

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, if Any,  
Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 040340

This is to certify that Meehan Sean &/Fredericks Contracting

has permission to build 16' x 24' rear addition

AT 1757 Forest Ave 309 A018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

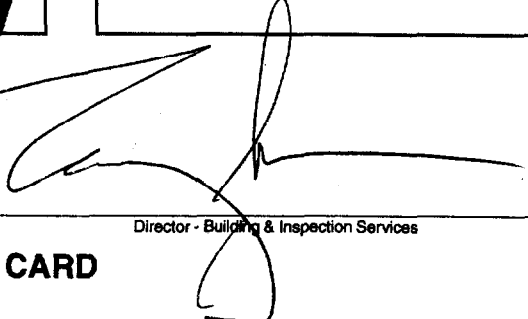
Notification of inspection must be given and work on permit not proceed before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

**PERMIT ISSUED**  
  
APR 01 2004  
  
Department Name  
**CITY OF PORTLAND**

  
\_\_\_\_\_  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0340	Issue Date: APR 01 2004	BL: 309 A018001
-----------------------	----------------------------	--------------------

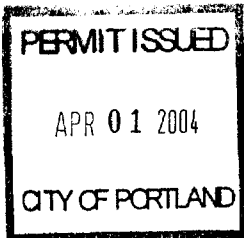
Location of Construction: 1757 Forest Ave	Owner Name: Meehan Sean &	Owner Address: 1757 Forest Ave	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Fredericks Contracting	Contractor Address: 37 Waterhouse Road Gorham	Phone: 2078398050
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: single family	Proposed Use: single family - build 16' x 24' rear addition	Permit Fee: \$300.00	Cost of Work: \$31,000.00	CEO District: 5
		FIRE DEPT: N/A <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB BOCA 1999	

Proposed Project Description: build 16' x 24' rear addition	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: tmm	Date Applied For: 04/01/2004	<b>Zoning Approval</b>
-------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/1/04	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 4/1/04
---	--	---	---



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1757 Forest Ave</u>		
Total Square Footage of Proposed Structure <u>384'</u>	Square Footage of Lot <u>10,800'</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>309</u> Block# <u>A</u> Lot# <u>18</u>	Owner: <u>Sean Meehan</u>	Telephone: <u>(207) 878-5738</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Sean Meehan</u> <u>1757 Forest Ave.</u> <u>Port, ME 04103</u> <u>(207) 878-5738</u>	Cost Of Work: \$ <u>31,000</u> Fee: \$ <u>300</u>
Current use: <u>Single family Home</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Family Room</u>		
Project description: <u>16x24 Family room Addition.</u>		
Contractor's name, address & telephone: <u>Fredrick's contracting (207) 839-8050</u> <u>37 Waterhouse Rd</u> <u>Gorham, ME 04038</u>		
Who should we contact when the permit is ready: <u>Sean Meehan</u>		
Mailing address: <u>1757 Forest Ave.</u> <u>Port, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.    PHONE: <u>(207) 878-5738</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

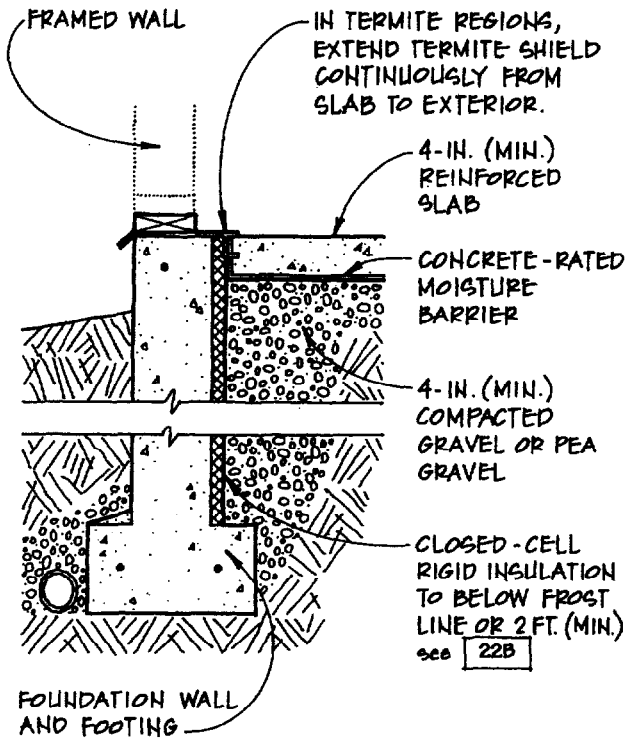
Signature of applicant: <u>Sean Meehan</u>	Date: <u>3-30-04</u>
--	----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

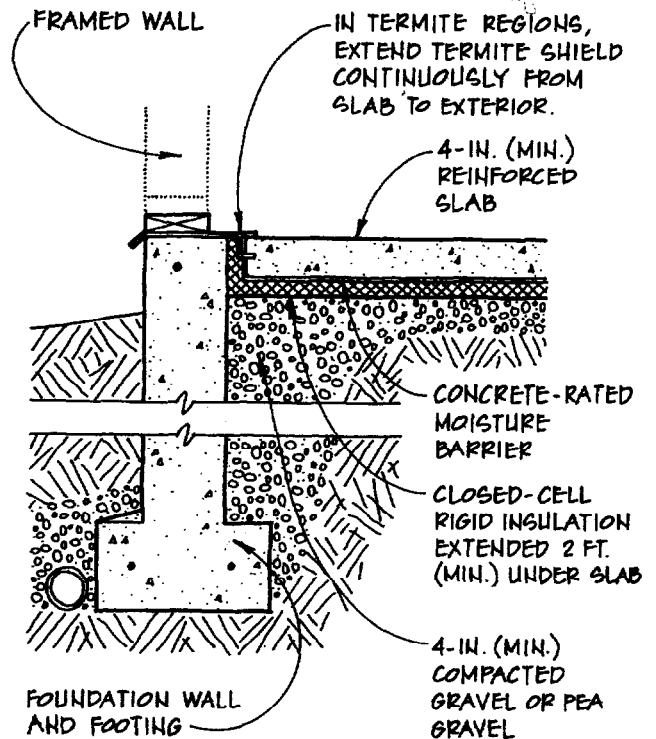
**FREDERICKS CONTRACTING, INC.**  
**37 WATERHOUSE RD.**  
**GORHAM, MAINE 04038**  
**OFFICE (207) 839 - 8050**  
**CELL (207) 318 - 9250**

BILL TO
Pattie Meehan 1757 Forest Ave Portland, ME. 04038 878-5738

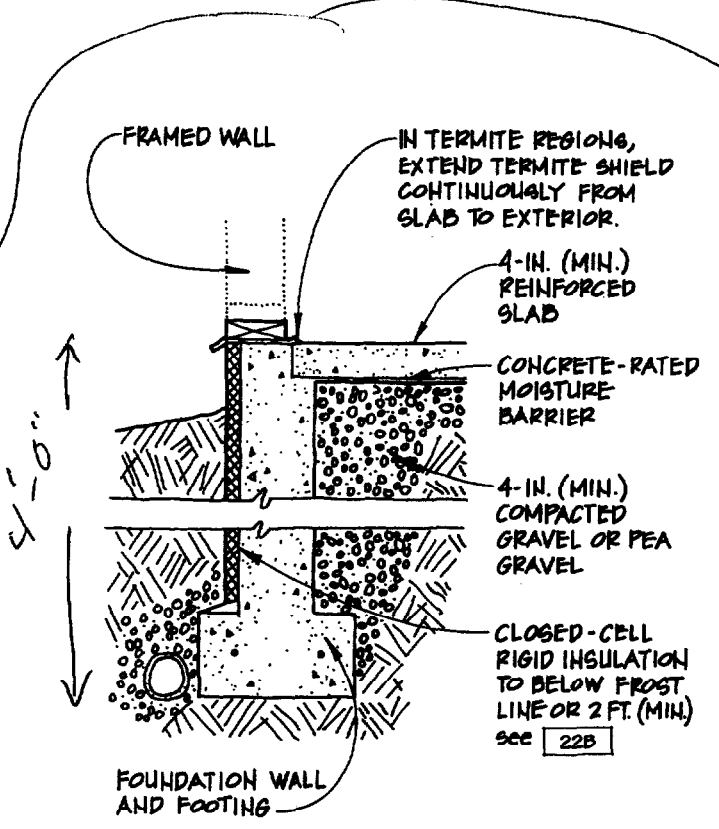
ITEM	DESCRIPTION	QTY
Material and Labor	Materials and labor to construct a 16' x 24' addition, 2" x 6" walls w/R-19 Insulation, 12 pitch trussed roof w/R-38 insulation, 25 year certainteed shingles, 1 passthrough Therma-tru premium exterior door, 2 lowE Paradigm windows, standard electrical fixtures and outlets, Vinyl siding to match existing. Pergo laminate Flooring, forced hot water baseboard heat.	1
Material	Paradigm patio sliding door.	1
Labor	labor to install sliding door.	1
Material and Labor	Subcontractors/ Earthwork and concrete. Includes 8" x 6' concrete frost wall (4' below grade) with a 4" reinforced slab on grade.	1



