

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ION

Permit Number: 090564

This is to certify that DELANO ELIZABETH A /B Gagnon

has permission to Build 616 sqft Attached Garage

AT 68 ALDWORTH ST

CITY OF PORTLAND 309 B045001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas L. Mearns 6/18/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0564	Issue Date:	CBL: ^{e47} 309 D045001
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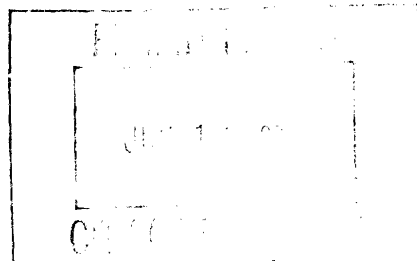
Location of Construction: 68 ALDWORTH ST	Owner Name: DELANO ELIZABETH A	Owner Address: 68 ALDWORTH ST	Phone: 207-212-9115
Business Name:	Contractor Name: Butch Gagnor	Contractor Address: 84 Brydon Way Westbrook	Phone: 2076713184
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Build 616 sqft Attached Garage	Permit Fee: \$370.00	Cost of Work: \$35,000.00	CEO District: 5	8670 ⁴
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003		

Proposed Project Description: Build 616 sqft Attached Garage	Signature:	Signature: <i>Jim 6/16/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Imd	Date Applied For: 06/03/2009	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/5/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

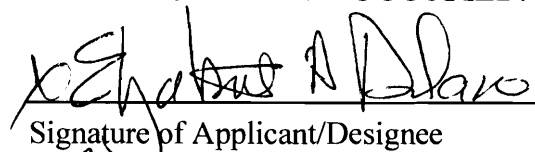
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

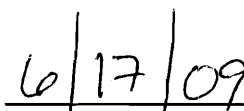
Final inspection required at completion of work.

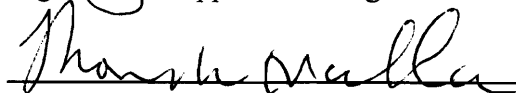
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

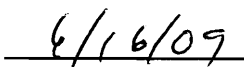
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.


Signature of Applicant/Designee


Date


Signature of Inspections Official


Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0564	Date Applied For: 06/03/2009	CBL: 309 D045001
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Location of Construction: 68 ALDWORTH ST	Owner Name: DELANO ELIZABETH A	Owner Address: 68 ALDWORTH ST	Phone: 207-212-9115
Business Name:	Contractor Name: Butch Gagnor	Contractor Address: 84 Brydon Way Westbrook	Phone: (207) 671-3184
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	

Proposed Use: Single Family Home - Build 616 sqft Attached Garage	Proposed Project Description: Build 616 sqft Attached Garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/05/2009**Note:****Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/16/2009**Note:****Ok to Issue:**

- 1) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>68 Aldworth St., Portland</u>		
Total Square Footage of Proposed Structure/Area <u>616 sq ft</u>		Square Footage of Lot <u>8730 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>309 D 415-47</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Elizabeth A. Delane</u> Address <u>68 Aldworth St</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>(207) 747-4339</u> <u>212-9115</u>
Lessee/DBA (If Applicable) <u>JUN 3 2009</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>35,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>garage</u> Is property part of a subdivision? _____ If yes, please name _____ Project description:		
Contractor's name: <u>Burke Crago</u> Address: <u>57 Brydon Way</u> City, State & Zip <u>Westbrook ME 04092</u> Telephone: <u>671-3184</u> Who should we contact when the permit is ready: <u>Elizabeth Delane</u> Telephone: <u>747-4339</u> Mailing address: <u>same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

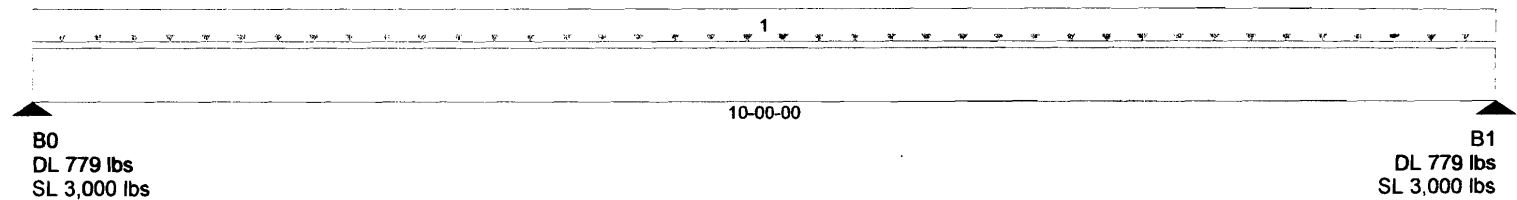
Signature: [Handwritten Signature]

Date: 6/3/09

This is not a permit; you may not commence ANY work until the permit is issued.

