

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DIVISION

PERMIT

Permit Number: 081179

This is to certify that DELANO-ELIZABETH A /Sh Happens
 has permission to Install Pre-Built 8'x12' shed on property & permit 16' x 12' deck over the fact
 AT 68 ALDWORTH ST City 309 D045001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
 Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

PERMIT ISSUED
SEP 30 2008
CITY OF PORTLAND

9/29/08 *Chy MA*
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

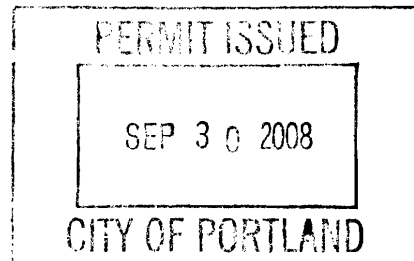
Permit No: 08-1179	Issue Date: 9/21/08	CBL: 309 D045001
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Location of Construction: 68 ALDWORTH ST	Owner Name: DELANO ELIZABETH A	Owner Address: 68 ALDWORTH ST	Phone: 207-740-2659
Business Name:	Contractor Name: Shed Happens	Contractor Address: 1042 Chadborne Rd. Standish	Phone: 2078923636
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single family home	Proposed Use: Single family home - Install Pre-Built 8'x12' shed on Property & permit 12' x 16' deck after the fact.	Permit Fee: \$50.00	Cost of Work: \$2,500.00	CEO District: 5
Proposed Project Description: Install Pre-Built 8'x12' shed on Property & permit 16' x 12' deck after the fact		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003	
		Signature: [Signature] 9/21/08		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 09/18/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 9/26/08 [Signature]	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

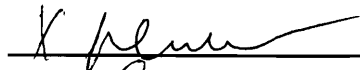
A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

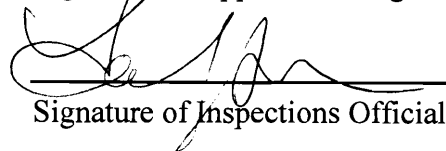
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

09/30/08
Date



Signature of Inspections Official

9.30.08
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1179	Date Applied For: 09/18/2008	CBL: 309 D045001
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Location of Construction: 68 ALDWORTH ST	Owner Name: DELANO ELIZABETH A	Owner Address: 68 ALDWORTH ST	Phone: 207-740-2659
Business Name:	Contractor Name: Shed Happens	Contractor Address: 1042 Chadborne Rd. Standish	Phone: (207) 892-3636
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single family home - Install Pre-Built 8'x12' shed on Property & permit 12' x 16' deck after the fact.	Proposed Project Description: Install Pre-Built 8'x12' shed on Property & permit 16' x 12' deck after the fact
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 09/26/2008

Note: The applicant has initialled the plot plan showing that the proposed garage and generator pad are not part of this application. **Ok to Issue:**

- 1) This permit is being issued with the understanding that only the new 8' x 12 shed and the 16' x 12' deck are part of this permit.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 09/29/2008

Note: **Ok to Issue:**

- 1) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

9/23/2008-amachado: Permit somehow got stamped as issued on 9/18/08 and was put in the to be issued basket. Lisa found it today and routed it to zoning.

9/23/2008-amachado: Left vcm for Elizabeth Delano. If permitting deck after the fact, we need structural plans of how the deck was constructed. Also plot plan says proposed generator pad and proposed garage. We need confirmation that these are not part of this application and will be applied for at a later date under a separate permit.

9/26/2008-amachado: Received plans for existing deck. Garage & generator pad are not part of the application.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>68 Aldworth St.</u>		
Total Square Footage of Proposed Structure/Area <u>96 sq ft ; 182 sq ft</u>		Square Footage of Lot <u>8730 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>309 D 45-47</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Elizabeth Delano</u> Address <u>68 Aldworth St</u> City, State & Zip <u>Portland, ME. 04103</u>	Telephone: <u>797-4339</u>
Lessee/DBA (If Applicable) <u>CITY OF PORTLAND, ME</u> <u>SEP 18 2008</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$ 2500.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>2500.</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? Proposed Specific use: <u>Utility Shed and deck</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>① Buying a 8x12 shed. It will be placed 5 ft from back end side line on left side of lot.</u> <u>② Acquiring a permit after the fact for a deck of 182 sq ft</u>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>DON</u> Telephone: <u>740 2659</u> Mailing address: _____		