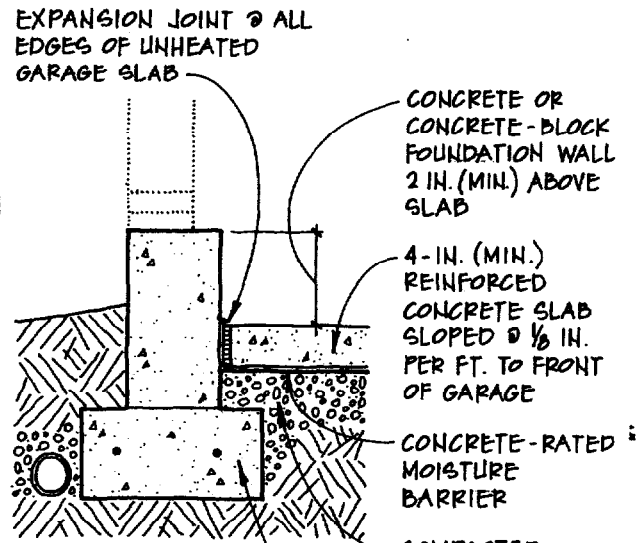
**A** SLAB ON GRADE / DEEP FOOTING  
VERTICAL INTERIOR INSULATION



**B** SLAB ON GRADE / DEEP FOOTING  
HORIZONTAL INTERIOR INSULATION

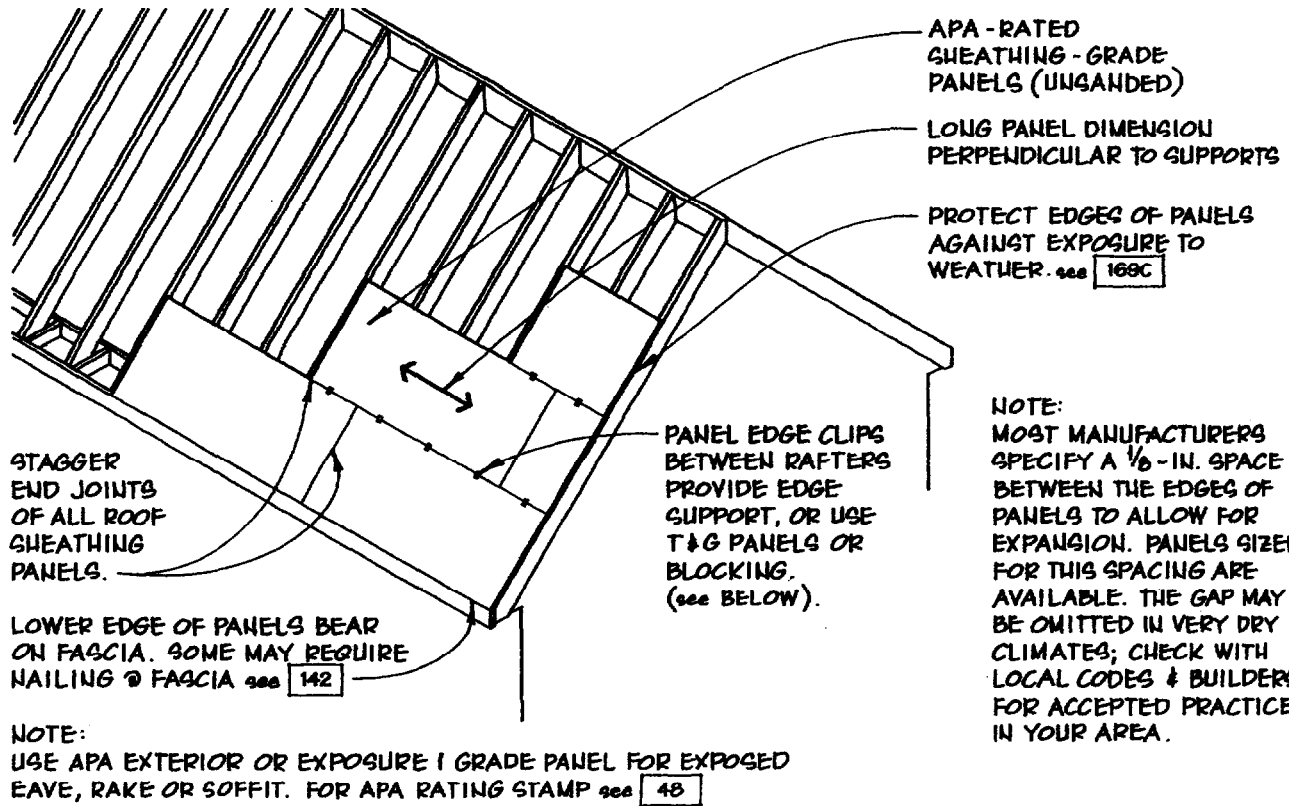


**C** SLAB ON GRADE / DEEP FOOTING  
VERTICAL EXTERIOR INSULATION



NOTE:  
A STRONGER CONCRETE MIX IS REQUIRED FOR A GARAGE SLAB THAN FOR A SLAB IN LIVING SPACES. VERIFY LOCAL REQUIREMENTS.

**D** GARAGE SLAB / FOUNDATION WALL



**Panel installation**—Low cost and ease of installation make plywood or OSB panels the sheathing of choice for most modern roofs. The system provides a structural diaphragm and is appropriate for all but wood shingle or shake roofing, which requires ventilation. The standard panel size is 4 ft. by 8 ft., so rafter or truss spacing that falls on these modules is most practical. Care must be taken to protect panel edges from the weather by the use of trim or edge flashing (see 169C). Sheathing at exposed overhangs must be exterior or exposure 1-rated panels and must be thick enough to hold a nail or other roof fastener without penetration of the exposed underside.

**Recommended fastening**—Recommended fastening is 6 in. o.c. at edges and 12 in. o.c. in the field (6 in. in the field for supports at 48 in. o.c.). For sheathing spans greater than 24 in., tongue-and-groove edges, lumber blocking, or panel edge clips are required at edges between supports; use two clips for supports at 48 in. o.c.