Job Name:
 Address:
 City, State, Zip: ,
 Customer:
 Code reports: ESR-1040

File Name: BC CALC Project
 Description: RB01
 Specifier:
 Designer:
 Company:
 Misc:



Total of Horizontal Design Spans = 10-00-00

Load Summary					Live	Dead	Snow	Wind	Roof Live		
Tag	Description	Load Type	Ref.	Start	End	100%	90%	115%	133%	125%	Trib.
1	Standard Load	Unf. Area (psf)	Left	00-00-00	10-00-00		10	40			15-00-00

Controls Summary	Value	% Allowable	Duration	Case	Span
Pos. Moment	9,448 ft-lbs	77.2%	115%	3	1 - Internal
End Shear	2,976 lbs	65.5%	115%	3	1 - Left
Total Load Defl.	L/345 (0.348")	52.2%		3	1
Live Load Defl.	L/434 (0.276")	55.3%		3	1
Span / Depth	10.1	n/a			1

Cautions

For roof members with slope (1/4)/12 or less final design must ensure that ponding instability will not occur.
 For roof members with slope (1/2)/12 or less final design must account for Rain-on-Snow surcharge load.

Notes

Design meets Code minimum (L/180) Total load deflection criteria.
 Design meets Code minimum (L/240) Live load deflection criteria.
 Minimum bearing length for B0 is 2-7/8".
 Minimum bearing length for B1 is 2-7/8".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BC®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