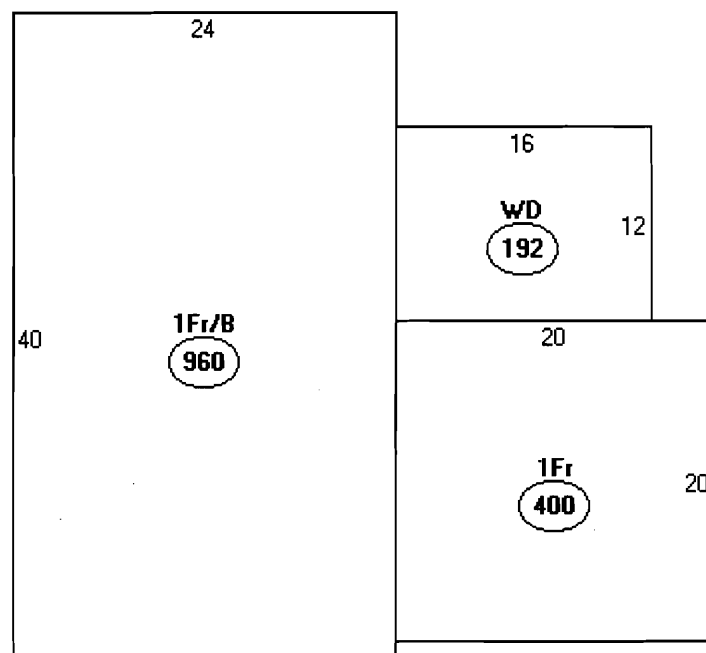
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Elizabeth A. Delano Date: Sept 18, 08

This is not a permit; you may not commence ANY work until the permit is issue



Descriptor/Area

A: 1Fr/B
960 sqft

B: WD
192 sqft

C: 1Fr
400 sqft

= 1552

96 chd

Specifications for deck at 68 Aldworth St., Portland, ME.

Foundation: 4x4 pt posts are set on 10in.diameter cement columns below the frost line.

Attachments to the building are made by steel lags received in a sheath drilled into the cement foundation every 16 -24 inches through a ledger and frame.

Framing and Deck: 2x12 pt joists placed 16inches on center are used across the short axis of the deck, double banded on the perimeter.

The deck. is approximately 27 inches off of the ground. 6 inch wide 5/4 pt decking run the long axis of the structure.

The upper portion of the deck has a solid 30 inch knee wall with framed screening to a height of 63 inches above the knee wall.

