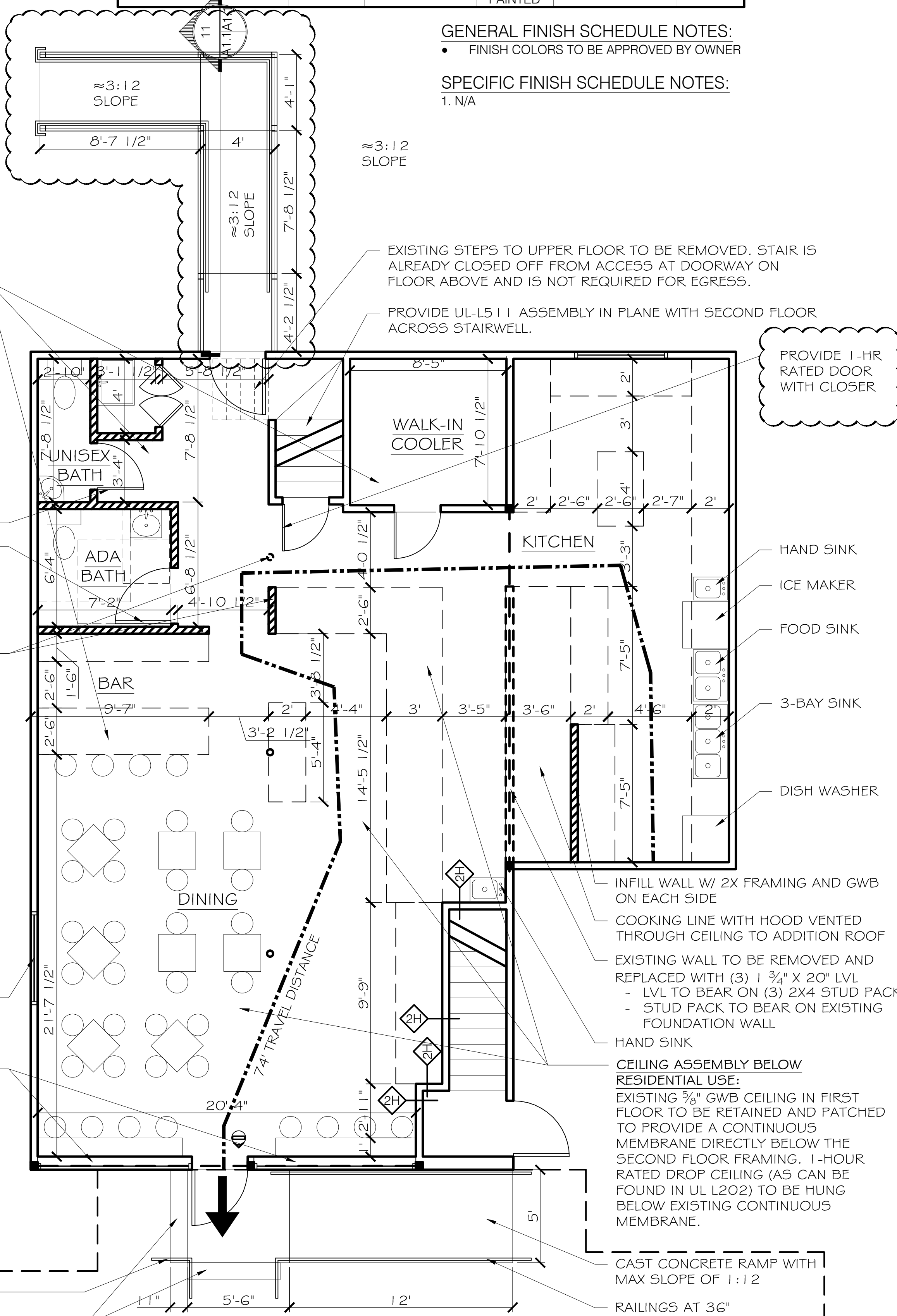


12 **BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"