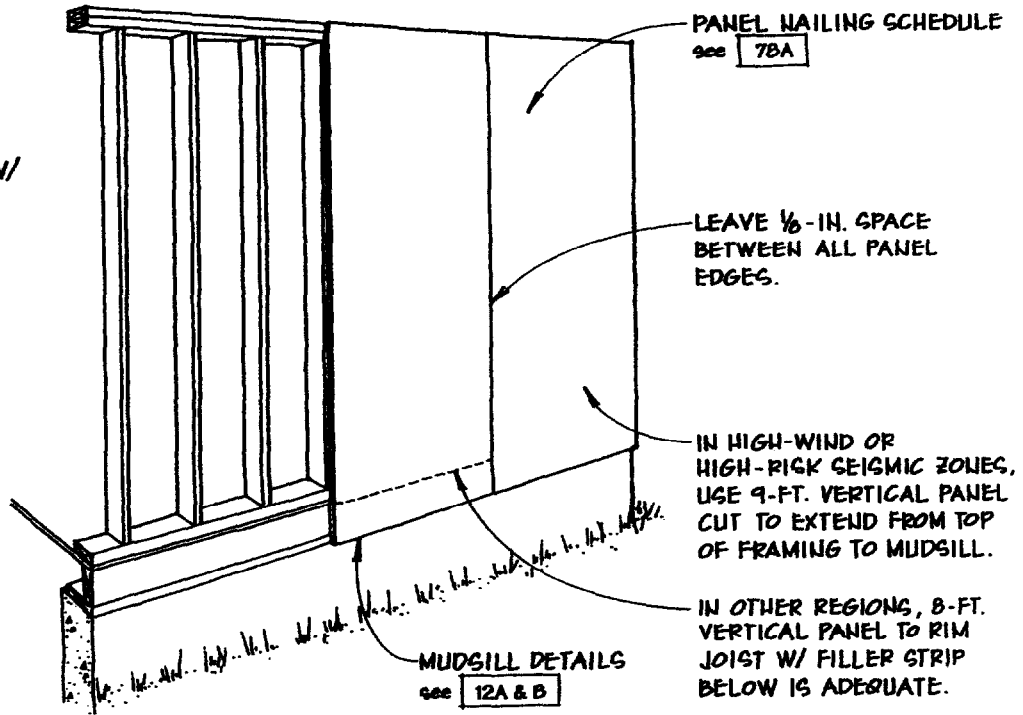
*1/2" Fir*

Roof-sheathing spans		
APA rating	Thickness	Maximum span
12 / 0	5/16 in.	12 in.
16 / 0	5/16 in. to 3/8 in.	16 in.
24 / 0	3/8 in. to 1/2 in.	24 in.
32 / 16	15/32 in. to 3/4 in.	32 in.
48 / 24	7/8 in. to 1 in.	48 in.

**Notes**—Values in the table above are based on APA-rated panels continuous over two or more spans with the long dimension of the panel perpendicular to supports. Verify span with panel rating. (For the APA rating stamp, see 48.)

Spans are based on a 30-lb. live load and 10-lb. dead load, the minimum rated by the APA-The Engineered Wood Association. Check local codes and with design professionals for higher loading such as greater snow loads or higher dead loads of concrete tiles or other heavy roofing. These ratings are minimum. For a more solid roof, reduce spans or increase thickness.

NOTE:  
IN REGIONS NOT  
SUBJECT TO HIGH RISK  
OF HURRICANE OR  
EARTHQUAKE,  
HORIZONTAL PANELS  
WITHOUT BLOCKING & W/  
FILLER STRIPS @ BASE  
MAY BE ACCEPTABLE.

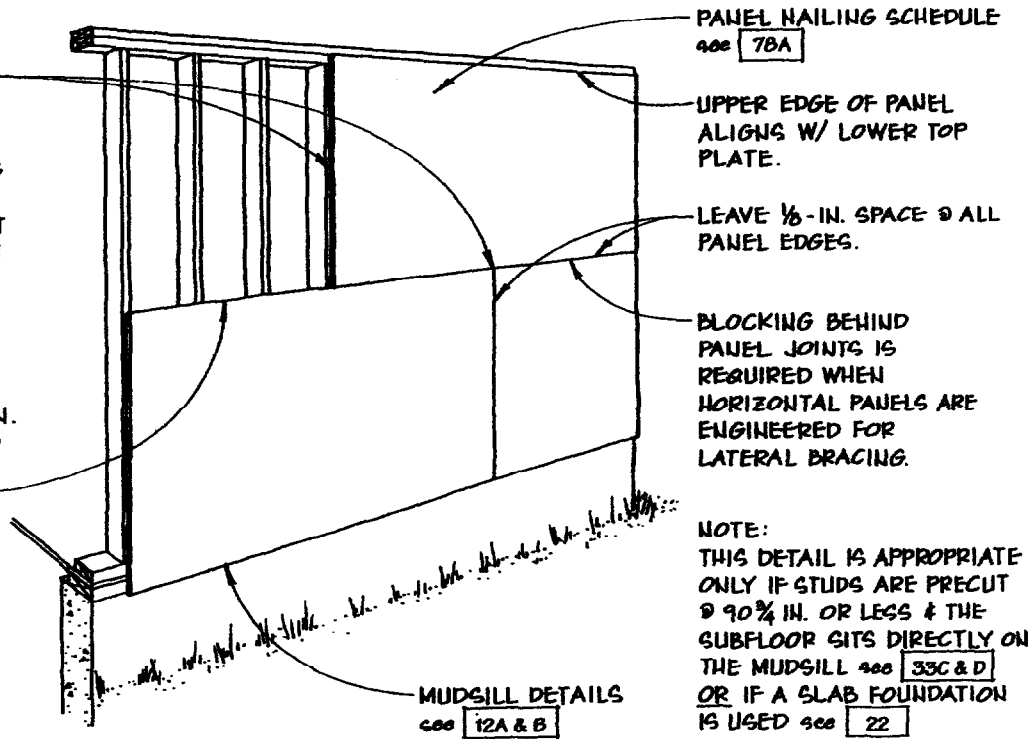


**A** STRUCTURAL SHEATHING / SINGLE-STORY BUILDING  
DISTANCE FROM MUDSILL TO TOP PLATE OVER 8 FT.

STAGGER VERTICAL  
JOINTS BETWEEN  
STRUCTURAL PANELS.

WHEN NOT ENGINEERED  
AS BRACING, SHEATHING  
PANELS MAY SPAN  
BETWEEN STUDS WITHOUT  
BLOCKING DEPENDING ON  
STUD SPACING, PANEL  
THICKNESS & SIDING  
MATERIAL.  $\frac{3}{8}$ -IN.  
SHEATHING IS  
RECOMMENDED FOR  
STUDS @ 16 IN. O.C. &  $\frac{1}{2}$ -IN.  
SHEATHING FOR STUDS @  
24 IN. O.C. VERIFY SPAN  
RATINGS ON PANELS.

NOTE:  
HORIZONTAL PANELS  
SHOWN IN THIS DETAIL  
MAY BE REPLACED W/  
VERTICAL PANELS  
see 78A



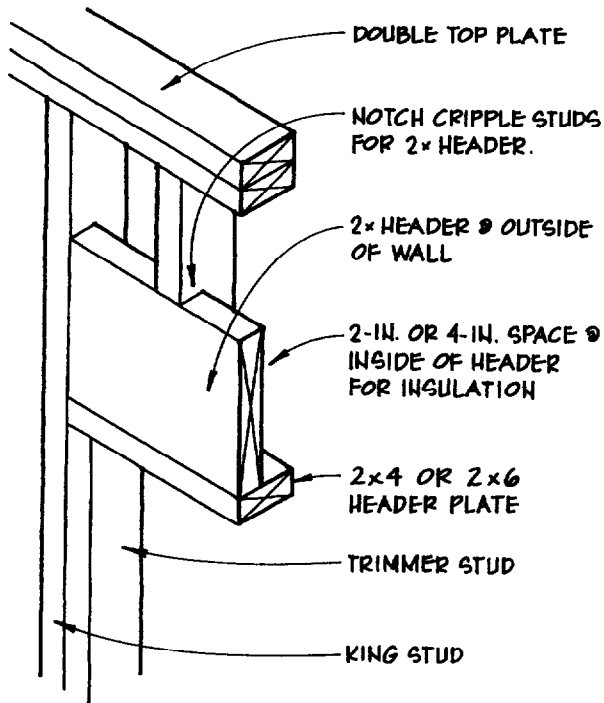
NOTE:  
THIS DETAIL IS APPROPRIATE  
ONLY IF STUDS ARE PRECUT  
@ 90% IN. OR LESS & THE  
SUBFLOOR SITS DIRECTLY ON  
THE MUDSILL see 33C & D  
OR IF A SLAB FOUNDATION  
IS USED see 22

$\frac{1}{2}$ " O.S.B

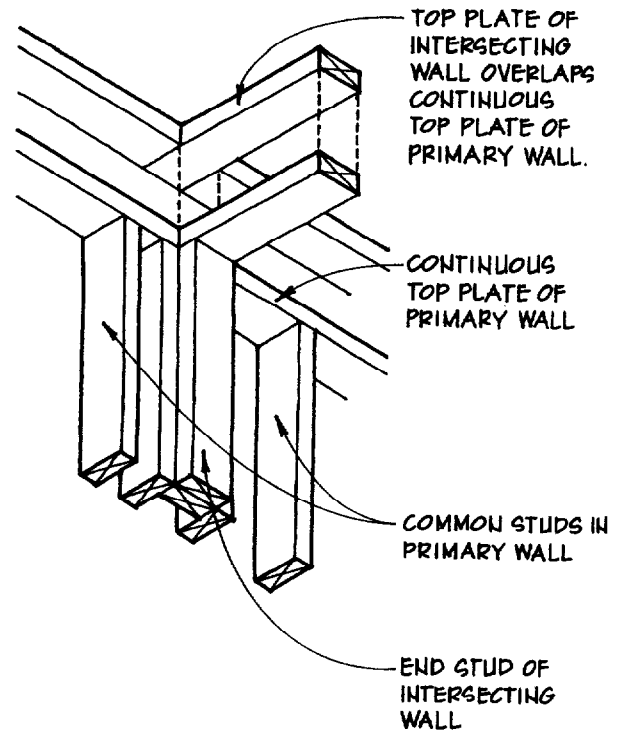
**B** STRUCTURAL SHEATHING / SINGLE-STORY BUILDING  
DISTANCE FROM MUDSILL TO TOP PLATE 8 FT. OR LESS