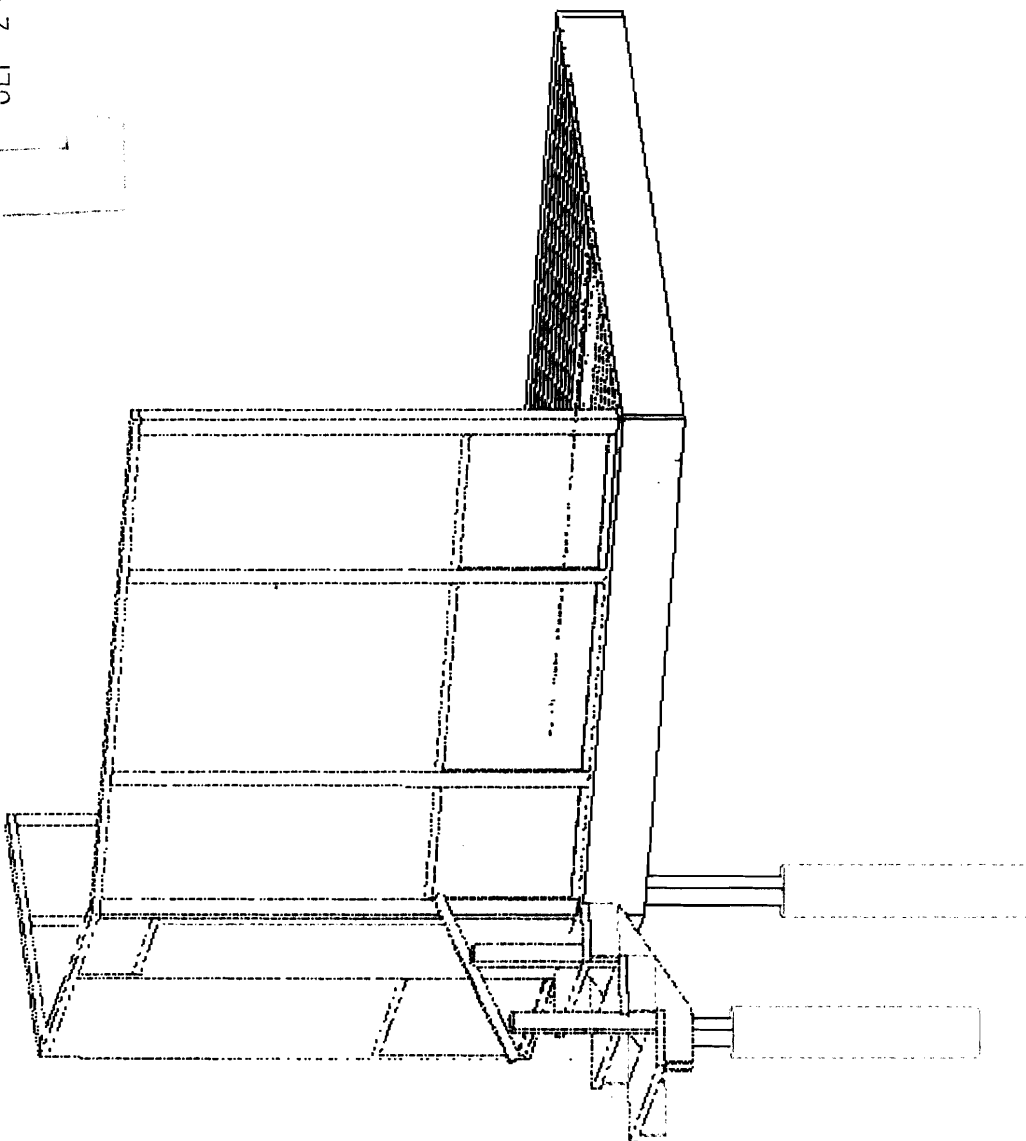
Several wooden members support screens in the ceiling.(not depicted in drawings)

Stairs and Handrail:

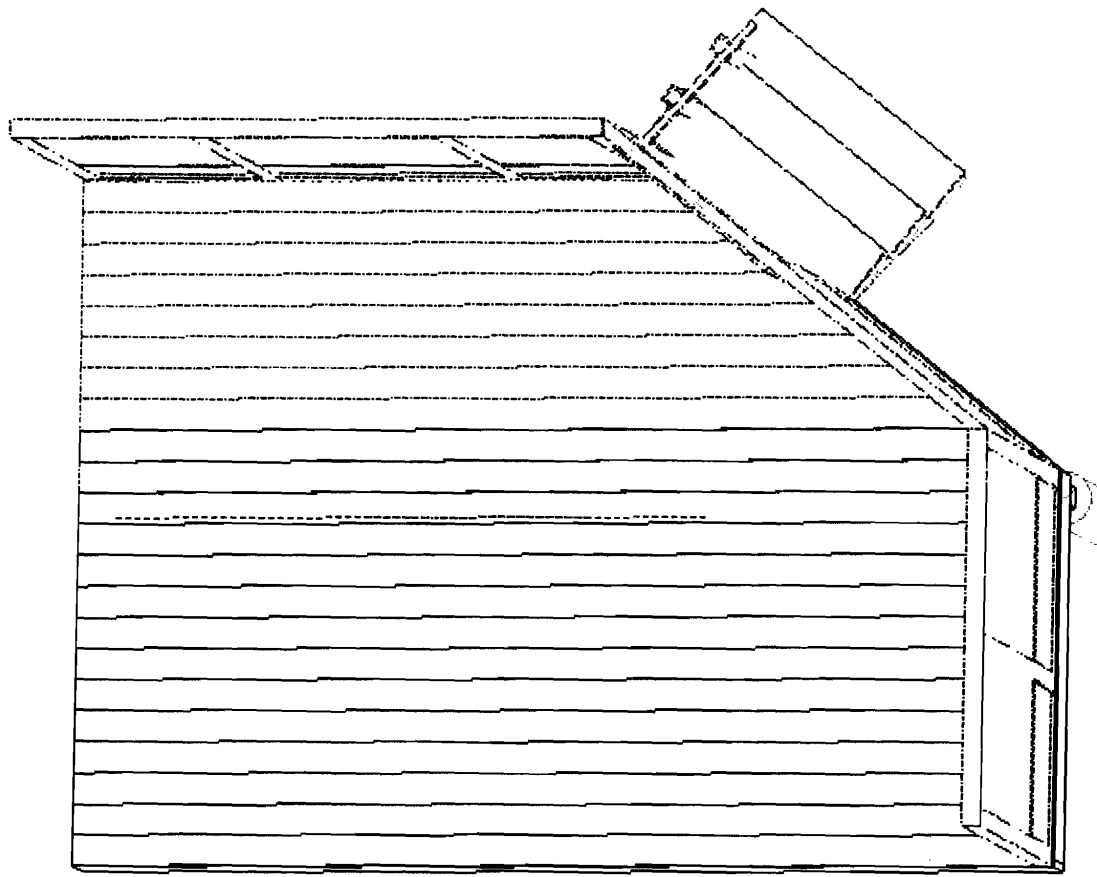
A 3-0x6-8 screen door leads from the deck down three(3) steps to a patio area. Each step is 11 1/4 inches deep and 51inches wide with a step height of 7inches. A handrail is located on one side of the steps supported by a pair of 4x4 vertical posts bolted to the frame of the steps. The handrail is supported by commercial rail arms from the posts.