R-3 Zone
MAINE BOUNDARY CONSULTANTS

Robert A. Yarumian II, PLS

Professional Land Surveyor

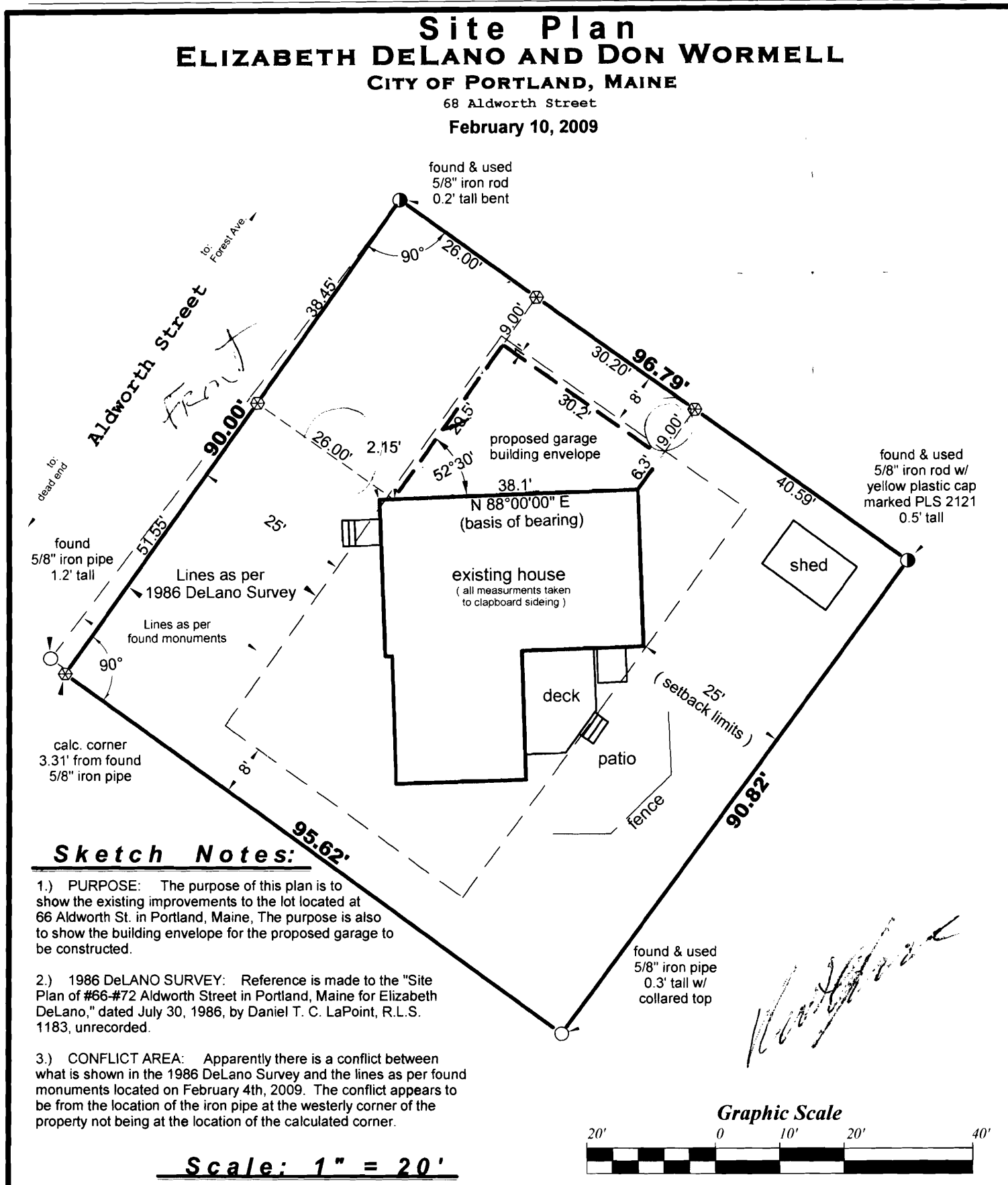
Est. 1988

Site Plan
ELIZABETH DELANO AND DON WORMELL

CITY OF PORTLAND, MAINE

68 Aldworth Street

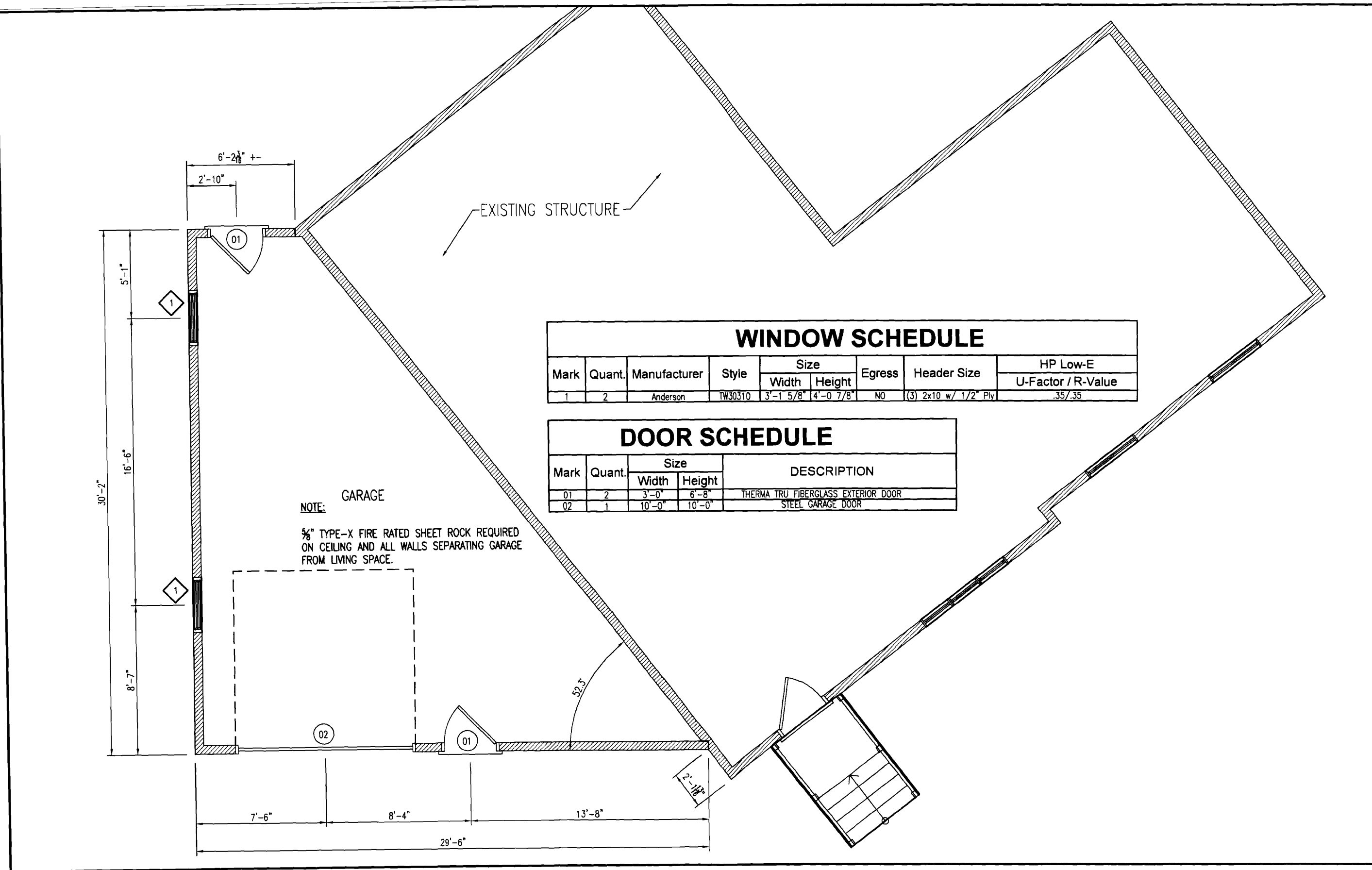
February 10, 2009



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Revisions:

Date: 05/29/09
Scale: 3/16"=1'-0"
Drawn By: MTA
Project: 08052008
Sheet Number:
2-of-4



WINDOW SCHEDULE

Mark	Quant.	Manufacturer	Style	Size		Egress	Header Size	HP Low-E
				Width	Height			U-Factor / R-Value
1	2	Anderson	TW30310	3'-1 5/8"	4'-0 7/8"	NO	(3) 2x10 w/ 1/2" Ply	.35/.35

DOOR SCHEDULE

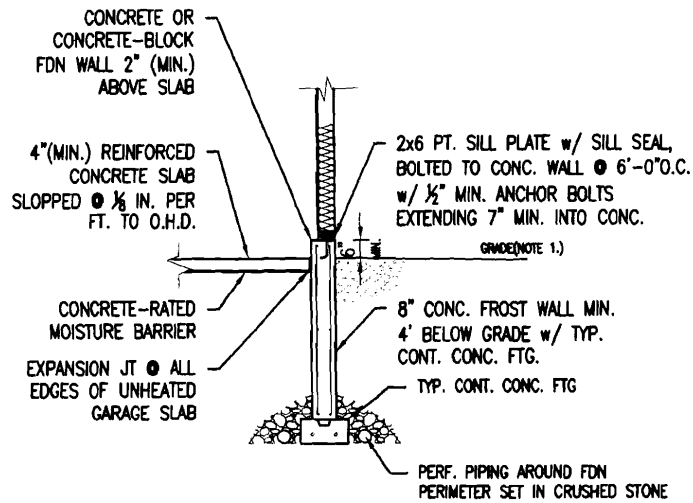
Mark	Quant.	Size		DESCRIPTION
		Width	Height	
01	2	3'-0"	6'-8"	THERMA TRU FIBERGLASS EXTERIOR DOOR
02	1	10'-0"	10'-0"	STEEL GARAGE DOOR

NOTE:
GARAGE
5/8" TYPE-X FIRE RATED SHEET ROCK REQUIRED ON CEILING AND ALL WALLS SEPARATING GARAGE FROM LIVING SPACE.

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Revisions:

Date: 05/29/09
Scale: 3/16"=1'-0"
Drawn By: MTA
Project: G8052009
Sheet Number:



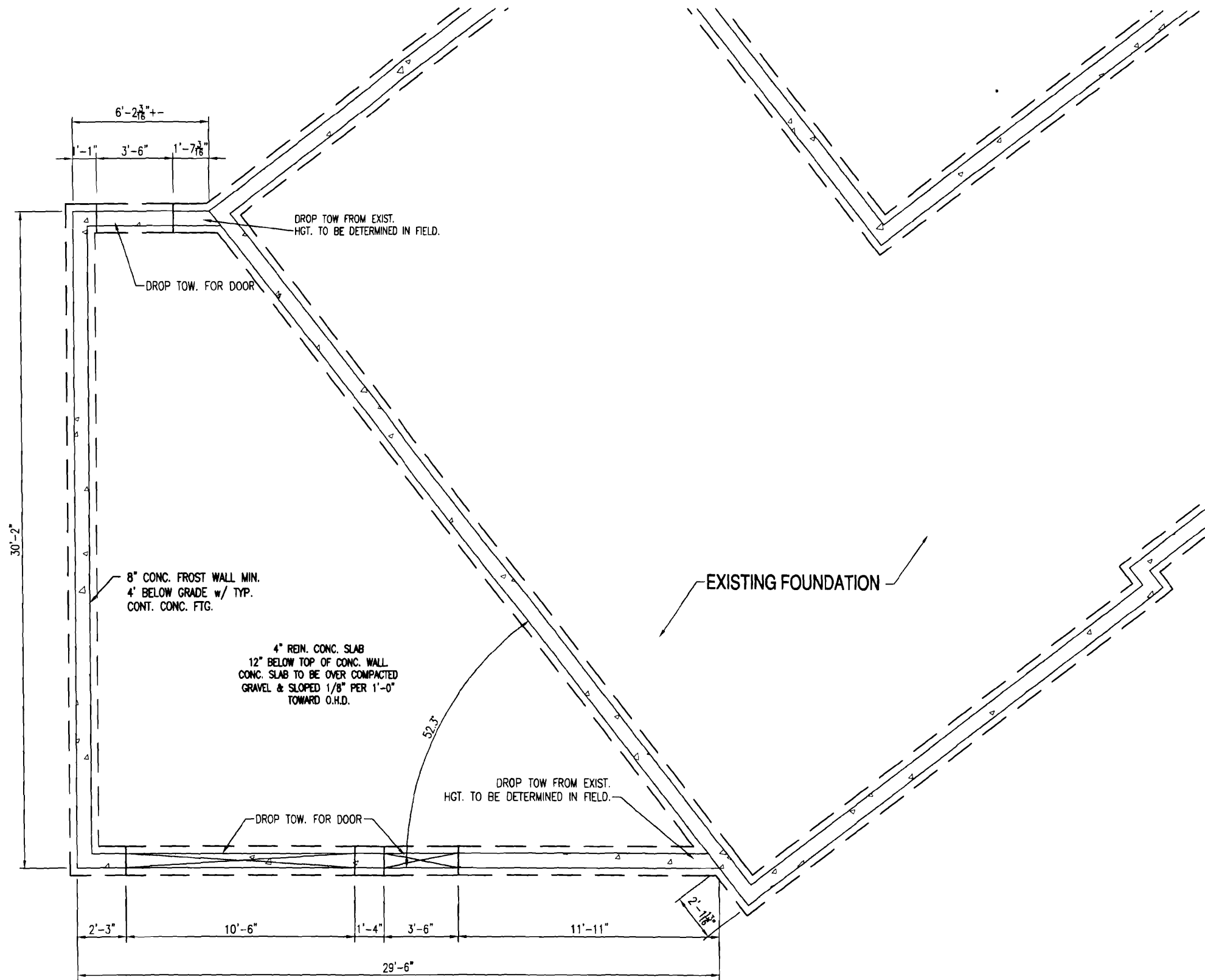
NOTE:

1. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 1/2" VERTICAL TO 12" HORIZONTAL FOR A MINIMUM DISTANCE OF 8'-0". THIS CONDITION SHALL EXIST AFTER SETTLEMENT OF BACKFILL HAS OCCURRED.
2. WHEN CONNECTED TO A RESIDENTIAL USE, THE GARAGE FLR SHALL BE AT LEAST 4" LOWER THAN THE ENTRANCE TO THE RESIDENCE. THE 4" SHALL BE POURED IN PLACE WITH CONCRETE

TYPICAL GARAGE SLAB / FDN WALL DETAIL
1/4" = 1'-0"

M. FOUNDATION NOTES:

1. 4" DIA. CONTINUOUS PERF. PERIMETER DRAIN WITH HOLES ORIENTED DOWN. SLOPED TO DAYLIGHT OR TO STORM SEWER OR DRYWELL.
2. ALL LALLY COLUMNS THIS SHEET ASSUMED TO BE TYP.
3. ALL INTERIOR FOOTINGS TO BE DESIGNED PER SOIL CONDITIONS. CONTRACTOR TO VERIFY.
4. DECK SUPPORTS ASSUMED TO BE 10" DIA. SONOTUBES. SOIL CONDITIONS TO DETERMINE FOOTING DESIGN. CONTRACTOR TO VERIFY.
5. FOR PLUMBING LOCATION/LAYOUT, SEE GROUND FLOOR PLAN.
6. CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND STEP FND./FTGS AS REQUIRED PER GRADE. AND SOIL CONDITIONS
7. BASEMENT FINISHES PER OWNER/CONT. (TO BE DETERMINED)
8. CONTRACTOR TO VERIFY GRADE IN FIELD BEFORE CONSTRUCTION OF TYPICAL FOUNDATION WALLS OR DAYLIGHT BASEMENT. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. AND LOCAL CODES.