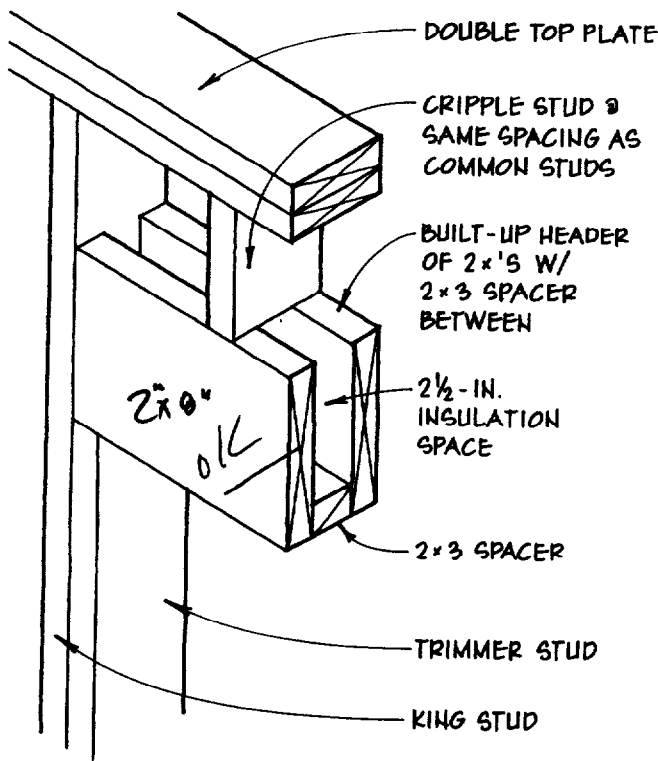




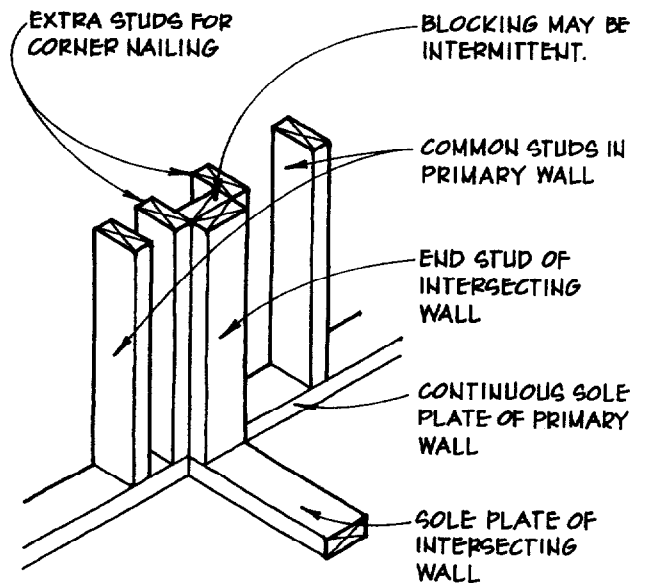
**A** **INSULATED HEADER**  
2x4 OR 2x6 EXTERIOR WALL



**B** **INTERSECTING 2x WALLS**  
DOUBLE TOP PLATE



**C** **INSULATED DOUBLE 2x HEADER**  
2x6 BEARING WALL / ALTERNATIVE DETAIL



NOTE:  
INSULATE CAVITY BEHIND INTERSECTING WALL  
BEFORE SHEATHING IS APPLIED IF PRIMARY

**D** **INTERSECTING 2x WALLS**  
SOLE PLATE

Job	Truss	Truss Type	Qty	Prj	42# snow 120 mph wind	14838371
WSI_STK	516 R165	QUEENPOST	50	1	Job Reference (optional)	

Wood Structures, Biddeford, ME 04005 5.100 e Mar 25 2003 MITek Industries, Inc. Mon May 12 14:38:00 2003 Page 1

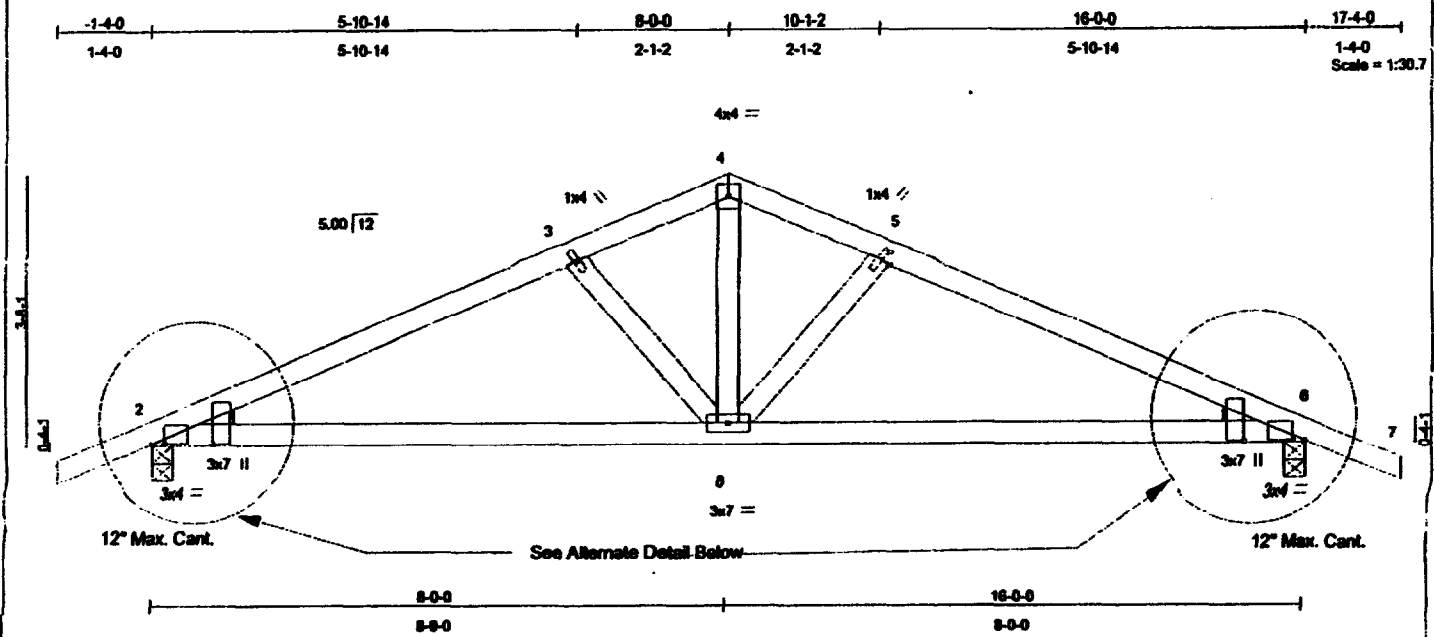


Plate Offsets (X,Y): [2:0-2-2,0-0-2], [2:0-0-0,0-10-4], [5:0-1-6,0-1-4], [6:0-0-0,0-10-4], [6:0-2-2,0-0-2]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 42.0	2-0-0	TC 0.56	in (loc) l/defl L/d	MII20	169/123
TCOL 7.0	Plates Increase 1.15	BC 0.48	Vert(LL) 0.07 8 >999 360		
BCLL 0.0	Lumber Increase 1.15	WB 0.37	Vert(TL) -0.12 6-8 >999 180		
BCOL 10.0	Rep Stress Incr YES	(Simplified)	Horz(TL) 0.03 6 n/a n/a		
	Code BOCA/ANSI95			Weight: 51 lb	