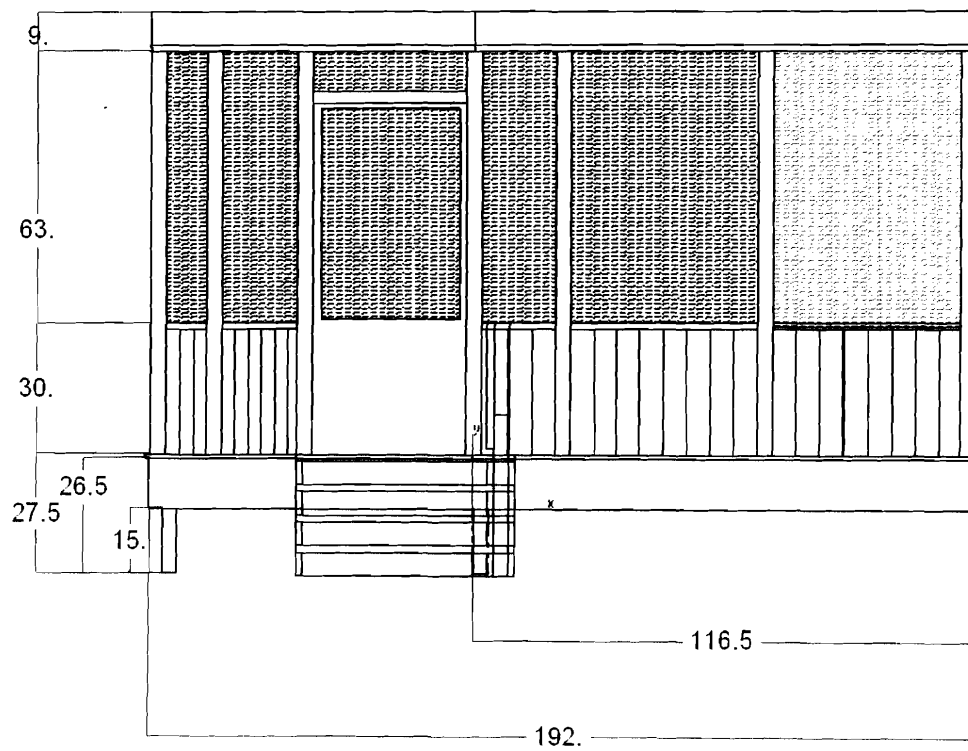
SEP 26 2000

SEP 26 2003

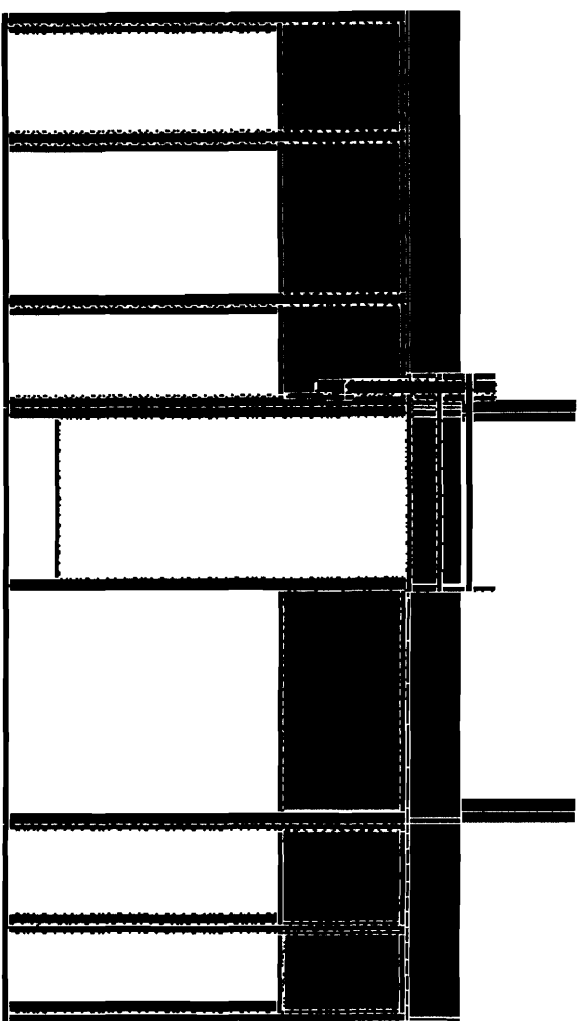


SEP 26 2000



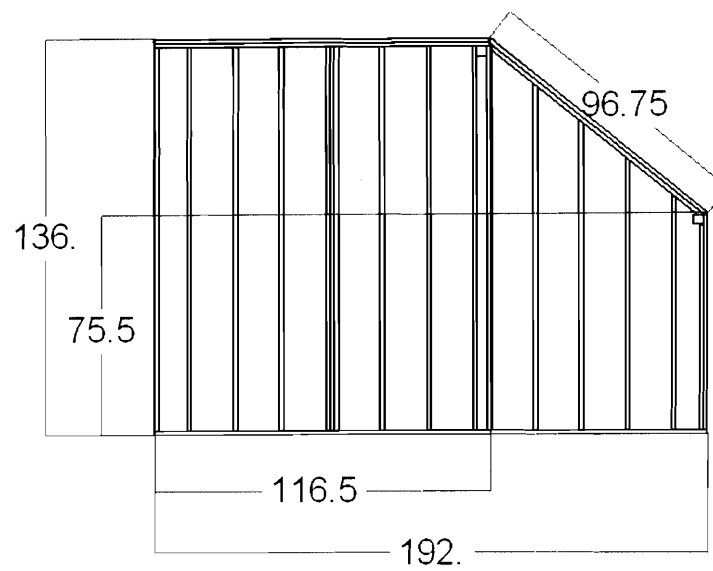


SEP 26 2003



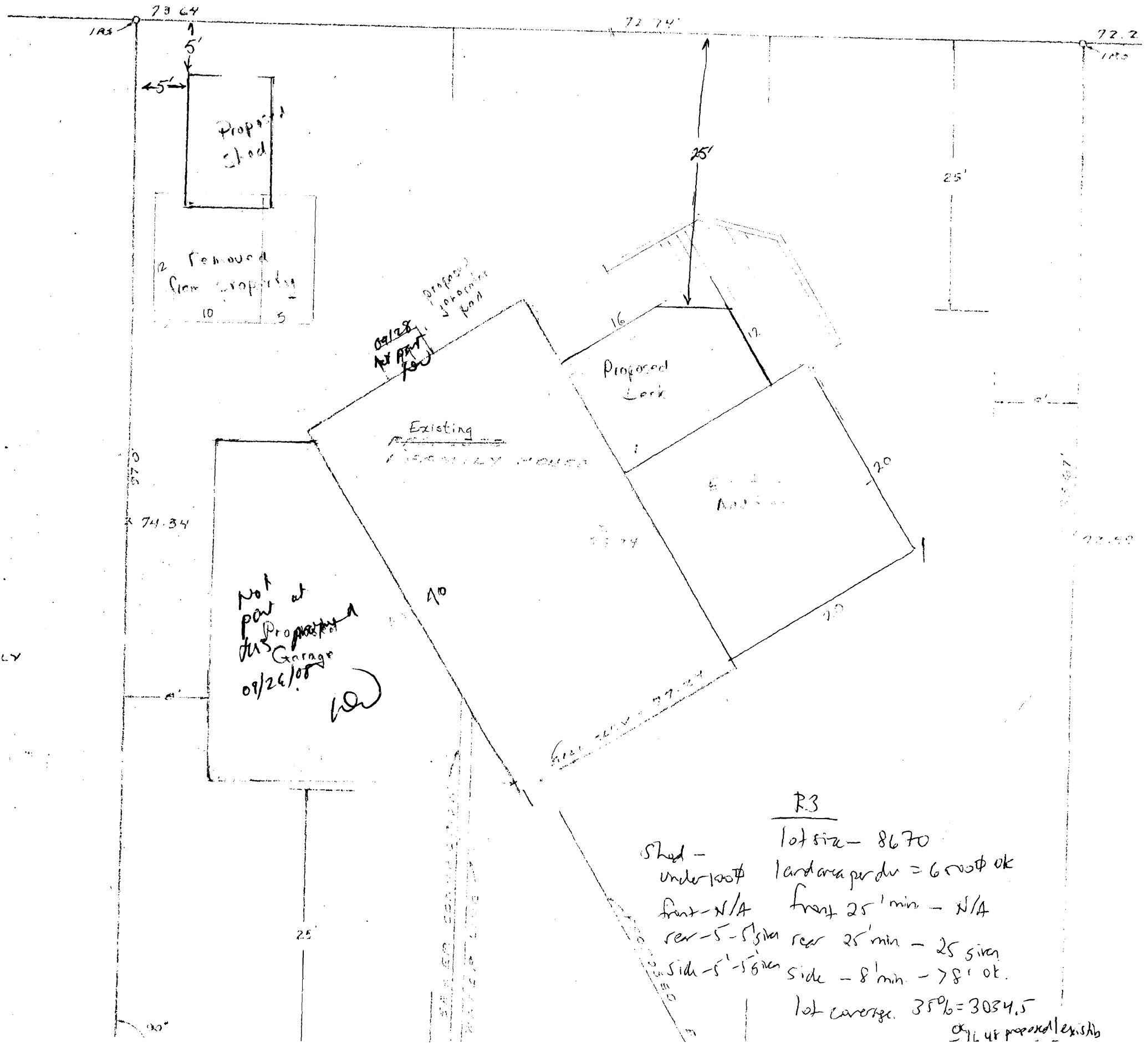
SEP 26 1953

SEP 26 2003





9/23/2008 6:03:07 PM



Proposed
Shed

Removed
Sign Property

Proposed
Job Order
09/28/05

Proposed
Lock

Existing
FAMILY HOUSE

Not
part of
this Property
Garage
09/26/05

R3

Shed -
under 100 ϕ
front - N/A
rear - 5' side
side - 5' - 5' side

lot size - 8670
land area per du = 6500 ok
front 25' min - N/A
rear 25' min - 25' side
side - 8' min - 78' ok.

lot coverage 35% = 3034.5
ok if proposed existing