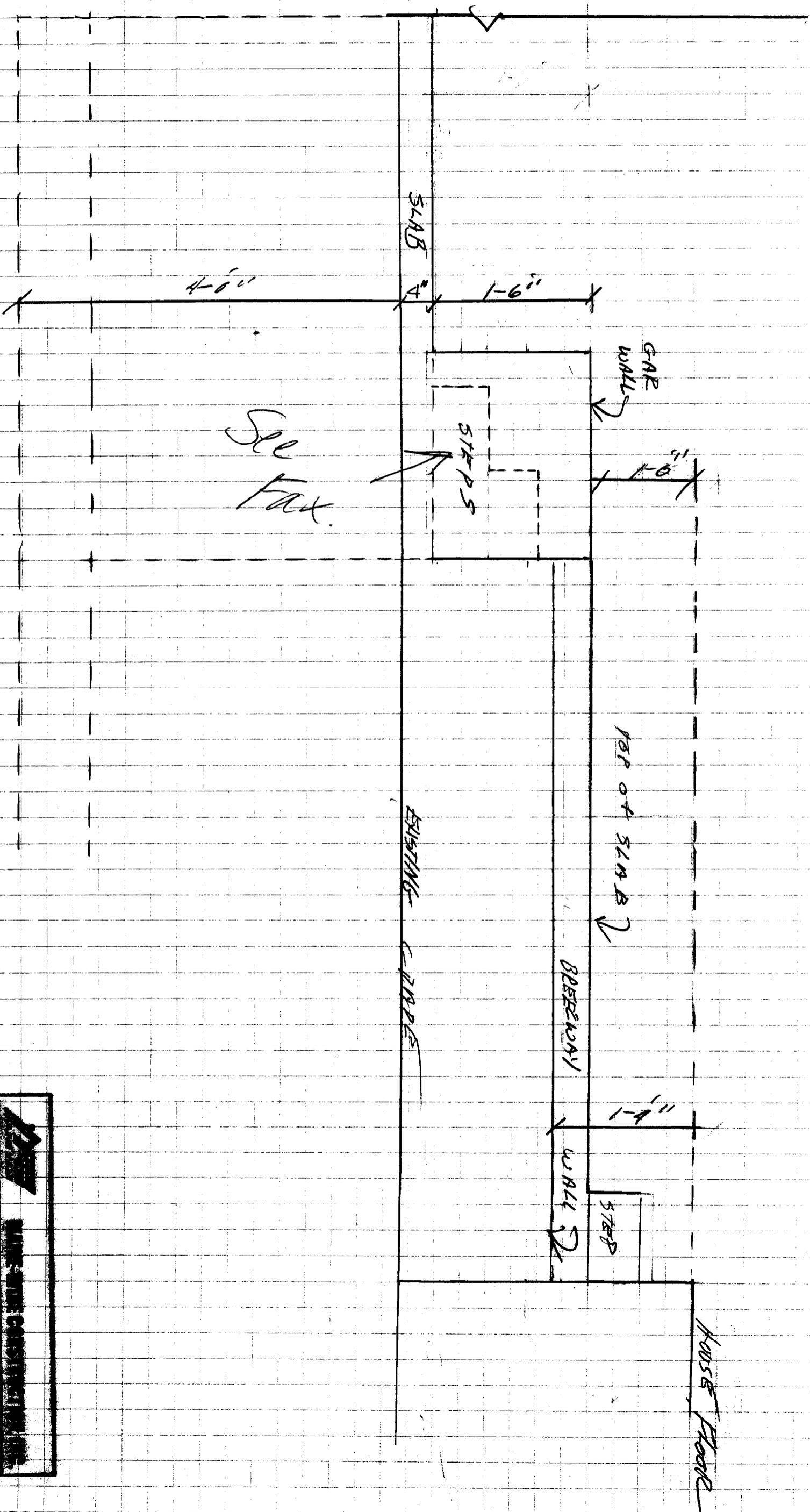


- SPECIAL INSTRUCTIONS:**
1. Top of garage wall 1'-0" below finish floor of house (bottom of door stool)
 2. There is no door on this side of house. Locate door stool on front of house and transfer floor elevation to side of house
 3. Top of breezeway wall to be 1'-4" below finish floor of house
 4. Set anchor bolts in garage at corners, openings & 6'-0" OC
 5. DO NOT set anchor bolts in top of breezeway wall
 6. Slab in breezeway will be poured over top of breezeway wall
 7. Bondout for OHD 1'-10"
 8. Leave nuts & washers on bolts
 9. Drill & pin foundation to house wall
 10. Pour 4" slab in garage & breezeway
 11. Any questions call Tim or Judy 1-800-452-1940