LUMBER	BRACING
TOP CHORD 2 X 4 SPF 1650F 1.5E	TOP CHORD Sheathed or 5-6-2 oc purlins.
BOT CHORD 2 X 4 SPF 1650F 1.5E	BOT CHORD Rigid ceiling directly applied or 7-8-2 oc bracing.
WEBS 2 X 4 SPF-S Stud	
WEDGE	
Left: 2 X 4 SPF No.2, Right: 2 X 4 SPF No.2	

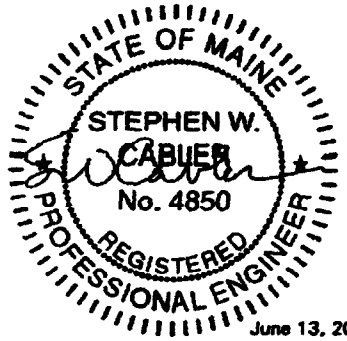
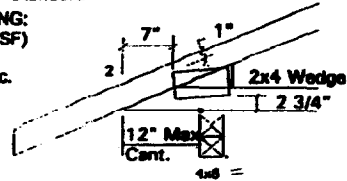
REACTIONS (lb/size) 2=1072/0-3-8, 6=1072/0-3-8  
 Max Horz 2=70(load case 2)  
 Max Uplift 2=-912(load case 2), 6=-912(load case 3)

FORCES (lb) - First Load Case Only  
 TOP CHORD 1-2=24, 2-3=-1436, 3-4=-1171, 4-5=-1171, 5-6=-1436, 6-7=24  
 BOT CHORD 2-8=1317, 6-8=1317  
 WEBS 3-8=-354, 4-8=685, 5-8=-354

- NOTES
- 1) Unbalanced roof live loads have been considered for this design.
  - 2) This truss has been designed for the wind loads generated by 120 mph winds at 35 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, 1 mi from hurricane oceanline, on an occupancy category I, condition I enclosed building, of dimensions 45 ft by 24 ft with exposure C ASCE 7-93 per BOCA/ANSI95. If end verticals exist, they are not exposed to wind. If cantilevers exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
  - 3) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3'-6" between the bottom chord and any other members.
  - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 912 lb uplift at joint 2 and 912 lb uplift at joint 6.

LOAD CASE(S) Standard

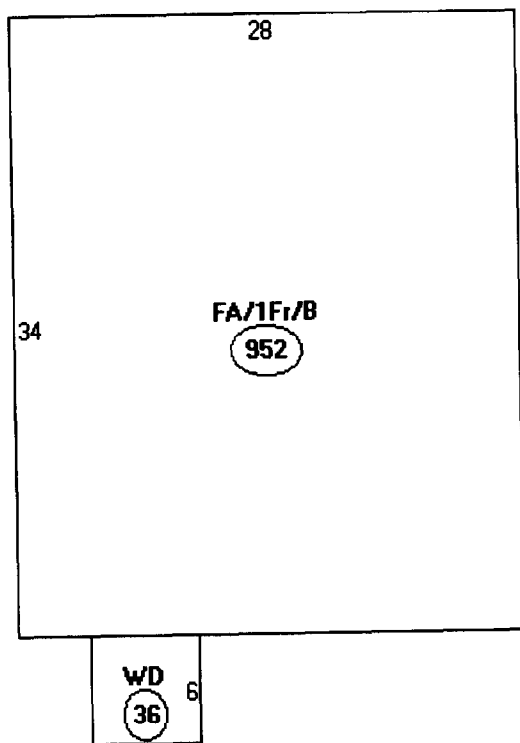
DESIGN LOADING:  
 TCLL/TOTAL (PSF)  
 42/59 @ 24" oc.  
 53/74 @ 19.2" oc.  
 63/79 @ 16" oc.



June 13, 2003

Warning - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MN-7473 BEFORE USE  
 Design valid for use only with MITek connectors. This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the





Descriptor/Area

A: FA/1Fr/B  
952 sqft

B: WD  
36 sqft

*P-3*  
*Front + rear 25'*  
*Side 5'-8'*

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 309 A018001  
**Location** 1757 FOREST AVE  
**Land Use** SINGLE FAMILY  
  
**Owner Address** MEEHAN SEAN & PATRICIA A FINNEMORE  
 1757 FOREST AVE  
 PORTLAND ME 04103  
  
**Book/Page** 10469/209  
**Legal** 309-A-16  
 FOREST AVE 1757  
 13306 SF

*2:00*

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$36,440	\$51,450	\$87,890

**Property Information**

<b>Year Built</b> 1957	<b>Style</b> Cape	<b>Story Height</b> 1	<b>Sq. Ft.</b> 1333	<b>Total Acres</b> 0.305		
<b>Bedrooms</b> 3	<b>Full Baths</b> 1	<b>Half Baths</b> 1	<b>Total Rooms</b> 5	<b>Attic</b> Full Finsh	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b> GARAGE-WD/CB	<b>Quantity</b> 1	<b>Year Built</b> 1957	<b>Size</b> 14X24	<b>Grade</b> C	<b>Condition</b> F
-----------------------------	----------------------	---------------------------	----------------------	-------------------	-----------------------

*336*

**Sales Information**

<b>Date</b> 12/17/1992	<b>Type</b> LAND + BLDING	<b>Price</b> \$76,500	<b>Book/Page</b> 10469-209
---------------------------	------------------------------	--------------------------	-------------------------------

**Picture and Sketch**

Picture                      Sketch

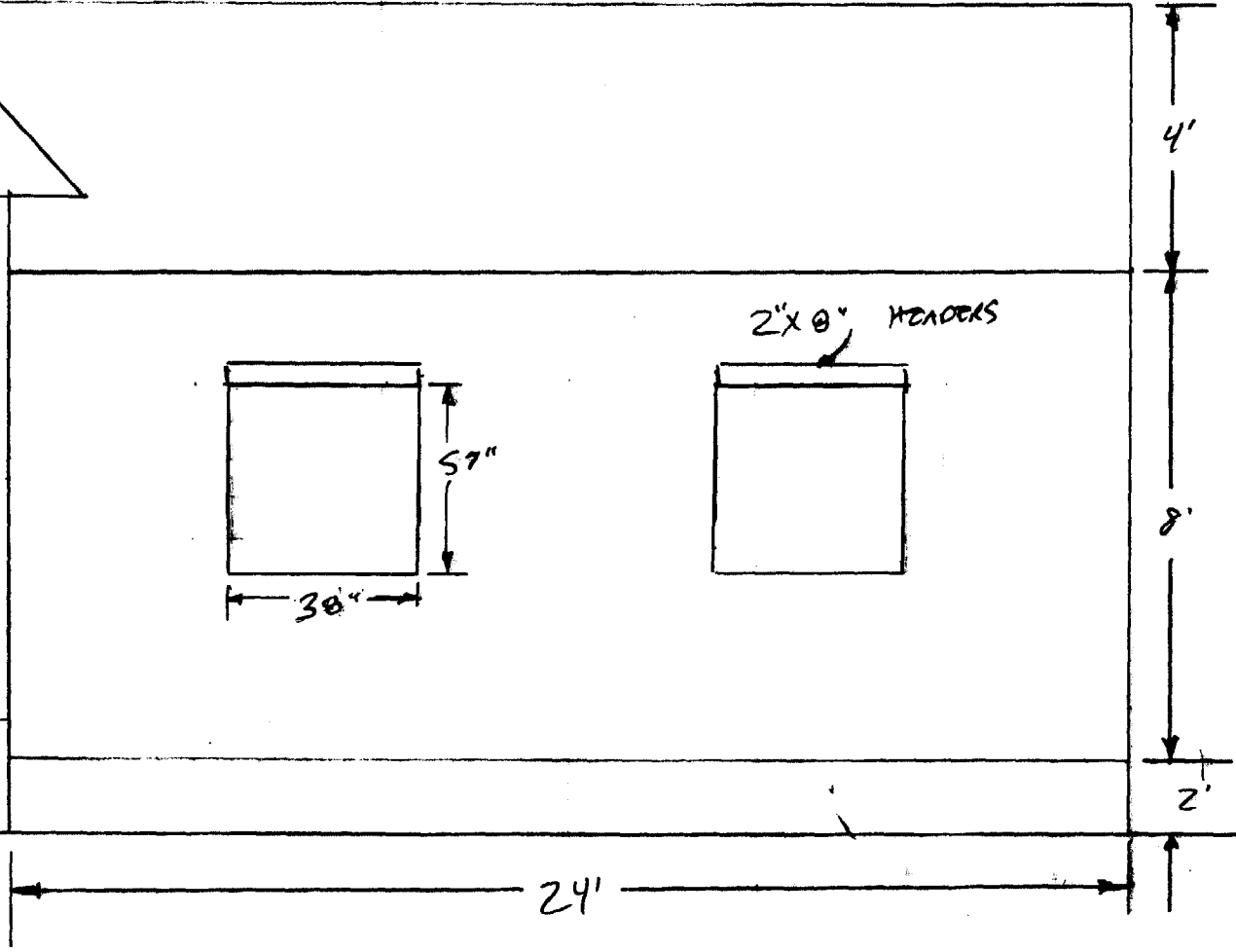
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**