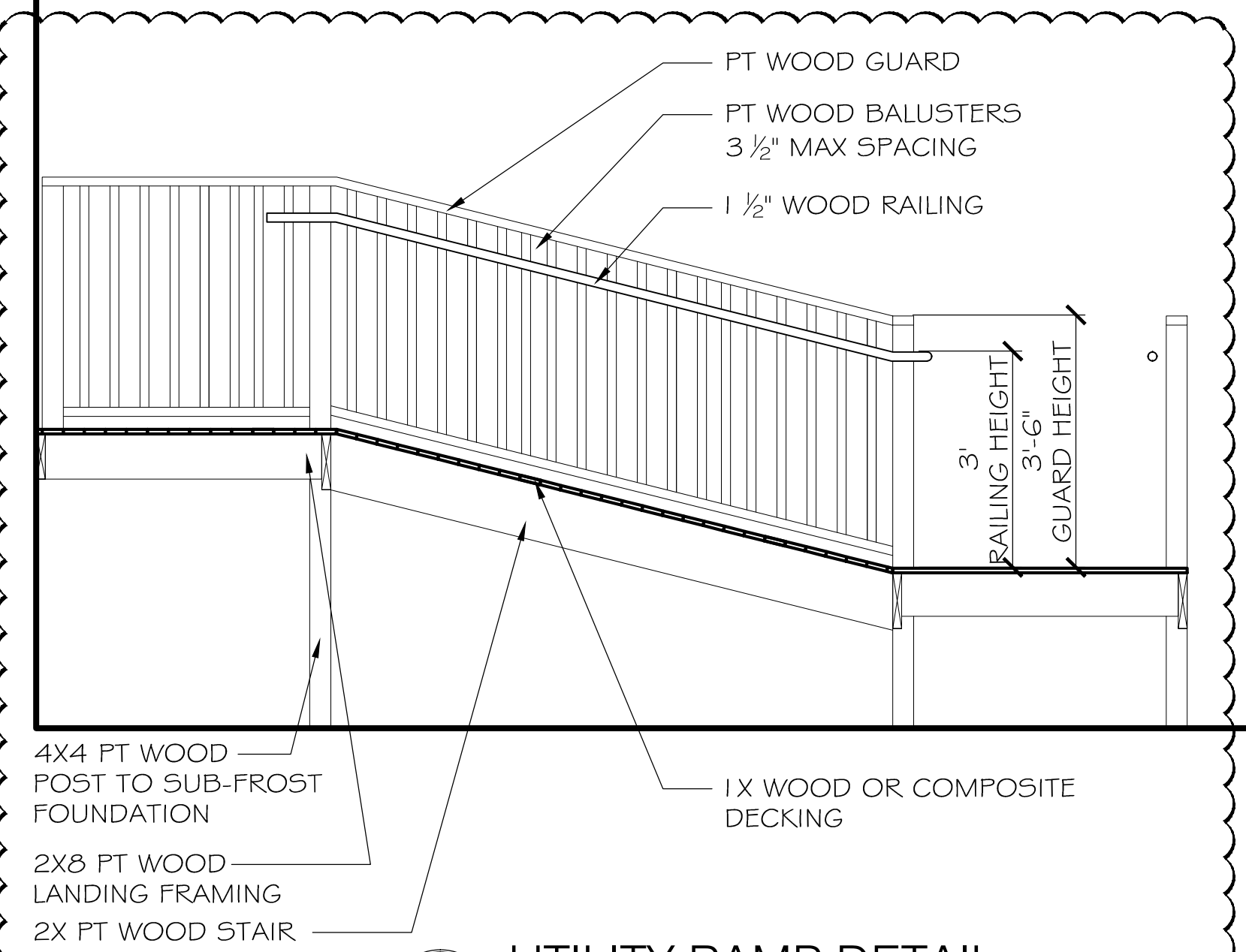
ROOM TYPE	FLOOR	WALL BASE	WAINSCOTTING	WALL	CEILING	NOTES
KITCHEN	CERAMIC TILE	CERAMIC TILE	EXISTING STAINLESS STEEL	FRP	VINYL FACED GWB TILE IN GRID	
COOLER	CERAMIC TILE	CERAMIC TILE	NONE	FRP	GWB PAINTED	
DINING	VCT	VINYL BASE	NONE	GWB PAINTED	NRC TILE IN GRID	
BATHROOMS	VCT	VINYL BASE	NONE	FRP	GWB PAINTED	
HALL	VCT	VINYL BASE	NONE	GWB PAINTED	GWB PAINTED	

**GENERAL FINISH SCHEDULE NOTES:**  
• FINISH COLORS TO BE APPROVED BY OWNER

**SPECIFIC FINISH SCHEDULE NOTES:**  
1. N/A



10 **PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"



11 **UTILITY RAMP DETAIL**  
SCALE: 1/2" = 1'-0"

**Code Summary:**

	Existing	Proposed
IBC Use	M (Mercantile) R-3 (Single unit)	B (Assemb. under 50) R-3 (Single unit)
NFPA 101 Use	Mercantile One-Family	Mercantile (Assemb. under 50) One-Family
Sprinkler	None	None
Fire separation of uses	1 hr	2 hr
First floor tenant area	1475sf	1475sf
Second floor tenant area	1142sf	1142sf

**Zoning:**  
Current zone: R-3

- IBC:**
- 303.1 Occupancy load under 50 Group B Occupancy
  - 304.1 Business Group B Occupancy (Restaurant under 50 people)
  - 310.1 Residential Group R-3 (single upstairs unit)
- 420.2 Walls separating dwelling units from other occupancies shall be fire partitions
- 420.3 Floors separating dwelling units from other occupancies shall be Horizontal Assemblies
- 503 B VB 2 Stories 9,000sf 40' tall  
R-3 VB 3 Stories UL 40' tall
- 508.3 Non-separated Occupancies allowed
- 508.4 Separated Occupancies 2 hour separation

- 601 Type VB No required ratings
- 602 Type VB x>10' No ratings required
- 709.3 Fire Partition Rating: 1 hour
- 709.4 Fire separation shall be continuous from decking to decking or fire blocked Supporting construction does not need to be rated for walls separating dwelling units
- 712.3 Horizontal Assembly rating: 1 hour

1004.1.1 Occupancy Load Table

Room	Area	Gross	Net	Occupants
Kitchen	495sf	200 gross	15 net	3 occs
Assembly (Tables&Bar)	501sf	200 gross	15 net	34 occs (36 seats)
Business (Bath&Circ)	179sf	200 gross	15 net	1 pcc
<b>TOTAL OCCUPANTS</b>				<b>40 occupants</b>

1014.3 Common Path of Egress Travel Limit: 75'

1015.1 Only (1) exit required for occupancy < 49

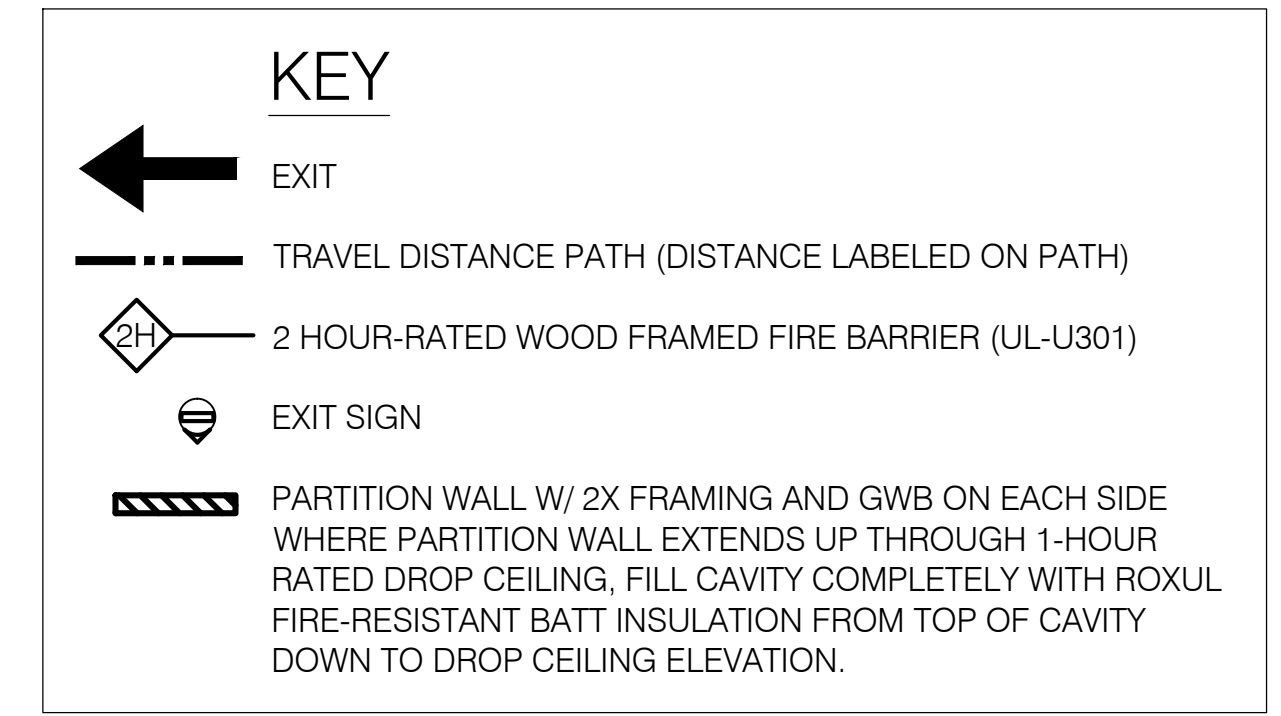
1016.1 200' max exit access travel distance

1021.1 Only (1) exit required for occupancy < 49

- NFPA 101:**
- 3.3.25.5 Building is NEW
  - 6.1.10 Mercantile Occupancy (ch. 36)
  - 6.1.8 Residential Occupancy - One & Two Family Dwelling Unit (ch. 24)
  - 6.1.14.4.1 Mercantile/Residential separation: 2 hrs
  - 6.2.2.3 Ordinary Hazard of contents
  - 7.3.1.2 Total Occupancy Load:  
Kitchens: 495sf 100 gross 5 occs  
Assembly (Tables&Bar) 501sf 15 net 34 occs  
Business (Bath&Circ) 179sf 200 gross 1 occ
- 36.1.4.2.1 Tenant space is Class C mercantile
- 36.1.6 No Min construction requirement
- 36.2.4.3 Single Means of Egress permitted under 75' travel distance
- 36.3.2.3 Cooking equipment shall be protected according to NFPA 96

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**EVAN A. CARROLL**  
No. 3687  
STATE OF MAINE  
4/15/15

PROJECT NO. 15010  
PROJECT NAME TACO TRIO FOREST AVENUE

**REVISIONS**

NO.	DATE	DESCRIPTION
1	4/21/15	
2	6/17/15	
3	6/29/15	
4		
5		

PERMIT DOCUMENTS

DRAWN BY EAC  
SHEET TITLE PROPOSED PLAN

ISSUE DATE 4/15/15  
SHEET SCALE 1/4" = 1'-0"