

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that PATRICIAA DIPAOLO

Located At 1706 FOREST

Job ID: 2011-05-1023-ALTCOMM

CBL: 309 - - G - 003 - 001 - - - -

has permission to 5' x 5' deck

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature]
Code Enforcement Officer / Plan Reviewer

6/13/11

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footing/setback inspection required prior to pouring concrete.
 2. Framing/final inspection required upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-05-1023-ALTCOMM

Located At: 1706 FOREST

CBL: 309 - - G - 003 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
4. Separate permits shall be required for future decks, sheds, pools, and/or garages.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Guards must be 42 inches in height with openings less than 4 inches.
3. Graspable rails must be installed on both sides of the stair guard at 34" to 38". Stair treads shall not be less than 11".
4. Stair risers shall not be more than 7".
5. If there are 4 or more risers, a handrail is required on one side with ends returned if the guardrail does not meet graspability dimensions

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-1023-ALTCOMM	Date Applied: 5/9/2011	CBL: 309 - - G - 003 - 001 - - - - -	
Location of Construction: 1706 FOREST AVE	Owner Name: KENNETH RENOCK	Owner Address: 11 HAVEN RD - WINDHAM, ME 04062	Phone: 899-9143
Business Name:	Contractor Name: OWNER	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Retail store (Nina's Variety) and one residential DU above	Proposed Use: Same: Retail store and one residential DU above - to add a 5' x 5' deck and stairs for the residential DU	Cost of Work: \$1,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: M/R Type: IBC 09
		Signature: Bjarnas (58)	Signature: [Signature]
Proposed Project Description: 1706 Forest Ave. - add a deck	Pedestrian Activities District (P.A.D.)		
Permit Taken By: Gayle	Zoning Approval		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: ok with conducting 5/12/11</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: [Signature]</p>
	CERTIFICATION 5/12/11		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1706 Forest Ave Portland ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>100' 5x5 Deck/STAIRS</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# <u>309/613-7</u> Lot# <u>Record Book 21022</u> <u>Page 326</u> <u>Cumberland County</u> <u>Registry of Deeds</u>	Applicant * must be owner, Lessee or Buyer* Name <u>KENNETH M RENOLD</u> Address <u>11 HAVEN Rd</u> City, State & Zip <u>WINDHAM ME 04062</u>	Telephone: <u>899-9143</u>
Lessee/DBA (If Applicable) <u>309 6 003</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1,000⁰⁰</u> C of O Fee: \$ Total Fee: \$ <u>30.00</u>
Current legal use (i.e. single family) <u>APT</u>	Number of Residential Units <u>1</u> <u>and 1 unit</u>	
If vacant, what was the previous use? <u>APT</u>	RECEIVED	
Proposed Specific use: <u>APT</u>		
Is property part of a subdivision? <u>no</u>	If yes, please name _____	
Project description: <u>deck for unit 5 x 5</u>	<u>MAY - 9 2011</u>	
Contractor's name: <u>OWNER KENNETH RENOLD</u>	Dept. of Building Inspections City of Portland Maine	
Address: <u>11 HAVEN Rd</u>	City, State & Zip <u>WINDHAM ME 04062</u>	Telephone: <u>899-9143</u>
Who should we contact when the permit is ready: <u>KENNETH RENOLD</u>	Telephone: <u>899-9143</u>	
Mailing address: <u>11 HAVEN Rd WINDHAM ME 04062</u>		

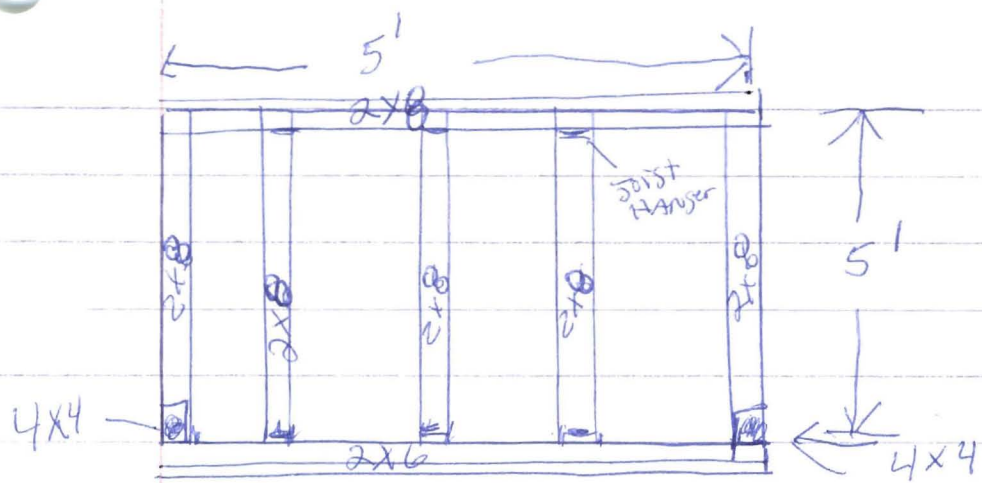
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

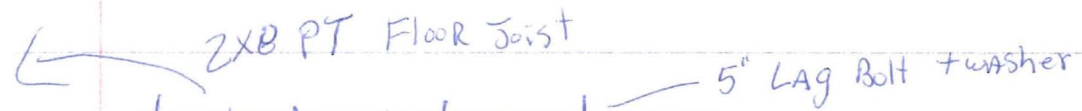
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Kenneth Renold Date: 5/9/11

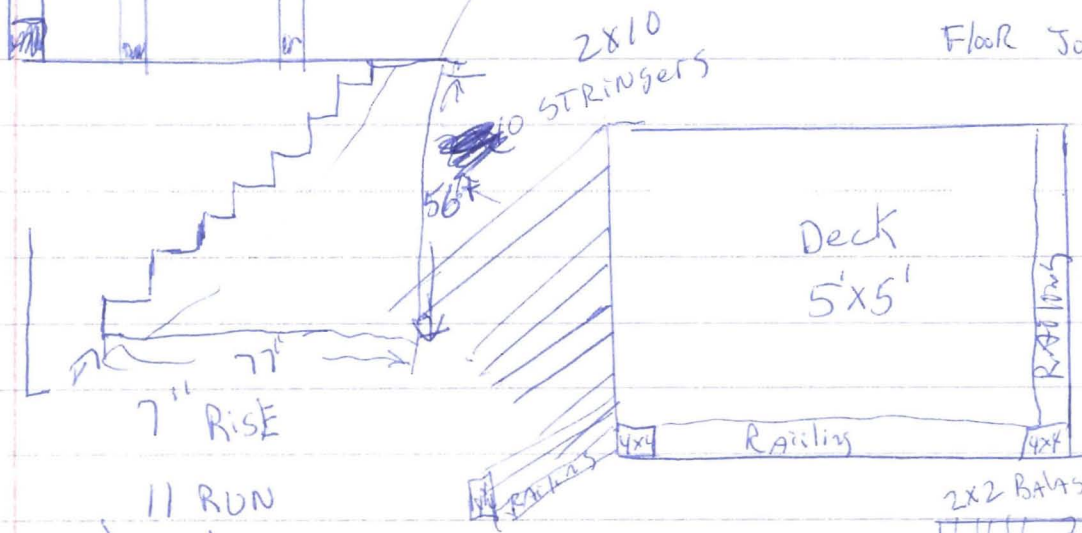
This is not a permit; you may not commence ANY work until the permit is issued



- PT
- 2x8 Floor Joist
- 2x8 Joist Hangers
- 5" Lag Bolt + Washer
- 5/4x6 PT Decking
- 4x4 PT Corner Post



- FRAMING LAG to house
- 4x4 Post Laged to Floor Joist
- 5/4 Decking SCREW to Floor Joist



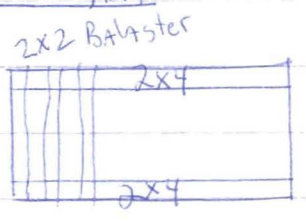
STAIRS (4) 2x10 STRINGERS

5/4x6 Decking For TREAD

Railings 2x4 PT FRAME

2x2 PT Balusters screwed to 2x4

5" ON CENTER Railings SCREW TO House + 4x4



OVER

Plot PLAN

165.82'

FRONT

66

Parking lot

44'

STORE

Future Deck 15'

20'

37'

137.61'

REAR

100'

R-3 Zone

FRONT: N/A

REAR: 25' min - well over implied

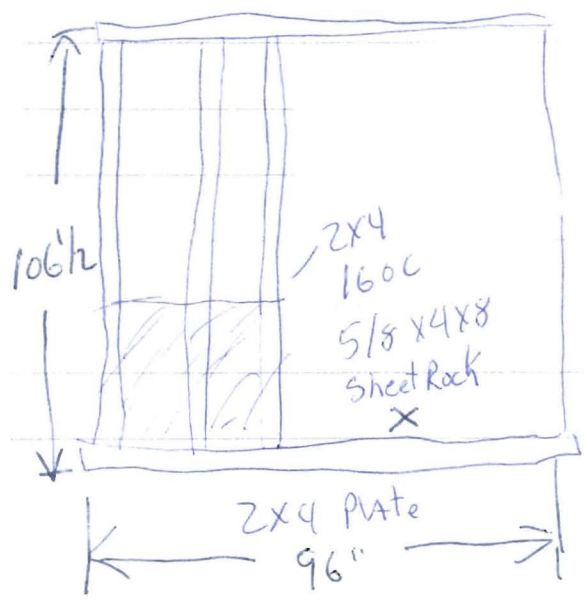
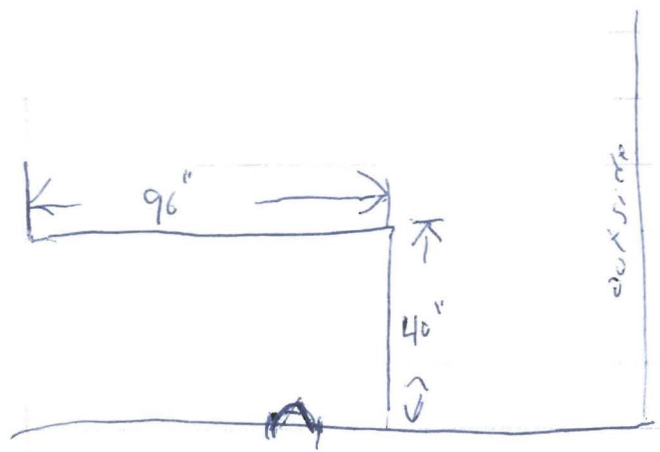
SIDE: 14' min - 20ft SWIM



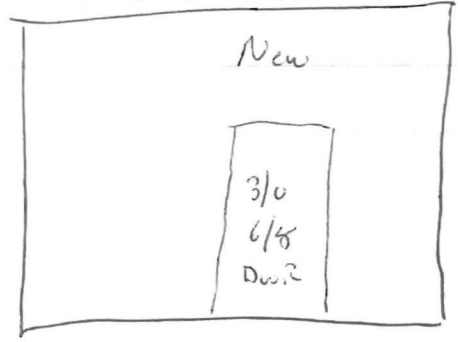
REMOVE existing window 32"
 Add 3/0 x 6/8 METAL DOOR
 Add 5' x 5' Deck + STAIRS + Railings
 to outside of House 2nd
 Fire Exit For Apt.
 2x4 Interior wall with DBL
 5/8 sheet rock separating
 Hall from STORE

INTERIOR WALL

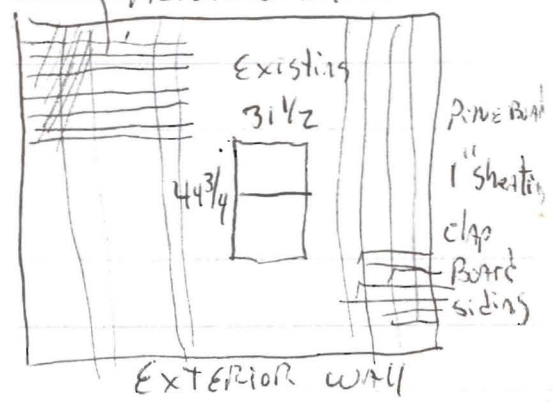
2x4 Plate



EXTERIOR WALL



Plaster + Lath
Actual 2" x 4" STUDDS



EXTERIOR WALL

1706 Forest Ave. Portland

Looking to Improve Existing Property,
Updating to current Regulation, Adding
Proper fire exits, Adding new electrical
services, Adding smoke detectors, CARBON monoxide
Detectors.

Talked to John Rioux with all
new changes.