- Foundation to be drilled + pinned  
 by rebar to existing foundation.  
 Wood structure to be fastened by  
 structural screws to existing base.  
 (5/16x4)

Existing Structure

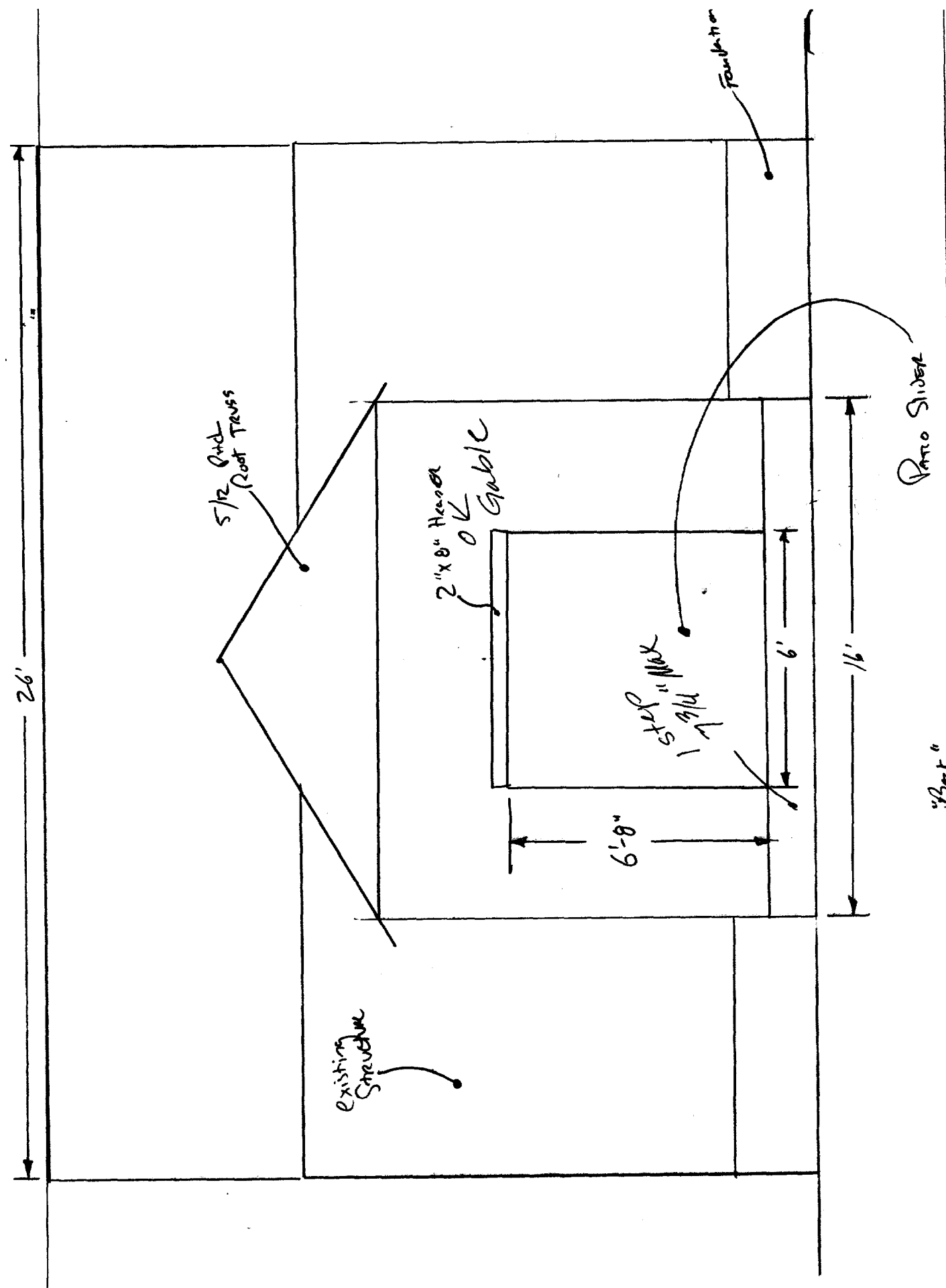


LEFT SIDE

Made in U.S.A.  
 13-782 500 SHEETS FILLER 5 SQUARE  
 42-981 50 SHEETS EYE-EASE 5 SQUARE  
 42-982 100 SHEETS EYE-EASE 5 SQUARE  
 42-983 200 SHEETS EYE-EASE 5 SQUARE  
 42-984 200 RECYCLED WHITE 5 SQUARE  
 42-985 100 RECYCLED WHITE 5 SQUARE  
 42-986 200 SHEETS EYE-EASE 5 SQUARE