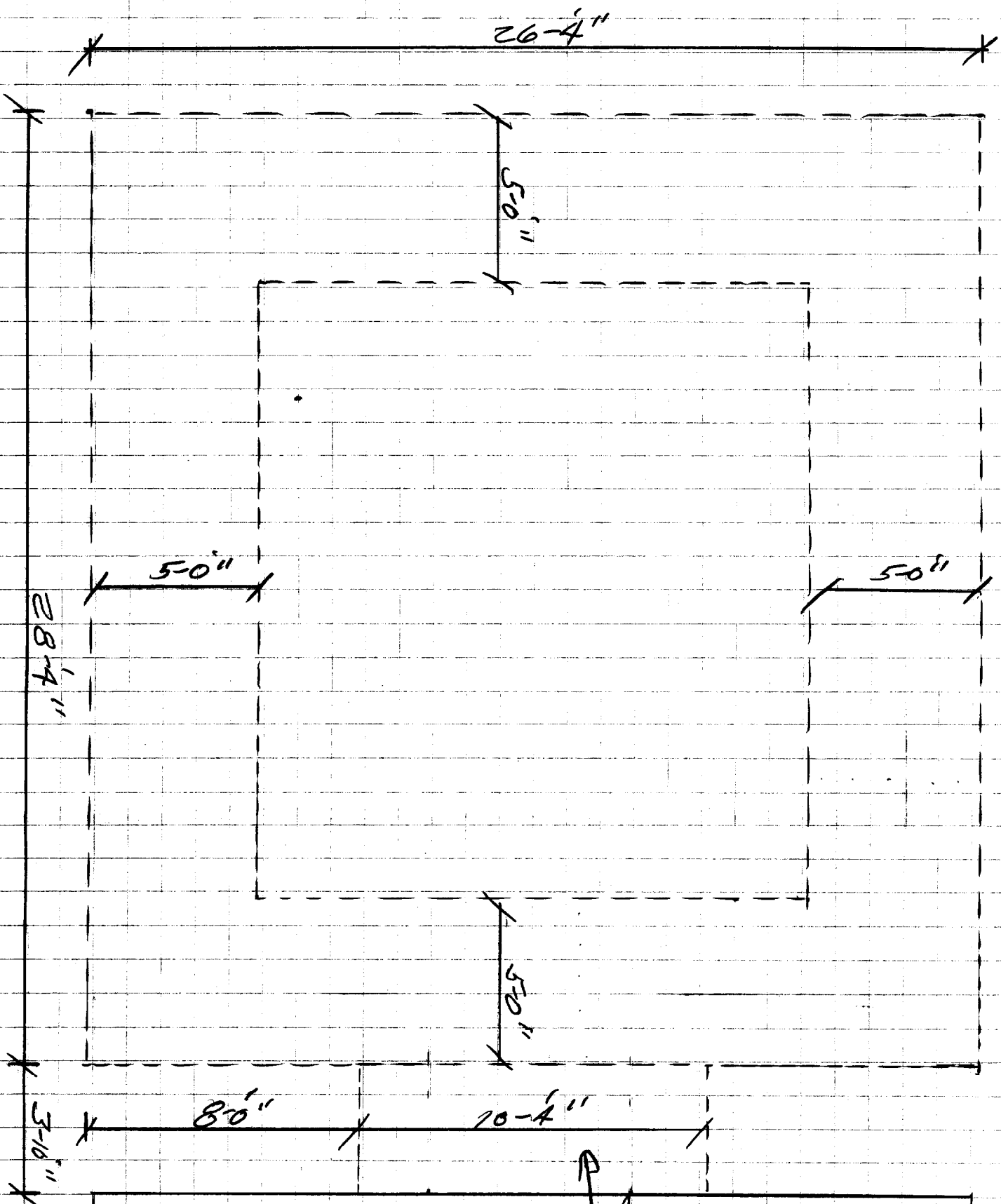
Customer Information:

Job Number: 2003253
 Rudy Harris
 30 Aldworth Street
 Portland, ME 04103
 (207) 878-8815

January 2, 2003



WALK-THRU CONSTRUCTION	
Job No. 1170	Approved by SAAB
Date 12-21-02	SAAB
Drawn by HREBIS	Checked by J.C.
Location PORTLAND, ME.	Sheet No. 4



EXISTING
HOUSE
DIG THIS AREA
OUT COMPLETELY

January 2, 2003

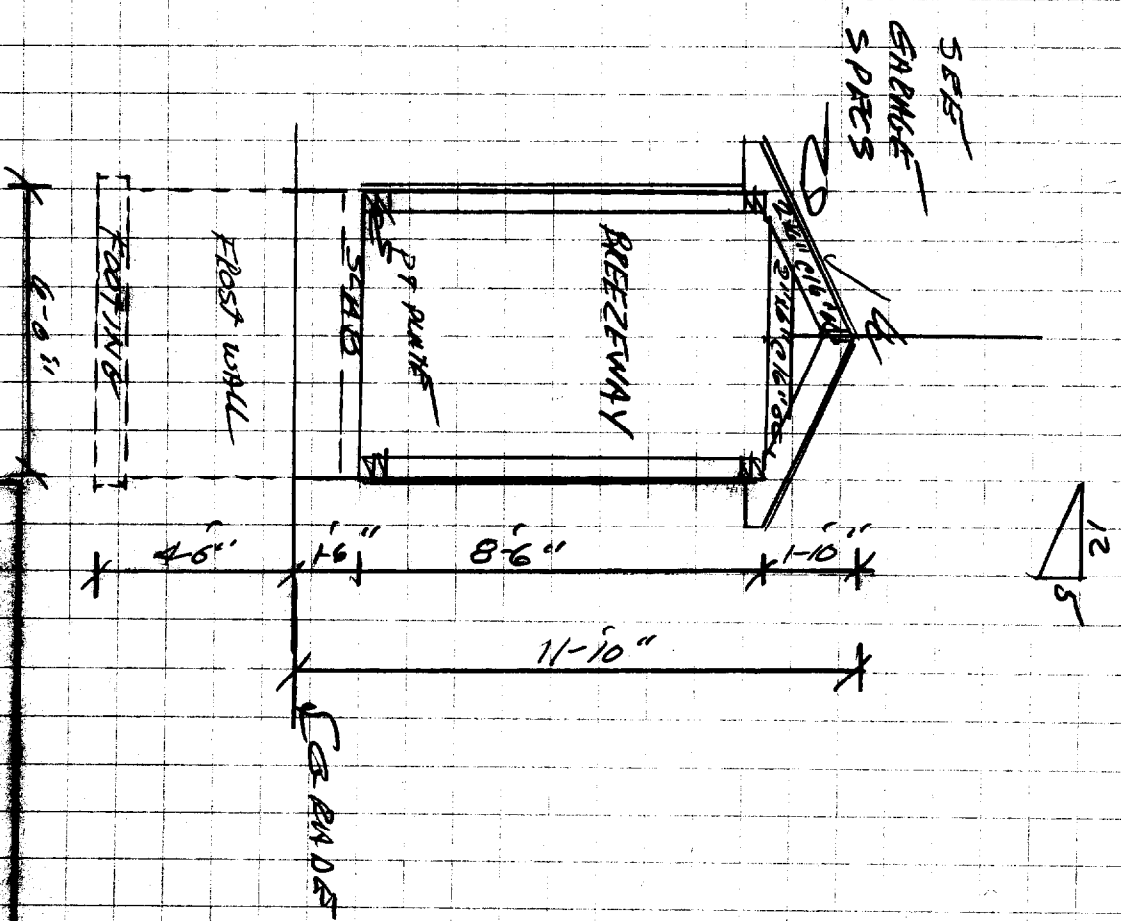
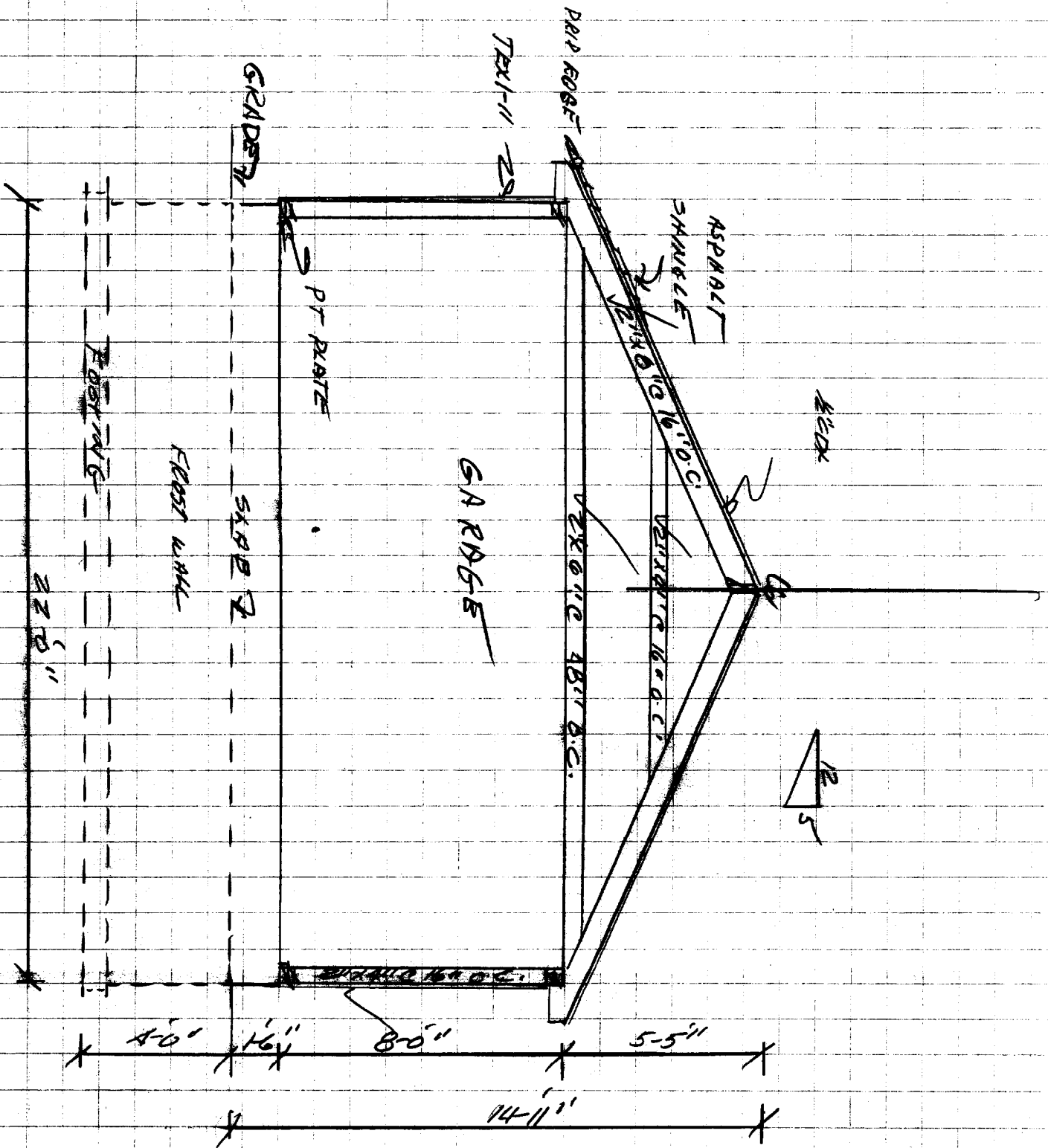
Customer Information:

Job Number: 2003253
 Rudy Harris
 30 Aldworth Street
 Portland, ME 04103
 (207) 878-8815

SPECIAL INSTRUCTIONS:

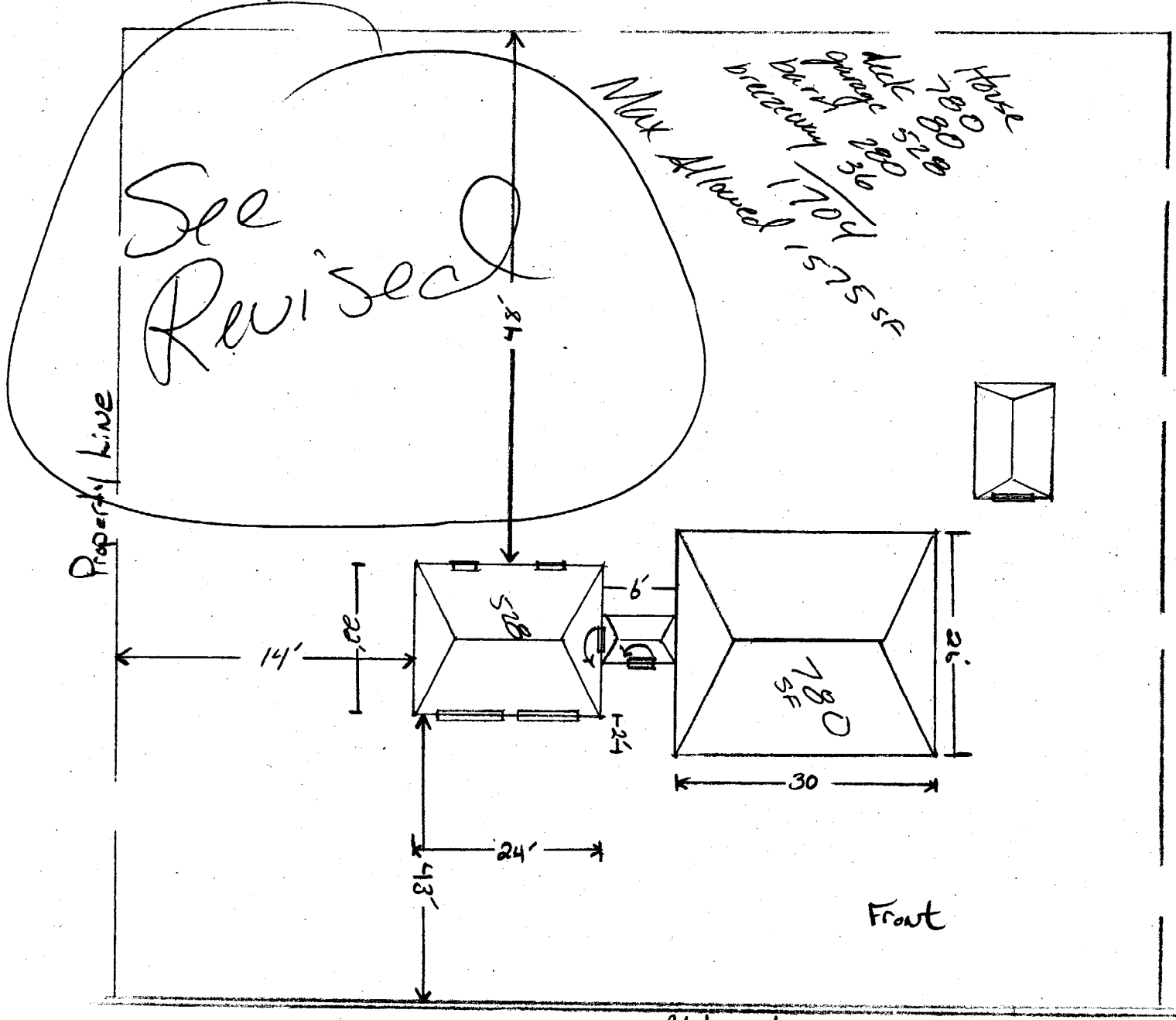
1. Bottom of hole to be 6'-6" below finish floor of house (bottom of door stool)
2. There is no door on this side of house - it will be necessary to locate door stool at front of house and transfer elevation to side of house
3. Backfill with 1" minus or sand
4. Backfill garage even with top of bondouts for OHD
5. Excavate center of garage hole 2-10" below top of garage wall to allow for 12" backfill under garage slab
6. Backfill inside of breezeway even with top of breezeway wall
7. Backfill MUST BE compacted in 8" lifts
8. DO NOT pile excavated material in middle of hole
9. Any questions call Tim or Judy 1-800-452-1940

T&S CONSTRUCTION, INC.			
Job No.	4119501	Approved By	Drawn By
Date	12-31-02	Scale	RAW
Drawn By	HARRIS	Checked	IC
Location	ROBERTA RD	WMS	Drawing 15



Scale	1/4" = 1'-0"
Date	12-24-02
Drawn By	W. HARRIS
Checked By	ROBERTSON, M.F.S.
Project	FOOTING

Plot Plan
 Rudy Harris
 Portland, ME



House 780 SF
 Garage 520 SF
 Deck 280 SF
 Barn 330 SF
 Driveway 170 SF
 Max Allowed 1575 SF

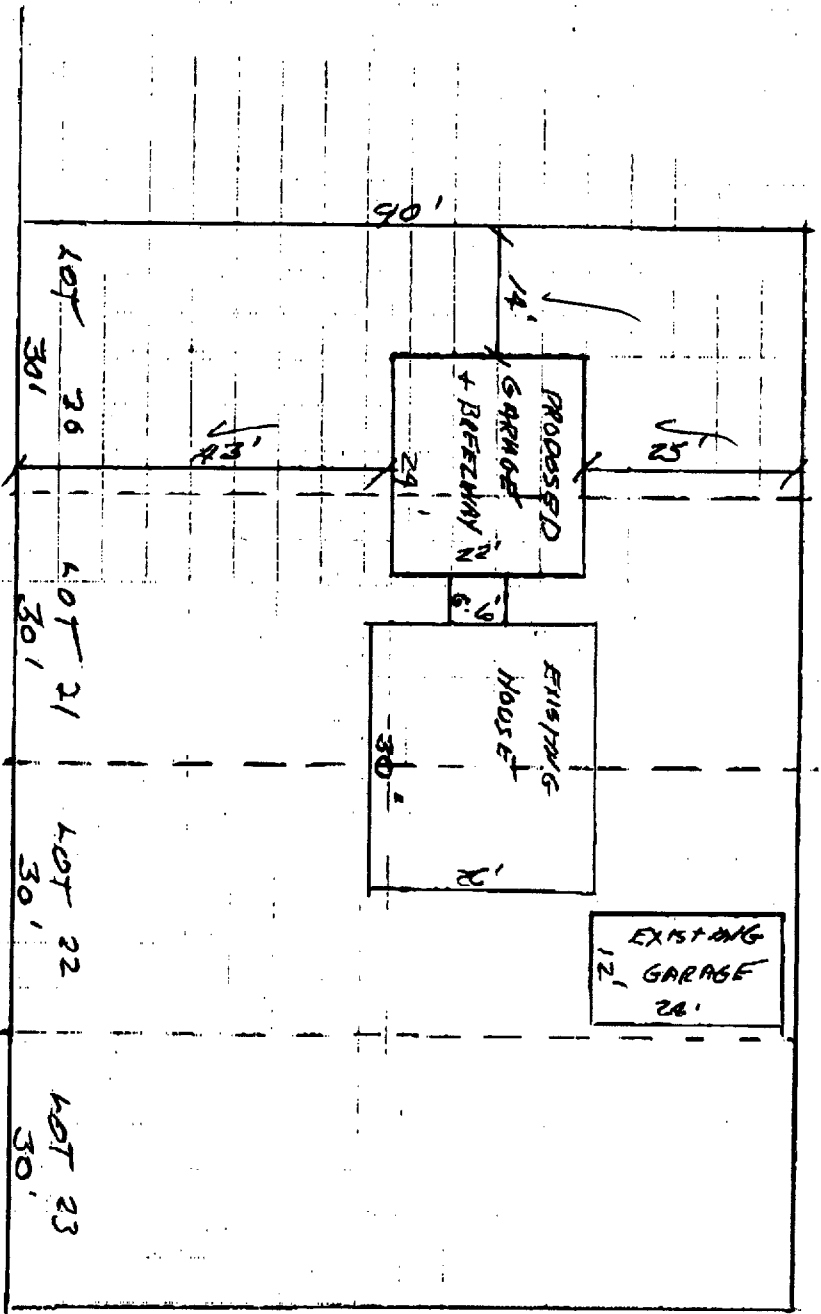
See Revised

Property Line

Front

30 Aldworth St.

6300 SF
 15' x 15'
 R-25
 15' x 15'
 8' x 15'
 14' x 15'
 5' x 15'
 25' x 25'

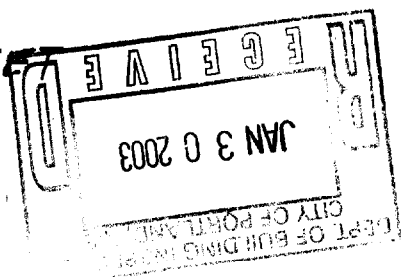


Proposed Garage = 528 sf
 Proposed Brezeway = 36
 Existing House = 780
 Existing Garage = 288
 1,632

Lot Size = 10,800 sf
 Proposed Lot Coverage = 1,632
 Total Lot Coverage = 15%

ALDORTH STREET

EPPING STREET



R-3 from 8' 1' Sides - 25' Rear

*Lot cov: Allow for house
 25% for 2000 OK*

WIDE-WIDE CONSTRUCTION, INC.	
Scale 1/4" = 30'	Approved By
Date 1-29-03	Drawn By TC
Drawn By R. HARRIS	Field
Location 30 ALDORTH ST. PORTLAND	Drawing # 1

Job Ticket ID Number: 948

January 29, 2003

Special Instructions: Building

Customer Information:

Job Number: 2003253
Rudy Harris
30 Aldworth Street
Portland, ME 04103
(207) 878-8815

SPECIAL INSTRUCTIONS:

24x22 RP ATTACHED GARAGE WITH 6x6 BREEZEWAY

- 1. TMG sent site plan to Steve Paterson
- 2. Customer needs site price ASAP
- 3. Headers on SD & windows 2"x6" (per Cross Section) - 3'-0" span
- 3. Headers on OHDs 2"x10" (per Cross Section) - 9'-0" span ←
- 4. Roof sheathing 1/2" CDX (per Cross Section)
- 5. Rafters 2"x8" (per Cross Section)
- 6. Fire wall
- 7. (2) 9x7 OHDs S-NI-NG with colonial braces
- 8. Tex 1-11
- 9. (2) std windows
- 10. Harvard Slate shingles
- 11. (1) 2/8x6/8 fire door
- 12. Build steps with pier boards & treads

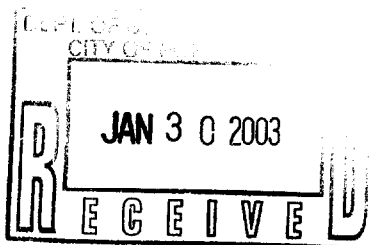
will be LVL'S

ROOFING:

- 1. Shingle over existing shingles 1-layer
- 2. No drip edge

UPON COMPLETION BEFORE LEAVING SITE:

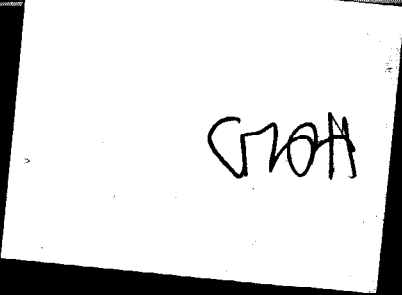
- Collect \$19,728
- Have customer sign MW completion certificate



Permit Nbr	03-0007	Location of Construction	30	Aldworth St	Appl. Date	01/03/2003
Status	Hold	Permit Type	Additions - Dwellings		Issue Date	
GBL	309 H005001	Territory Nbr	1	Estimated Cost	\$19,728.00	Date Closed
Prmt		Tax193	34146	Constr Type	New	Num1
						30007

Comment Date	Comment
01/17/2003	Proposed structure exceeds maximum allowable lot coverage. Also, headers undersized over garage doors, head and rise not indicated on stairs, no guards shown on stairs, roof sheathing not shown. Called Tina More @ Maine Wide.
	Follow Up Date
	Completed <input type="checkbox"/>
01/24/2003	spoke w/Tina Cormier @ Maine Wide - will get info submitted.
	Follow Up Date
	Completed <input type="checkbox"/>
	Name tm
	Name tm
	Follow Up Date
	Completed <input type="checkbox"/>

Created By	99	Create Date	01/06/2003	Modify	tm	Mod Date	01/17/2003
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Created By	gg	Create Date	01/06/2003	Modified By	im	Modify Date	01/17/2003	
								
Permit Nbr	03-0007	Location of Construction	30	Aldworth St	App'l Date	01/03/2003		
Status	Hold	Permit Type	Additions - Dwellings		Issue Date			
CBL	309 H005001	Territory Nbr	1	Estimated Cost	\$19,728.00	Date Closed		
Permit Nbr		Text193	34146	Const Type	New	Num1	30007	
Comment Date	01/17/2003	Comment	Proposed structure exceeds maximum allowable lot coverage. Also, headers undersized over garage doors, head and rise not indicated on stairs, no guards shown on stairs, roof sheathing not shown.					Completed
Name	im	Follow Up Date						

MAINE-WIDE CONSTRUCTION

1-800-452-1940

P.O. Box 2106, Augusta, ME 04338-2106

Fax: 207-622-7528

FAX COVER SHEET

Date:	01/29/03 @ 4:07 pm
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CONFIDENTIAL

To:	Tammy Monsen
Company:	City of Portland
From:	Tim Cormier
Re:	RUDY HARRIS; 30 ADWORTH STREET
No. of Pages	-- (which includes this cover sheet)

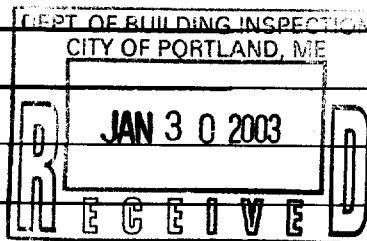
NOTES:

Please note -

- OHD headers = 2-LVL beams 3-1/2 x 9-1/2 x 9'-6"

- Steps to be no more than 7-3/4" rise & full 10" step

Will call tomorrow to confirm all is OK and permit can be issued.



Thank you. *Tim Cormier*

cc: File

MAINE-WIDE CONSTRUCTION

1-800-452-1940

P.O. Box 2106, Augusta, ME 04338-2106

Fax: 207-622-7528

FAX COVER SHEET

Date:	01/29/03 @ 3 pm
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CONFIDENTIAL

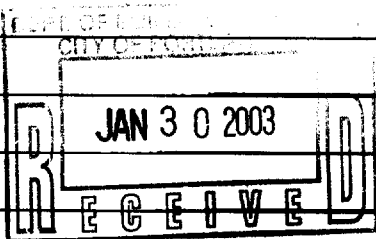
To:	Tammy Monsen
Company:	City of Portland
From:	Tim Cormier
Re:	RUDY HARRIS
No. of Pages	3 (which includes this cover sheet)

NOTES:

Attached please find the following:

- Revised Special Instructions
- Revised Plot Plan

If you have any questions or need further information please feel free to call me.



Thank you. *Tim Cormier*

cc: File

Job Ticket ID Number: 948

January 2, 2003

Special Instructions: Building**Customer Information:**

Job Number: 2003253
Rudy Harris
30 Aldworth Street
Portland, ME 04103
(207) 878-8815

SPECIAL INSTRUCTIONS:**24x22 RP ATTACHED GARAGE WITH 6x6 BREEZEWAY**

1. TMG sent site plan to Steve Paterson
2. Customer needs site price ASAP
3. 2x10 headers over OHDs 2x6 over windows & SD
4. Rafters 2"x8"
5. Fire wall
6. (2) 9x7 OHDs S-NI-NG with colonial braces
7. Tex 1-11
8. (2) std windows
9. Harvard Slate shingles
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← will be LVL'S

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