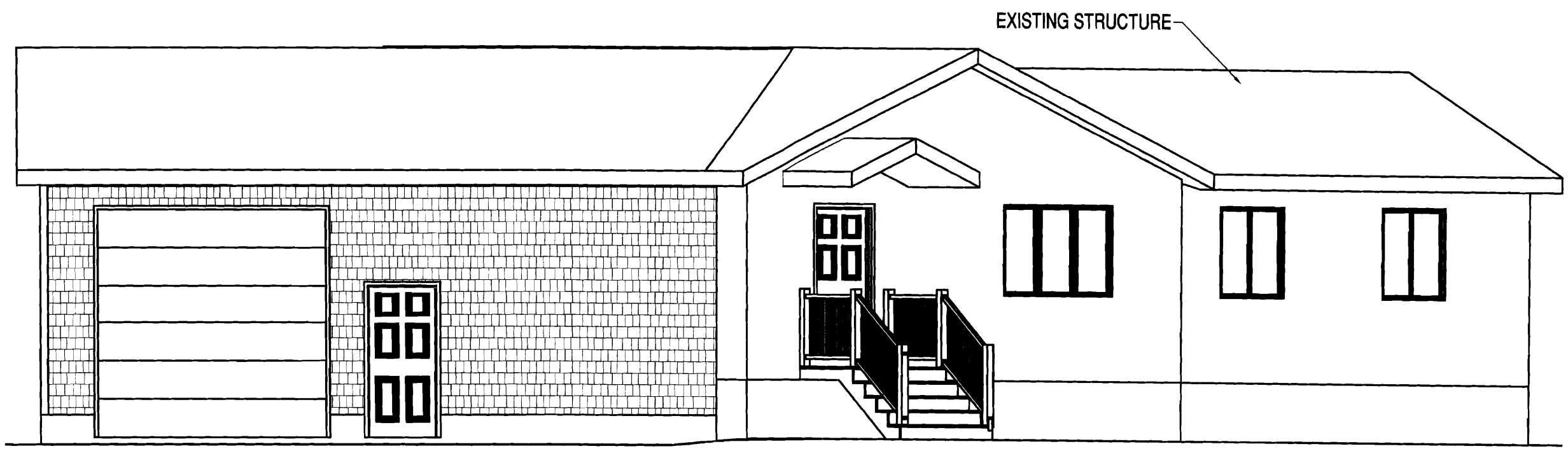


FOUNDATION PLAN
1/4" = 1'-0"

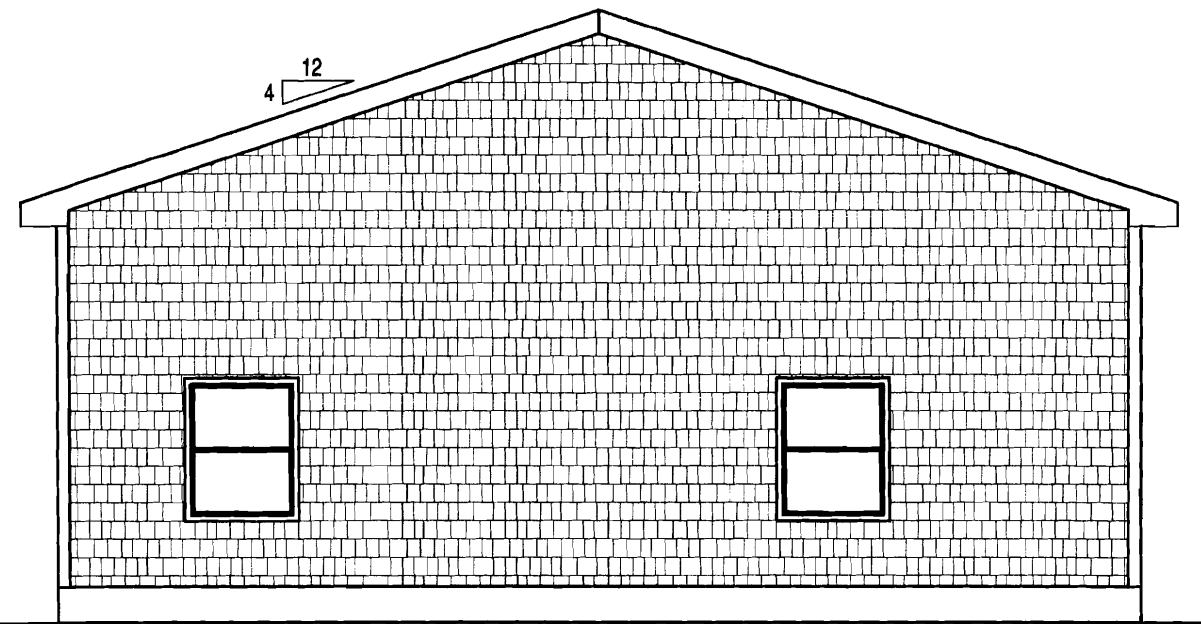
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Revisions:

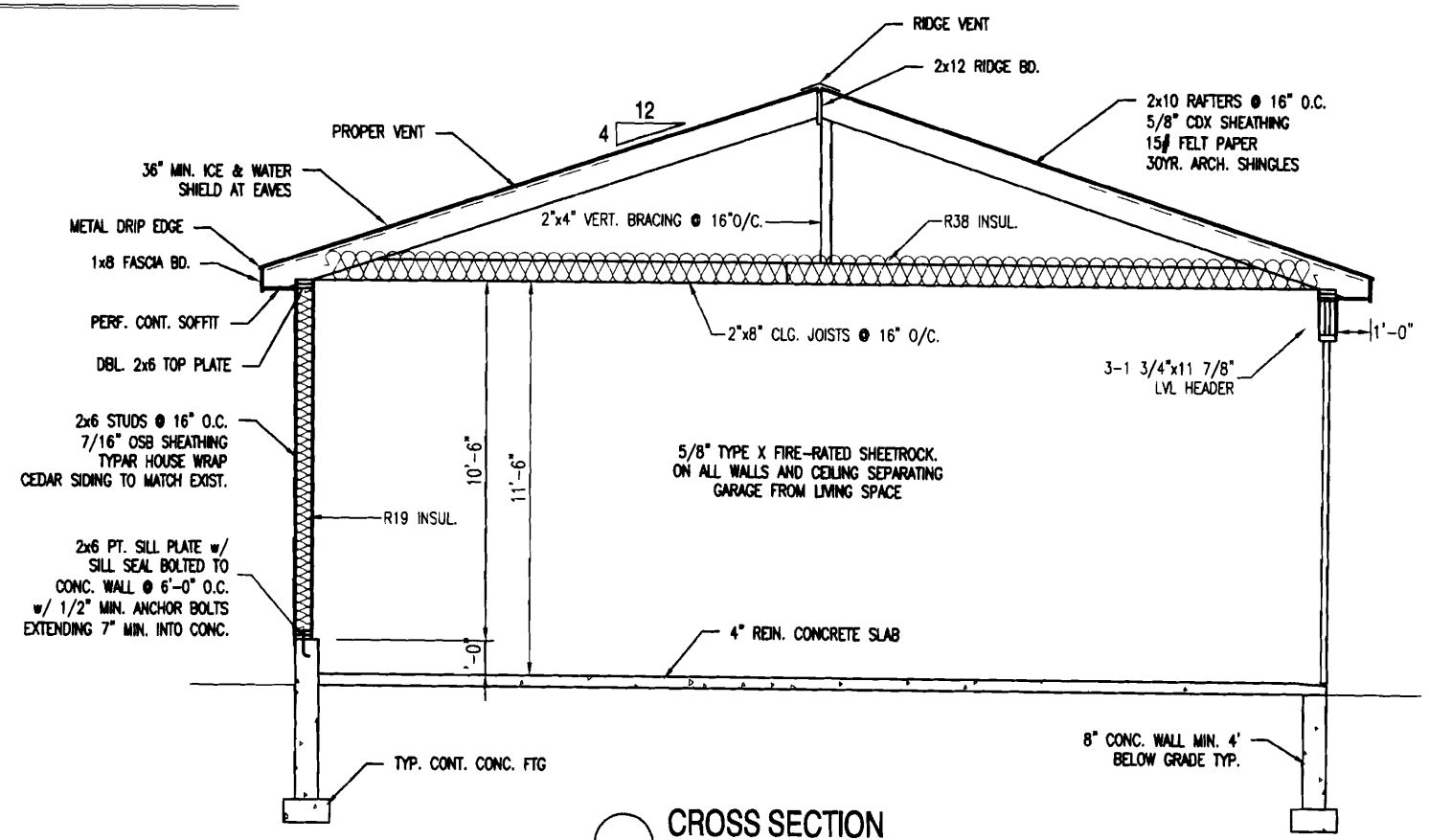
Date: 05/29/09
Scale: 3/16"=1'-0"
Drawn By: MTA
Project: 09052009
Sheet Number:



○ FRONT ELEVATION



○ LEFT ELEVATION



○ CROSS SECTION

TABLE R802.5(1)
GRADER SPANS AND HEADERS FOR EXTERIOR BEARING WALLS
 (Minimum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of joist studs)

GRADERS AND HEADERS SIZING	SIZE	Building Width (feet)			
		20	30	36	36
		Sum	Sum	Sum	Sum
Roof, ceiling and over clear span floor	2-2x4	1	1	1	1
	2-2x6	1	1	1	1
	2-2x8	1	1	1	1
	2-2x10	1	1	1	1
	2-2x12	1	1	1	1
	3-2x4	1	1	1	1
	3-2x6	1	1	1	1
	3-2x8	1	1	1	1
	3-2x10	1	1	1	1
	3-2x12	1	1	1	1
Roof, ceiling and over center-bearing floor	2-2x4	1	1	1	1
	2-2x6	1	1	1	1
	2-2x8	1	1	1	1
	2-2x10	1	1	1	1
	2-2x12	1	1	1	1
	3-2x4	1	1	1	1
	3-2x6	1	1	1	1
	3-2x8	1	1	1	1
	3-2x10	1	1	1	1
	3-2x12	1	1	1	1
Roof, ceiling and two center-bearing floor	2-2x4	1	1	1	1
	2-2x6	1	1	1	1
	2-2x8	1	1	1	1
	2-2x10	1	1	1	1
	2-2x12	1	1	1	1
	3-2x4	1	1	1	1
	3-2x6	1	1	1	1
	3-2x8	1	1	1	1
	3-2x10	1	1	1	1
	3-2x12	1	1	1	1
Roof, ceiling and two clear span floor	2-2x4	1	1	1	1
	2-2x6	1	1	1	1
	2-2x8	1	1	1	1
	2-2x10	1	1	1	1
	2-2x12	1	1	1	1
	3-2x4	1	1	1	1
	3-2x6	1	1	1	1
	3-2x8	1	1	1	1
	3-2x10	1	1	1	1
	3-2x12	1	1	1	1

For St. 1 inch=25.4mm, 1 pound per square foot=0.0479kN/m²

a. Spans are given in feet and inches.

b. Tabulated values assume #2 grade lumber.

c. Building width is measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.

d. Minimum number of joist studs required to support each end. Where the number of required joist studs equals one, the header is permitted to be supported by an approved framing anchor attached to the full-height wall and end to the header.

e. Use 3/4" ground snow load for cases in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.

TABLE R802.5(2)
GRADER SPANS AND HEADERS FOR INTERIOR BEARING WALLS
 (Minimum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of joist studs)

HEADERS AND GRADERS SIZING	SIZE	Building Width (feet)			
		20	28	36	36
		Sum	Sum	Sum	Sum
One floor only	2-2x4	1	1	1	1
	2-2x6	1	1	1	1
	2-2x8	1	1	1	1
	2-2x10	1	1	1	1
	2-2x12	1	1	1	1
	3-2x4	1	1	1	1
	3-2x6	1	1	1	1
	3-2x8	1	1	1	1
	3-2x10	1	1	1	1
	3-2x12	1	1	1	1
Two floor only	2-2x4	1	1	1	1
	2-2x6	1	1	1	1
	2-2x8	1	1	1	1
	2-2x10	1	1	1	1
	2-2x12	1	1	1	1
	3-2x4	1	1	1	1
	3-2x6	1	1	1	1
	3-2x8	1	1	1	1
	3-2x10	1	1	1	1
	3-2x12	1	1	1	1

TABLE R802.5(3)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER	SPACING OF FASTENERS	
		Edges (inches)	Intermediate support (inches)
wood structural joists, rafters, roof and wall sheathing to framing, and precast/curved wall sheathing to framing	6d common nail (rafter, wall) or 6d common nail (roof)	6	12"
19/32" - 1"	6d common nail	6	12"
1-1/8" - 1-1/4"	10d common nail or 6d deformed nail	6	12"
Other wall sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18gr., 1-1/2" long	3	6
1/2" regular calcitic fiberboard sheathing	1-3/4" galvanized roofing nail 6d common nail slope 18gr., 1-3/4" long	3	6
1/2" regular calcitic fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18gr., 1-1/2" long	3	6
25/32" structural calcitic fiberboard sheathing	6d common nail slope 18gr., 1-1/2" long 1-1/2" long 1-1/4" screws, type W or S common nail slope 18gr., 1-1/2" long	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18gr., 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18gr., 1-1/2" long	4	8
wood structural joists, combination exterior siding to framing	6d deformed nail or 6d common nail	6	12
3/4" and less	6d common nail or 6d deformed nail	6	12
7/8" - 1"	6d common nail or 6d deformed nail	6	12
1-1/8" - 1-1/4"	10d common nail or 6d deformed nail	6	12

For St. 1 inch = 25.4mm, 1 foot = 304.8mm, 1 mile per hour = 1.609km/h.

a. All nails are smooth-common, box or deformed studs except where otherwise noted. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 50ksi (345 MPa) for shank diameter of .132inch (20d common nail), 50ksi (320 MPa) for shank diameter larger than .132inch but not larger than .177inch, and 100ksi (689 MPa) for shank diameter of .177inch less.

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 16 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot-by-eight-foot or four-foot-by-nine-foot panels shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on table R802.5(1).

f. For regions having basic wind speed of 110mph or greater, 6d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable and walls. If mean roof height is more than 25feet, up to 25feet maximum.

g. For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable and wall framing shall be spaced 16 inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 16 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 16 inches on center to gable and wall framing.

h. Gypsum sheathing shall conform to ASTM C79 and shall be installed in accordance with CA 253. Fiberboard sheathing shall conform to either AIA 194.1 or ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof panel perimeters. Spacing of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

DOOR SCHEDULE

Mark	Quant.	Size		DESCRIPTION
		Width	Height	
01	2	3'-0"	6'-8"	THERMA TRU FIBERGLASS EXTERIOR DOOR
02	1	10'-0"	10'-0"	STEEL GARAGE DOOR

WINDOW SCHEDULE

Mark	Quant.	Manufacturer	Style	Size		Egress	Header Size	HIP Low-E
				Width	Height			
1	2	Anderson	TW30310	3'-1 5/8"	4'-0 7/8"	NO	(3) 2x10 w/ 1/2" Ply	.35/.35



SCHEDULES
 BUTCH GAGNON
 68 ALDWORTH ST. PORTLAND, MAINE

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