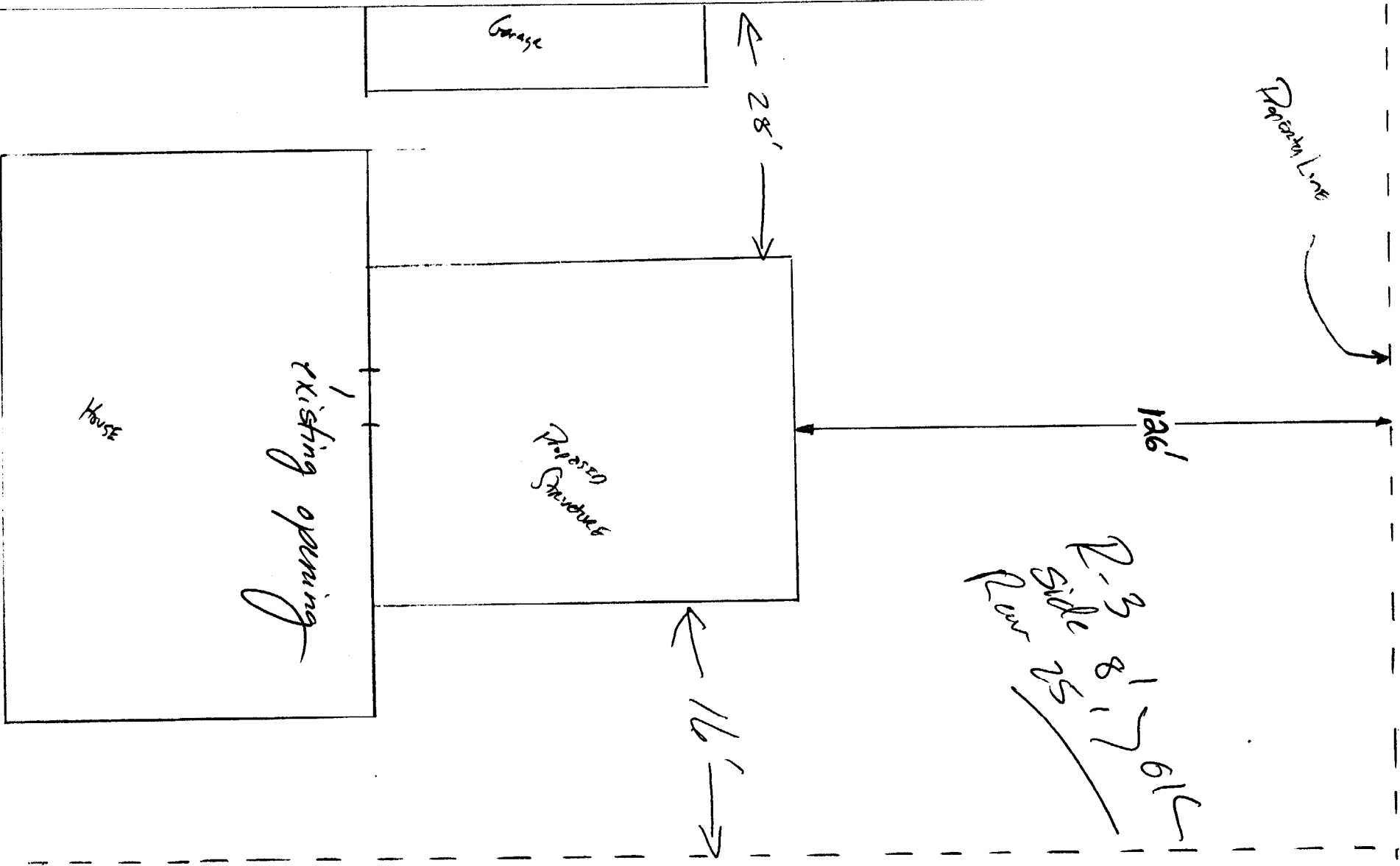






100 SHEETS, FULLER, 4 SQUARE  
 50 SHEETS, EYE BASE, 4 SQUARE  
 100 SHEETS, EYE BASE, 5 SQUARE  
 200 SHEETS, EYE BASE, 5 SQUARE  
 200 SHEETS, EYE BASE, 5 SQUARE  
 200 RECYCLED WHITE, 5 SQUARE  
 MADE IN U.S.A.







50 SHEETS PER CASE 8.50 SQAIRE  
100 SHEETS PER CASE 16.00 SQAIRE  
200 SHEETS PER CASE 32.00 SQAIRE  
400 SHEETS PER CASE 64.00 SQAIRE  
800 SHEETS PER CASE 128.00 SQAIRE  
1600 SHEETS PER CASE 256.00 SQAIRE  
3200 SHEETS PER CASE 512.00 SQAIRE  
6400 SHEETS PER CASE 1024.00 SQAIRE  
12800 SHEETS PER CASE 2048.00 SQAIRE  
25600 SHEETS PER CASE 4096.00 SQAIRE  
51200 SHEETS PER CASE 8192.00 SQAIRE  
102400 SHEETS PER CASE 16384.00 SQAIRE  
204800 SHEETS PER CASE 32768.00 SQAIRE  
409600 SHEETS PER CASE 65536.00 SQAIRE  
819200 SHEETS PER CASE 131072.00 SQAIRE  
1638400 SHEETS PER CASE 262144.00 SQAIRE  
3276800 SHEETS PER CASE 524288.00 SQAIRE  
6553600 SHEETS PER CASE 1048576.00 SQAIRE  
13107200 SHEETS PER CASE 2097152.00 SQAIRE  
26214400 SHEETS PER CASE 4194304.00 SQAIRE  
52428800 SHEETS PER CASE 8388608.00 SQAIRE  
104857600 SHEETS PER CASE 16777216.00 SQAIRE  
209715200 SHEETS PER CASE 33554432.00 SQAIRE  
419430400 SHEETS PER CASE 67108864.00 SQAIRE  
838860800 SHEETS PER CASE 134217728.00 SQAIRE  
1677721600 SHEETS PER CASE 268435456.00 SQAIRE  
3355443200 SHEETS PER CASE 536870912.00 SQAIRE  
6710886400 SHEETS PER CASE 1073741824.00 SQAIRE  
13421772800 SHEETS PER CASE 2147483648.00 SQAIRE  
26843545600 SHEETS PER CASE 4294967296.00 SQAIRE  
53687091200 SHEETS PER CASE 8589934592.00 SQAIRE  
107374182400 SHEETS PER CASE 17179869184.00 SQAIRE  
214748364800 SHEETS PER CASE 34359738368.00 SQAIRE  
429496729600 SHEETS PER CASE 68719476736.00 SQAIRE  
858993459200 SHEETS PER CASE 137438953472.00 SQAIRE  
1717986918400 SHEETS PER CASE 274877906944.00 SQAIRE  
3435973836800 SHEETS PER CASE 549755813888.00 SQAIRE  
6871947673600 SHEETS PER CASE 1099511627776.00 SQAIRE  
13743895347200 SHEETS PER CASE 2199023255552.00 SQAIRE  
27487790694400 SHEETS PER CASE 4398046511104.00 SQAIRE  
54975581388800 SHEETS PER CASE 8796093022208.00 SQAIRE  
109951162777600 SHEETS PER CASE 17592186044416.00 SQAIRE  
219902325555200 SHEETS PER CASE 35184372088832.00 SQAIRE  
439804651110400 SHEETS PER CASE 70368744177664.00 SQAIRE  
879609302220800 SHEETS PER CASE 140737488355328.00 SQAIRE  
1759218604441600 SHEETS PER CASE 281474976710656.00 SQAIRE  
3518437208883200 SHEETS PER CASE 562949953421312.00 SQAIRE  
7036874417766400 SHEETS PER CASE 1125899906842624.00 SQAIRE  
14073748835532800 SHEETS PER CASE 2251799813685248.00 SQAIRE  
28147497671065600 SHEETS PER CASE 4503599627370496.00 SQAIRE  
56294995342131200 SHEETS PER CASE 9007199254740992.00 SQAIRE  
112589990684262400 SHEETS PER CASE 18014398509481984.00 SQAIRE  
225179981368524800 SHEETS PER CASE 36028797018963968.00 SQAIRE  
450359962737049600 SHEETS PER CASE 72057594037927936.00 SQAIRE  
900719925474099200 SHEETS PER CASE 144115188075855872.00 SQAIRE  
1801439850948198400 SHEETS PER CASE 288230376151711744.00 SQAIRE  
3602879701896396800 SHEETS PER CASE 576460752303423488.00 SQAIRE  
7205759403792793600 SHEETS PER CASE 1152921504606846976.00 SQAIRE  
14411518807585587200 SHEETS PER CASE 2305843009213693952.00 SQAIRE  
28823037615171174400 SHEETS PER CASE 4611686018427387904.00 SQAIRE  
57646075230342348800 SHEETS PER CASE 9223372036854775808.00 SQAIRE  
115292150460684697600 SHEETS PER CASE 18446744073709551616.00 SQAIRE  
230584300921369395200 SHEETS PER CASE 36893488147419103232.00 SQAIRE  
461168601842738790400 SHEETS PER CASE 73786976294838206464.00 SQAIRE  
922337203685477580800 SHEETS PER CASE 147573952589676412928.00 SQAIRE  
1844674407370955161600 SHEETS PER CASE 295147905179352825856.00 SQAIRE  
3689348814741910323200 SHEETS PER CASE 590295810358705651712.00 SQAIRE  
7378697629483820646400 SHEETS PER CASE 1175739520717411303424.00 SQAIRE  
14757395258967641292800 SHEETS PER CASE 2351479041434822606848.00 SQAIRE  
29514790517935282585600 SHEETS PER CASE 4702958102869645213696.00 SQAIRE  
59029581035870565171200 SHEETS PER CASE 9405916205739290427392.00 SQAIRE  
117573952071741130342400 SHEETS PER CASE 18811832411478580854784.00 SQAIRE  
235147904143482260684800 SHEETS PER CASE 37623664822957161709568.00 SQAIRE  
470295810286964521369600 SHEETS PER CASE 75247329645914323419136.00 SQAIRE  
940591620573929042739200 SHEETS PER CASE 148494659291828646838272.00 SQAIRE  
1881183241147858085478400 SHEETS PER CASE 296989318583657293676544.00 SQAIRE  
3762366482295716170956800 SHEETS PER CASE 593473637167314587353088.00 SQAIRE  
7524732964591432341913600 SHEETS PER CASE 1186947274334629174706176.00 SQAIRE  
14849465929182864683827200 SHEETS PER CASE 2373894548669258349412352.00 SQAIRE  
29698931858365729367654400 SHEETS PER CASE 4747789097338516698824704.00 SQAIRE  
59347363716731458735308800 SHEETS PER CASE 9495578154677033397649408.00 SQAIRE  
118694727433462917470617600 SHEETS PER CASE 1913914548735406679412352.00 SQAIRE  
237389454866925834941235200 SHEETS PER CASE 3827829097470813358824704.00 SQAIRE  
474778909733851669882470400 SHEETS PER CASE 7655658194941626717649408.00 SQAIRE  
949557815467703339764940800 SHEETS PER CASE 15311316389883253435298816.00 SQAIRE  
191391454873540667941235200 SHEETS PER CASE 30622632779766506870597632.00 SQAIRE  
382782909747081335882470400 SHEETS PER CASE 61245265559533013741195264.00 SQAIRE  
765565819494162671764940800 SHEETS PER CASE 122490531119066027482390528.00 SQAIRE  
1531131638988325343529881600 SHEETS PER CASE 244826262238132054964781152.00 SQAIRE  
3062263277976650687059763200 SHEETS PER CASE 489652524476264109929562304.00 SQAIRE  
6124526555953301374119526400 SHEETS PER CASE 978905048952528219859124608.00 SQAIRE  
12249053111906602748239052800 SHEETS PER CASE 1949810637905056439718249216.00 SQAIRE  
24482626223813205496478115200 SHEETS PER CASE 3897621275800112879436498432.00 SQAIRE  
48965252447626410992956230400 SHEETS PER CASE 7793242551600225758872996864.00 SQAIRE  
97890504895252821985912460800 SHEETS PER CASE 1557648510320055451774593728.00 SQAIRE  
194981063790505643971824921600 SHEETS PER CASE 3115297020640110903549187456.00 SQAIRE  
389762127580011287943649843200 SHEETS PER CASE 6230594041280221807098376912.00 SQAIRE  
779324255160022575887299686400 SHEETS PER CASE 12461188082560443614196753824.00 SQAIRE  
155764851032005545177459372800 SHEETS PER CASE 24922376165120887228393507648.00 SQAIRE  
311529702064011090354918745600 SHEETS PER CASE 4930474041280221807098376912.00 SQAIRE  
623059404128022180709837691200 SHEETS PER CASE 9460948082560443614196753824.00 SQAIRE  
1246118808256044361419675382400 SHEETS PER CASE 18921896165120887228393507648.00 SQAIRE  
2492237616512088722839350764800 SHEETS PER CASE 37843792330241774456787015296.00 SQAIRE  
493047404128022180709837691200 SHEETS PER CASE 7660758462560443614196753824.00 SQAIRE  
946094808256044361419675382400 SHEETS PER CASE 14921496925120887228393507648.00 SQAIRE  
1892189616512088722839350764800 SHEETS PER CASE 30842993850241774456787015296.00 SQAIRE  
3784379233024177445678701529600 SHEETS PER CASE 75685987700483548913574035584.00 SQAIRE  
766075846256044361419675382400 SHEETS PER CASE 151211975400967097827148071168.00 SQAIRE  
1492149692512088722839350764800 SHEETS PER CASE 302423950801934195654296142336.00 SQAIRE  
3084299385024177445678701529600 SHEETS PER CASE 604847901603868391308592284672.00 SQAIRE  
7568598770048354891357403558400 SHEETS PER CASE 1209695803207736782617184569344.00 SQAIRE  
15121197540096709782714807116800 SHEETS PER CASE 242423950801934195654296142336.00 SQAIRE  
30242395080193419565429614233600 SHEETS PER CASE 484847901603868391308592284672.00 SQAIRE  
60484790160386839130859228467200 SHEETS PER CASE 969695803207736782617184569344.00 SQAIRE  
120969580320773678261718456934400 SHEETS PER CASE 1919391606415473565234369138688.00 SQAIRE  
24242395080193419565429614233600 SHEETS PER CASE 3838783212830947130468738277376.00 SQAIRE  
48484790160386839130859228467200 SHEETS PER CASE 7677566425661894260937476554752.00 SQAIRE  
96969580320773678261718456934400 SHEETS PER CASE 15355132851323788521874953109504.00 SQAIRE  
191939160641547356523436913868800 SHEETS PER CASE 30710265702647577043749906219008.00 SQAIRE  
383878321283094713046873827737600 SHEETS PER CASE 61475531405295142687499804438016.00 SQAIRE  
767756642566189426093747655475200 SHEETS PER CASE 122951062810590285374997688870336.00 SQAIRE  
1535513285132378852187495310950400 SHEETS PER CASE 245902125621180570749995777740672.00 SQAIRE  
3071026570264757704374990621900800 SHEETS PER CASE 491804251242361141499991555481344.00 SQAIRE  
6147553140529514268749980443801600 SHEETS PER CASE 923608502484722282999983110962688.00 SQAIRE  
12295106281059028537499768887033600 SHEETS PER CASE 1847037004969444705999966221925376.00 SQAIRE  
2459021256211805707499957774067200 SHEETS PER CASE 3694074009938889411999932443850752.00 SQAIRE  
49180425124236114149999155548134400 SHEETS PER CASE 7388148019877778823999864887701504.00 SQAIRE  
92360850248472228299998311096268800 SHEETS PER CASE 14776296039755557647999729775403008.00 SQAIRE  
184703700496944470599996622192537600 SHEETS PER CASE 29552592079511115295999455550806016.00 SQAIRE  
369407400993888941199993244385075200 SHEETS PER CASE 59105184159022230591998911101612032.00 SQAIRE  
738814801987777882399986488770150400 SHEETS PER CASE 11776296039755557647999729775403008.00 SQAIRE  
1477629603975555764799972977540300800 SHEETS PER CASE 23552592079511115295999455550806016.00 SQAIRE  
2955259207951111529599945555080601600 SHEETS PER CASE 49105184159022230591998911101612032.00 SQAIRE  
5910518415902223059199891110161203200 SHEETS PER CASE 98210368318044461183997822203224064.00 SQAIRE  
1177629603975555764799972977540300800 SHEETS PER CASE 19542592079511115295999455550806016.00 SQAIRE  
2355259207951111529599945555080601600 SHEETS PER CASE 47085184159022230591998911101612032.00 SQAIRE  
4910518415902223059199891110161203200 SHEETS PER CASE 94170368318044461183997822203224064.00 SQAIRE  
9821036831804446118399782220322406400 SHEETS PER CASE 188340736636088922367995644406448128.00 SQAIRE  
1954259207951111529599945555080601600 SHEETS PER CASE 376681473272177844735991288812896256.00 SQAIRE  
4708518415902223059199891110161203200 SHEETS PER CASE 7513629465443546914719825776257952.00 SQAIRE  
9417036831804446118399782220322406400 SHEETS PER CASE 14827258930887093829439651552515904.00 SQAIRE  
18834073663608892236799564440644812800 SHEETS PER CASE 2965451786171418765887930310511808.00 SQAIRE  
37668147327217784473599128881289625600 SHEETS PER CASE 5931703572342837531779860621023616.00 SQAIRE  
751362946544354691471982577625795200 SHEETS PER CASE 11823257144685675063559721242047328.00 SQAIRE  
1482725893088709382943965155251590400 SHEETS PER CASE 23646514289371350127119442484094656.00 SQAIRE  
296545178617141876588793031051180800 SHEETS PER CASE 47293028578742700254238884968189312.00 SQAIRE  
593170357234283753177986062102361600 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
1182325714468567506355972124204732800 SHEETS PER CASE 19646514289371350127119442484094656.00 SQAIRE  
2364651428937135012711944248409465600 SHEETS PER CASE 47293028578742700254238884968189312.00 SQAIRE  
4729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 189172114314910801016955559876757248.00 SQAIRE  
1964651428937135012711944248409465600 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
4729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
3729302857874270025423888496818931200 SHEETS PER CASE 94586057157455400508477779936378624.00 SQAIRE  
9458605715745540050847777993637862400 SHEETS PER CASE 18917211431491080101695559876757248.00 SQAIRE  
1891721143149108010169555987675724800 SHEETS PER CASE 37293028578742700254238884968189312.00 SQAIRE  
372930285787427

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

         **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

         **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

         **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X Joan Weeber 4/1/04  
Signature of Applicant/Designee Date

                  4/1/04  
Signature of Inspections Official Date

CBL 309-A-18 Building Permit #: 04-0340



# CITY OF PORTLAND, MAINE

Department of Building Inspections

4/1/04

Received from Sean Michan

Location of Work 1757 Forest Ave.

Cost of Construction \$ 31,000

Permit Fee \$ 300

Building (IL)  Plumbing (IS)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 309-A-18

Check #: 1240 Total Collected \$ 300

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy