

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Permit Number: 020545

Please Read Application And Notes, If Any, Attached

This is to certify that Hoglund Peter E & /Jase Construction  
has permission to Construct 26' x 30' single family and 21' x 20' attached garage w/ 10' x 12' deck  
AT 204 Lane Ave 308 B051001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in.  
**HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Handwritten Signature]*  
8/23/02  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 020549119	Issue Date: 23 2002	CBL: 308 B051001
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Location of Construction: 202 Lane Ave	Owner Name: Hoglund Peter E & / <i>Cacchi / Frustachi</i>	Owner Address: 56 Lane, <b>AVENUE OF PORTLAND</b>	Phone: 207-797-8898
Business Name:	Contractor Name: Jase Construction	Contractor Address: 8 Rosewood Lane Cape Elizabeth	Phone: 2077672490
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>R-3</i>

Past Use: Vacant Lot	Proposed Use: Single Family with Garage	Permit Fee: \$618.00	Cost of Work: \$85,000.00	CEO District: 0
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>8-22-02</i>	

Proposed Project Description:  
Construct 26' x 30' single family and 21' x 30' attached garage.

Signature: \_\_\_\_\_ Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: mmr	Date Applied For: 05/20/2002	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>n/a</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 6 zone</i> <input type="checkbox"/> Subdivision <i>n/a</i> <input checked="" type="checkbox"/> Site Plan <i># 2002-0125</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>8/15/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Application ID Number: **2-0545**

Department: **Zoning**

Status: **Approved with Conditions**

Permitted By: **Marge Schmuckal**

Comments: **204 Lane Ave**

Approval Date: **08/15/2002**

Original Date: **05/28/2002**

**IS A Single Permit** Name: **Marge Schmuckal** Date: **08/15/2002**

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

Your front and side setbacks are at the exact minimum. Please note that the Code Enforcement Officer SHALL require verification thru a surveyor that the foundation is placed on the lot correctly and within the required setbacks.

Create Date: **05/21/2002** By: **mmr** Update Date: **08/15/2002** By: **mes**

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

Date

Signature of Inspections Official

Date

CBL: 308 B-57 Building Permit #: 020545

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2002-0125  
Application I. D. Number

**Hoglund Peter E &**  
Applicant  
**56 Lane Ave , Portland , ME 04103**  
Applicant's Mailing Address

**05/20/2002**  
Application Date

**Single Family w/attached garage**  
Project Name/Description

Consultant/Agent  
**Applicant Ph: (207) 797-8898 - Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**204 - 204 Lane Ave , Portland, Maine**  
Address of Proposed Site  
**308 B051001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**26' x 30'**  
Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **05/21/2002**

**DRC Approval Status:**

Approved

See Attached

Denied

*Revised Plans Attached*

Approval Expiration **06/21/2003** Extension to \_\_\_\_\_  
 Additional Sheets Attached

Condition Compliance

**Jay Reynolds** **06/21/2002**  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2002-0125**  
Application I. D. Number

**05/20/2002**  
Application Date

**Single Family w/attached garage**  
Project Name/Description

**Hoglund Peter E &**  
Applicant  
**56 Lane Ave , Portland , ME 04103**  
Applicant's Mailing Address

Consultant/Agent  
**Applicant Ph: (207) 797-8898      Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**204 - 204 Lane Ave , Portland, Maine**  
Address of Proposed Site  
**308 B051001**  
Assessor's Reference: Chart-Block-Lot

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 204 LANE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

62-0545

# All Purpose Building Permit Application

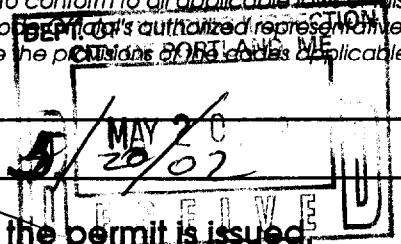
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>204 LANE AVE. PORTLAND, ME</u>		
Total Square Footage of Proposed Structure <u>1600<sup>+</sup> HOUSE &amp; 690<sup>+</sup> ST. GARAGE</u>	Square Footage of Lot <u>8100 SF.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>308</u> Block# <u>B</u> Lot# <u>51</u>	Owner: <u>PETER HOGlund.</u> <u>56 LANE AVE</u> <u>PORTLAND, ME</u>	Telephone: <u>797-8898</u>
Lessee/Buyer's Name (If Applicable) <u>JOS. FRUSTACI</u>	Applicant name, address & telephone: <u>JOS. FRUSTACI</u> <u>8 ROSEWOOD DR</u> <u>CAPE ELIZ, ME 04107</u> <u>207-767-2490</u>	Cost Of Work: \$ <u>85,000<sup>00</sup></u> Fee: \$ <u>918<sup>00</sup></u>
Current use: <u>VACANT LOT</u>		
If the location is currently vacant, what was prior use: <u>NONE.</u>		
Approximately how long has it been vacant: <u>NONE</u>		
Proposed use: <u>New Home Construction / Single Family 26' x 30'</u>		
Project description: <u>CONSTRUCTION OF SINGLE-FAMILY HOME</u> <u>Attached Garage 21 x 30'</u>		
Contractor's name, address & telephone: <u>JOS. FRUSTACI DBA JASE CONSTRUCTION</u> <u>8 ROSEWOOD LANE, CAPE ELIZ, ME 04107 207 767 2490. *</u>		
Who should we contact when the permit is ready: <u>ARCHIE GIOSSI</u>		
Mailing address: <u>1184 WASHINGTON AVE</u> <u>PORTLAND, ME 04103 207 797-2532 or 232 5343</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>232-5343</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City of Portland's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the rules and regulations applicable to this permit.

Signature of applicant: 	Date: <u>5/20/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

\$ 618.00 site  
\$ 300.00 plan  
\$ 918.00

<b>Second Floor Joist Species</b> <b>Dimensions and Spacing</b> (Table 503.3.1(1) & Table 503.3.2(1))	2x10's 16.0c	
<b>Attic or additional Floor Joist Species</b> <b>Dimensions and Spacing</b> (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	None	
<b>Stairway Treads &amp; Risers</b> (Section 314)	7 7/16" T 10" R 3 SEES	
<b>Stairway Width</b> (Section 314)		
<b>Stairway Headroom</b> <b>Guardrails and Handrail</b> (Section 314)	6'8"	
<b>Guardrails and Handrail</b> (Section 315)	36" w/ OPENINGS LESS THAN 4"	
<b>Roof Rafter; Pitch, Span, Spacing &amp;          Dimension</b> (Table 802.3.2(7))	TRUSSES	
<b>Sheathing; Floor, Wall and roof</b> (Table 503.2.1(1))	FLOOR - 3/4 T+G ROOF - 5/8 OSB WALLS 7/16 OSB 1/2" GYP	
<b>Fastener Schedule</b>		



Soil type/Presumptive Load Value (Table 401.4.1) SANDY - 3000 PSF

Component	Plan Reviewer	Inspection/Date/Findings
<b>Footing Dimensions/Depth</b> (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	8" x 20"	
<b>Foundation Drainage Dampproofing</b> (Section 406)	ASPHALT DAMP 4" PVC / STONE / FABRIC	
<b>Crawls Space ONLY</b> <b>Ventilation Section 409.1</b>	N/A	
<b>Anchor Bolts/Straps</b> (Section 403.1.4)	<sup>12 IN FROM CORNERS</sup> 1/2" BOLTS 6' O.C.	
<b>Lally Column Type, Spacing and footing sizes</b> (Table 502.3.4(2))	12" x 24" FOOTINGS 3 1/2" STEEL LALLY - 6'6" SPACED	
<b>Built-Up Wood Center Girder Dimension/Type</b> (Table 502.3.4(2))	3 - 2 x 12'S	
<b>Sill/Band Joist Type &amp; Dimensions</b>	2x6 - PT?	
<b>First Floor Joist Species Dimensions and Spacing</b> (Table 503.3.1(1) & Table 503.3.2(1))	2x10'S 16" O.C. 14' MAX. SPAN	

(Table 602.3(1) & (2))		
Private Garage (Section 309 and Section 407 1999 BOCA)	5/8" TYD X ROCK.	
Egress Windows (Section 310)	3050 RIVCO'S	
Roof Covering (Chapter 9)	ASPHALT w/ #15 FELT.	

# Question of Subdivision - ~~ok~~

Applicant: Giobbi/Frustaci -

Date:

Address: 20~~A~~ Lane Ave

C-B-L: 308-B-051

## CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

# 02-0545

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work -

New single family home with attached GARAGE  
REAR 10'x12' Deck

Sewage Disposal -

City

Lot Street Frontage -

75' shown

Front Yard -

25' req - 25' scaled

Rear Yard -

25' req - 47' scale

Side Yard -

14' req for 2 story on left; 8' req on right

Projections -

8/6/02 Added 10'x12' Deck to rear

Width of Lot -

75' req - 75' shown

Height -

35' MAX 25.25' scaled to ridge

Lot Area -

6,500<sup>±</sup> 8,100<sup>±</sup> given

Lot Coverage/ Impervious Surface -

25% MAX or 2025<sup>±</sup> MAX sqft.

Area per Family -

6,500<sup>±</sup>

Off-street Parking -

2 req. - 1 CAR GARAGE; 1 indiv. needs to revise plot plan

Loading Bays -

N/A

Site Plan -

minor/minor #2002-0125

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

Panel 6 Zone X

Question on Subdivision - ~~not yet~~ - 8/14/02 - J. Frustaci Submitted chain of title from Bob Green LAW - ok

23 x 30 = 690  
26 x 30 = 780  
10 x 12 = 120  
590<sup>±</sup>

**WARRANTY DEED**  
**Maine Statutory Short Form**

***KNOW ALL PERSONS BY THESE PRESENTS, That***

**Peter Hoglund and Annette Hoglund**

of South Portland, County of Cumberland, State of Maine,

for consideration paid, grant to **Joseph A. Frustaci**

of South Portland, County of Cumberland, State of Maine,

whose mailing address is PO Box 2351, South Portland, Maine 04106

with warranty covenants, the land in Portland, County of Cumberland, and State of Maine, described on the attached **EXHIBIT A**.

**WITNESS** our/my hand(s) and seal(s) this 13th day of May, 2002.

***Signed, Sealed and Delivered in presence of:***

Shawn R. Megathlin  
Witness to both

Peter Hoglund  
Peter Hoglund  
Annette Hoglund  
Annette Hoglund

**STATE OF MAINE**

May 13, 2002

**COUNTY OF Cumberland**

Then personally appeared the above named Peter Hoglund and Annette Hoglund and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Shawn R. Megathlin  
~~Notary Public~~  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**Shawn R. Megathlin**  
**Attorney at Law**

MAINE REAL ESTATE TAX PAID

**Exhibit A – Property Description**

A certain lot or parcel of land, with improvements thereon, situated on the easterly side of Lane Avenue, in the City of Portland, State of Maine, bounded and described as follows:

Beginning on the easterly side of Lane Avenue at the northerly corner now or formerly of James M. Hoglund as described in the deed recorded in the Cumberland County Registry of Deeds in Book 15974, Page 126 and a 5/8 inch capped iron rod found marked "2303";

Thence, SOUTH 58° 44' 45" EAST, along land now or formerly of James M. Hoglund, 108.00 FEET, to land now or formerly of Alfred J. Waxler and a 5/8 inch capped iron rod marked "2303", said iron rod has Maine State Plane Coordinates of N 313105.8071, E 2913447.6983;

Thence NORTH 31° 15' 15" EAST, along land now or formerly of Alfred J. Waxler, 75.00 FEET, to land now or formerly of Jill Welch Barker as described in the deed recorded in the Cumberland County Registry of Deeds in Book 9288, Page 74;

Thence, NORTH 58° 44' 45" WEST, along land now or formerly of Jill Welch Barker, 108.00 FEET, to the easterly side of Lane Avenue;

Thence, SOUTH 31° 15' 15" WEST, along Lane Avenue, 75.00 FEET to the point of beginning.

Containing 8,100 square feet, more or less.

Bearings refer to Maine State Plane Coordinates System (West Zone) NAD 83.

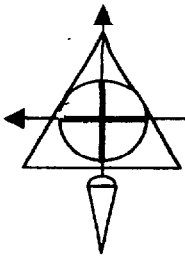
*This is the online Subdivision*  
 Meaning and intending the same premises which was conveyed from Peter Hoglund, Inc and Peter Hoglund to Peter Hoglund and Annette Hoglund by a Warranty Deed dated July 28, 1986 and recorded in the Cumberland County Registry of Deeds in Book 7292, Page 286. Reference is also made to the following documents recorded in the Cumberland County Registry of Deeds as follows: Book 6287, Page 250; Book 6380, Page 172; Book 6405, Page 105; and Book 7096, Page 29.

RECEIVED  
 RECORDED REGISTRY OF DEEDS

2002 MAY 15 PM 1:33

CUMBERLAND COUNTY

*John B. O'Brien*



# BACK BAY BOUNDARY, INC.

LAND SURVEYING

*Angus Subdivisions  
Questions*

August 13, 2002

Chain of title to lots on Lane Avenue Portland, Maine owned by Peter E. Hoglund Sr. and Annette Hoglund.

Original lot purchased on October 31, 1983 by Peter E. Hoglund Sr. and Annette Hoglund. Recorded in Book 6380, page 172 in the Cumberland County Registry of Deeds on *January 27, 1984.*

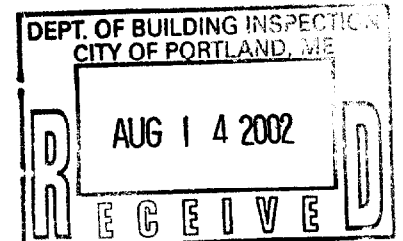
1. First parcel conveyed on May 9, 1990 to son Peter E. Hoglund Jr. Parcel described in deed recorded in Book 9165, page 331 described as being 200 feet by 108 feet.
2. Second lot conveyed out to non-blood relative Jill Welch Barker on August 22, 1990 described in deed recorded in Book 9288, page 74 as being 75 feet by 108 feet.
3. Third lot conveyed to son James M. Hoglund on October 19, 2000 described in Book 15704 page 103 as being 75 feet by 108 feet.

and daughter-in-law on approximately 158 feet by 108 feet. Mentioned in page 138. *X*

non-blood relative Joseph Frostacia 2002. to a non-blood relative.

conveyed every 5 years does not

*MARGE -  
I HOPE THIS  
ANSWERS YOUR QUESTIONS  
REGARDING 202 LANE  
AVG AND THE  
TRANSFER OF THE  
LOT TO MR -  
PLEASE CALL MR @  
318-7110  
IS NOT ADEQUATE  
Thank you  
Joseph Frostacia*



se number 2303

4-2855

[dary@cs.com](mailto:dary@cs.com)

[indary.com](http://indary.com)

Fax. (207) 761-2010

A. A bill of sale indicating the name, address, dealer registration number and sales tax certificate number of the person who sold or provided the manufactured housing to the buyer locating the housing in the municipality; or

B. If no such bill of sale is presented, evidence of certification of payment of the sales tax in accordance with Title 36, section 1760, subsection 40, and Title 36, section 1952-B.

In municipalities which require any type of permit for manufactured housing, the permit is deemed to be not approved or valid until payment of the sales tax has been certified.

#### Municipal Commercial Landfill Moratoria

#### § 4359. State policy relating to municipal commercial landfill facilities moratoria

It is the policy of this State, with respect to commercial landfill facilities:

1. **State and municipal control.** To affirm the importance of state and municipal control over the establishment of new commercial landfill facilities and over the substantial expansion of existing commercial landfill facilities; and

2. **Recognition of home rule authority.** To recognize that any municipality may, under its home rule authority, enact a moratorium on the issuance or processing of any municipal permit for a new commercial landfill facility or the substantial expansion of a commercial landfill facility, as defined by Title 38, section 1303, subsection 11-B.

#### Subdivisions

#### § 4401. Definitions

As used in this subchapter, unless the context otherwise indicates, the following terms have the following meanings.

1. **Densely developed area.** "Densely developed area" means any commercial, industrial or compact residential area of 10 or more acres with an existing density of at least one principal structure per 2 acres.

2. **Dwelling unit.** "Dwelling unit" means any part of a structure which, through sale or lease, is intended for human habitation, including single-family and multifamily housing, condominiums, apartments and time-share units.

2-A. **Freshwater wetland.** "Freshwater wetland" means freshwater swamps, marshes, bogs and similar areas which are:

A. Inundated or saturated by surface or ground water at a frequency and for a duration sufficient to support, and which under normal circumstances do support, a prevalence of wetland vegetation typically adapted for life in saturated soils; and

B. Not considered part of a great pond, coastal wetland, river, stream or brook.

These areas may contain small stream channels or inclusions of land that do not conform to the criteria of this subsection.

3. **Principal structure.** "Principal structure" means any building or structure in which the main use of the premises takes place.

4. **Subdivision.** "Subdivision" means the division of a tract or parcel of land into 3 or more lots within any 5-year period that begins on or after September 23, 1971. This definition applies whether the division is accomplished by sale, lease, development, buildings or otherwise. The term "subdivision" also includes the division of a new structure or structures on a tract or parcel of land into 3 or more dwelling units within a 5-year period, the construction or placement of 3 or more dwelling units on a single tract or parcel of land and the division of an existing structure or structures previously used for commercial or industrial use into 3 or more dwelling units within a 5-year period.

A. In determining whether a tract or parcel of land is divided into 3 or more lots, the first dividing of the tract or parcel is considered to create the first 2 lots and the next dividing of either of these first 2 lots, by whomsoever accomplished, is considered to create a 3rd lot, unless:

(1) Both dividings are accomplished by a subdivider who has retained one of the lots for the subdivider's own use as a single-family residence or for open space land as defined in Title 36, section 1102, for a period of at least 5 years before the 2nd dividing occurs; or

(2) The division of the tract or parcel is otherwise exempt under this subchapter.

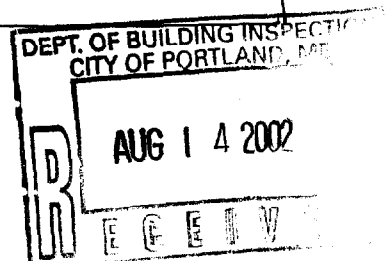
B. The dividing of a tract or parcel of land and the lot or lots so made, which dividing or lots when made are not subject to this subchapter, do not become subject to this subchapter by the subsequent dividing of that tract or parcel of land or any portion of that tract or parcel. The municipal reviewing authority shall consider the existence of the previously created lot or lots in reviewing a proposed subdivision created by a subsequent dividing.

C. A lot of 40 or more acres shall not be counted as a lot, except:

(1) When the lot or parcel from which it was divided is located entirely or partially within any shoreland area as defined in Title 38, section 435, or a municipality's shoreland zoning ordinance; or

(2) When a municipality has, by ordinance, or the municipal reviewing authority has, by regulation, elected to count lots of 40 or more acres as lots for the purposes of this subchapter when the parcel of land being divided is located entirely outside any shoreland area as defined in Title 38, section 435, or a municipality's shoreland zoning ordinance.

D. A division accomplished by devise, condemnation, order of court, gift to a person related to the donor by blood, marriage or adoption or a gift to a municipality or by the transfer of any interest in land to the owner of land abutting that land does not create a lot or lots for the purposes of this definition, unless the intent of the transferor in any transfer or gift within this paragraph is to avoid the objectives of this subchapter. If the real estate exempt under this paragraph by a gift to a person related to the donor by blood, marriage or adoption is transferred within 5 years to another person not related to the donor of the exempt real estate by blood, marriage



**From:** Marge Schmuckal  
**To:** ALEX JAEGERMAN; Sarah Hopkins  
**Date:** Thu, Aug 8, 2002 10:20 AM  
**Subject:** Euclid Amber subdivision -approved plat for Lane Ave

This subdivision was approved prior to my tenure. I am questioning what may be a recent subdivision of a larger piece of land on Lane Avenue that was previously owned by Peter & Annette Hoglund. But I do not have a copy of that approved subdivision plan. Can I get a copy of that approved subdivision plan as soon as possible?

Thanks,  
Marge

**CC:** MARK ADELSON; PENNY LITTELL

8/14/02  
Received  
Breakdown  
from Robert  
Greenlaw



Planning Department



Jay Reynolds  
Development Review  
Coordinator

CITY OF PORTLAND

~~Large~~  
Revised Site Plan for  
204 West Ave.

(Add all force main  
function lines)

A large, stylized handwritten signature, likely belonging to Jay Reynolds, written in black ink.

Marage S.

The papers you requested.

1. Legal Description of Same for Lot.

2. Deck Addition to site plan.

Archib G. G. G.  
232-5343

7252951  
FAX

BK7292PG0286

36668

WARRANTY DEED  
Corporate Grantor

**Know all Men by these Presents,**

**That** Peter Hoglund, Inc. and Peter Hoglund

a Corporation organized and existing under the laws of the State of Maine  
and having a place of business at 56 Lane Avenue, Portland  
in the County of Cumberland and State of Maine  
in consideration of one dollar and other valuable consideration

paid by Peter Hoglund and Annette Hoglund

whose mailing address is 56 Lane Avenue, Portland, Maine

the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey  
unto the said Peter Hoglund and Annette Hoglund

their heirs and assigns forever,

A certain lot or parcel of land located in Portland, bounded and described as follows:

Twenty-one certain lots or parcels of land situated on the southeasterly side of Lane Avenue in said Portland and being lots numbered 28 through 48 inclusive, as shown on said plan made for Mrs. E. H. Cushman, September 1916, by E. C. Jordan & Co., recorded in Cumberland County Registry of Deeds in Plan Book 13, Page 67. Each of said lots measures 50 feet on said Lane Avenue and is 108 feet in depth.

Also a certain lot or parcel of land situated on the southeasterly side of Lane Avenue in said Portland and bounded and described as follows Beginning at a point on the southeasterly side of said Lane Avenue at the northwesterly side of Lot No. 48, as shown on said plan made for Mrs. E. H. Cushman; thence running southwesterly by said Lane Avenue to an angle in said Avenue at the point where the street narrows; thence running northwesterly to the southeasterly side line of said street, as shown on said plan; thence running southwesterly by the southeasterly side line of Lane Avenue and said line extended at distance of approximately 550 feet to the land of parties unknown; thence running southeasterly by said line of parties unknown to land now or formerly of Alice B. Farnham; thence running northeasterly by said land of Alice B. Farnham to the southerly corner of said Lot No. 48; thence running northwesterly by the southwesterly line of said Lot No. 48 to Lane Avenue and the point of beginning. Together with all the right, title and interest in and to said Lane Avenue.

Being the same premises conveyed to grantor herein by deed of Newman Development Corporation dated March 12, 1986 and recorded in the Cumberland County Registry of Deeds at Book 7096, Page 29.

The above described premises are hereby conveyed subject to an outstanding mortgage from Newman Development Corporation to Spes, Inc. dated July, 1982 and recorded in said Registry at Book 5056, Page 228.

A120-10  
R120-04

# AGREEMENT TO SELL REAL ESTATE

PETER & ANNETTE HOGKUND

TOS. A. FRUSTACI & B/A JASE CONSTRUCTION

PO. BOX 2351 SO. PORTLAND, ME 04116

\_\_\_\_\_, of \_\_\_\_\_ as Seller, and \_\_\_\_\_ of \_\_\_\_\_ as Buyer, hereby agree that the Seller shall sell and the Buyer shall buy the following described property UPON THE TERMS AND CONDITIONS HEREINAFTER SET FORTH, which shall include the STANDARDS FOR REAL ESTATE TRANSACTIONS set forth within this contract.

308-13-51) 1. LEGAL DESCRIPTION of real estate located in PORTLAND (ASSESSOR'S TAX MAP AS MAP) County, State of MAINE:  
See legal Desc.

2. PURCHASE PRICE \$ 45,900.00 Dollars. Method of Payment: CERTIFIED CHECK

- (a) Deposit to be held in trust by Sellers \$ 500.00
- (b) Approximate principal balance of first mortgage to which conveyance shall be subject, if any, Mortgage holder: \_\_\_\_\_ \$ 0  
Interest \_\_\_\_\_ % per annum: Method of payment \_\_\_\_\_
- (c) Other: \_\_\_\_\_ \$ 0
- (d) Cash, certified or local cashier's check on closing and delivery of deed (or such greater or lesser amount as may be necessary to complete payment of purchase price after credits, adjustments and prorations). \$ 45,400.00

3. PRORATIONS: Taxes, insurance, interest, rents and other expenses and revenue of said property shall be prorated as of the date of closing.

4. RESTRICTIONS, EASEMENTS, LIMITATIONS: Buyer shall take title subject to: (a) Zoning, restrictions, prohibitions and requirements imposed by governmental authority, (b) Restrictions and matters appearing on the plat or common to the subdivision, (c) Public utility easements of record, provided said easements are located on the side or rear lines of the property, (d) Taxes for year of closing, assumed mortgages, and purchase money mortgages, if any. (e) Other: SALE SUBJECT TO CITY OF PORTLAND ISSUING & BUYING

10. LEASES: Seller, not less than 15 days before closing, shall furnish to Buyer copies of all written leases and estoppel letters from each tenant specifying the nature and duration of the tenant's occupancy, rental rates and advanced rent and security deposits paid by tenant. If Seller is unable to obtain such letters from tenants, Seller shall furnish the same information to Buyer within said time period in the form of a seller's affidavit, and Buyer may contact tenants thereafter to confirm such information. At closing, seller shall deliver and assign all original leases to Buyer.

11. MECHANICS LIENS: Seller shall furnish to Buyer an affidavit that there have been no improvements to the subject property for 90 days immediately preceding the date of closing, and no financing statements, claims of lien or potential lienors known to Seller. If the property has been improved within that time, Seller shall deliver releases or waivers of all mechanics liens as executed by general contractors, subcontractors, suppliers and materialmen, in addition to the seller's lien affidavit, setting forth the names of all general contractors, subcontractors, suppliers and materialmen and reciting that all bills for work to the subject property which could serve as basis for mechanics liens have been paid or will be paid at closing time.

12. PLACE OF CLOSING: Closing shall be held at the office of the Seller's attorney or as otherwise agreed upon.

13. TIME IS OF THE ESSENCE: Time is of the essence of this Sale and Purchase Agreement.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Building Copy**

**2002-0125**

Application I. D. Number

**5/20/02**

Application Date

**Single Family w/attached garage**

Project Name/Description

**Hoglund Peter E &**

Applicant

**56 Lane Ave , Portland , ME 04103**

Applicant's Mailing Address

Consultant/Agent

**Applicant Ph: (207) 797-8898      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**204 - 204 Lane Ave , Portland, Maine**

Address of Proposed Site

**308 B051001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**26' x 30'**

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **5/21/02**

**Building Approval Status:**

Reviewer \_\_\_\_\_

- Approved**       **Approved w/Conditions**  
See Attached       **Denied**

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**       **Required\***       **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |









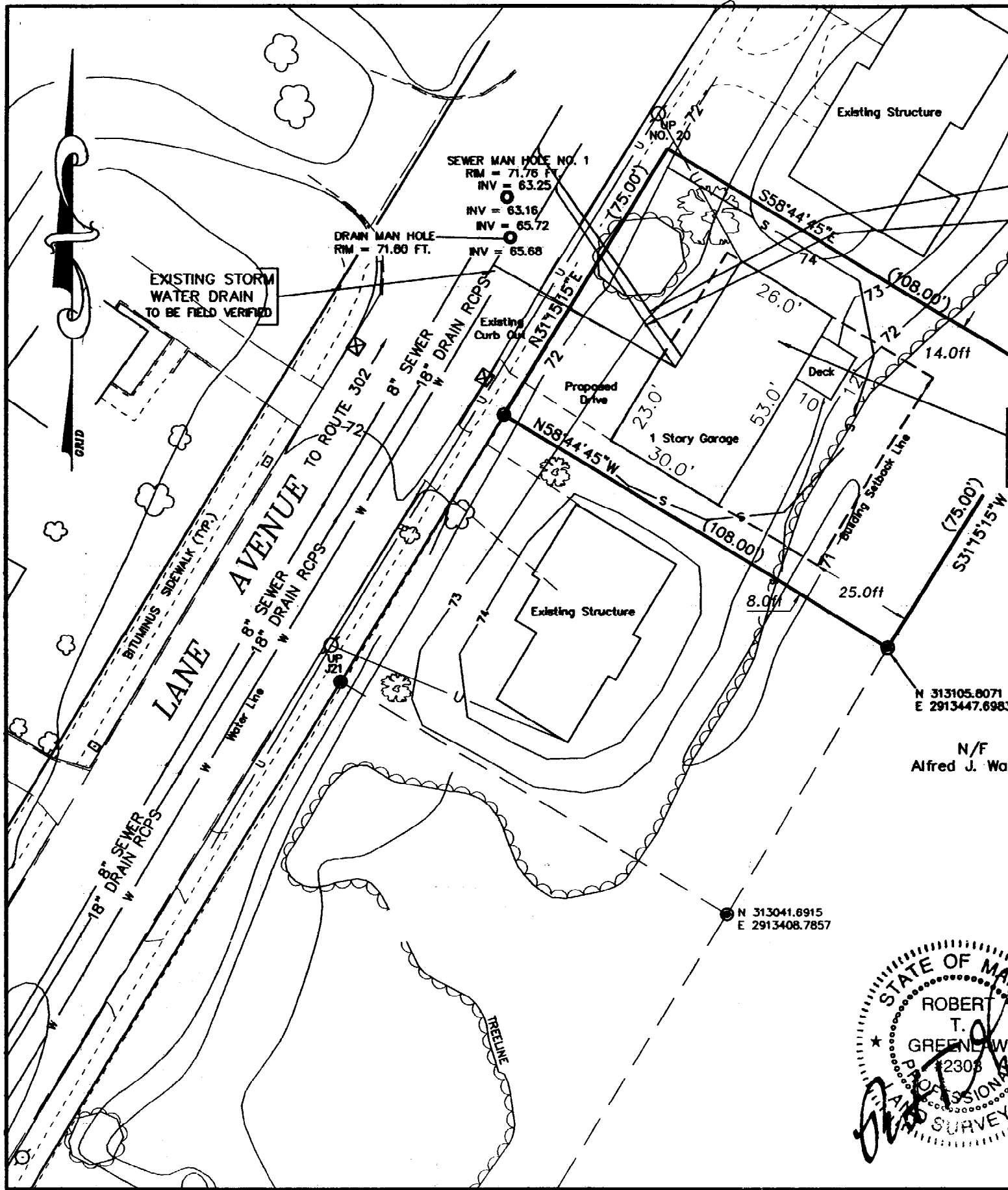




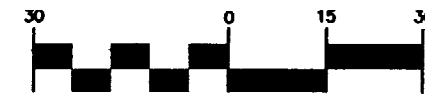








**GRAPHIC SCALE**



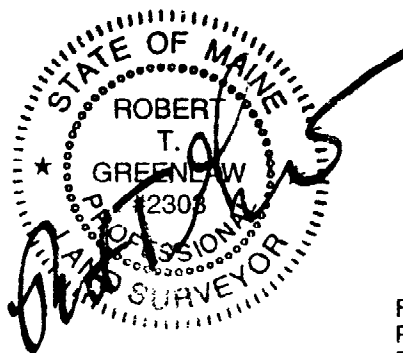
( IN FEET )  
1 inch = 30 ft.

**GENERAL NOTES:**

- OWNER OF RECORD: PETER E. & ANNETTE HOGLUND AS RECORDED IN BOOK 7292 PAGE 286 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
- THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:  
LIETZ SOKKISHA ELECTRONIC DISTANCE METER.  
LIETZ SDR 24 DATA COLLECTOR.
- BEARINGS ARE BASED UPON MAINE STATE PLANE COORDINATES SYSTEM (WEST ZONE) NAD 83.
- AREA OF THE PARCEL: 8,100 SQUARE FT. OR .19 ACRES.
- VERTICAL DATUM IS BASED UPON THE INVERTS OF SEWER MAN HOLE NO. 1. THE ELEVATION REFERENCE WAS OBTAINED FROM THE PORTLAND WATER DISTRICT INFILTRATION-INFLOW ANALYSIS PLAN DATED 1988 JOB NO. 51039.00.
- PARCEL FALLS WITHIN THE R-3 AND FH ZONES:  
SIDE SETBACK = 14 FT. 2 STORY RES.  
FRONT AND REAR SETBACKS = 25 FT.
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- SILT FENCE TO BE ADDED DURING CONSTRUCTION (SEE ATTACHED).
- PERIMETER DRAIN TO BE INSTALLED ALONG FOOTINGS OF FOUNDATION.
- EXISTING CONTOURS ARE TO REMAIN UNCHANGED WITH THE EXCEPTION OF LANDSCAPING.

**LEGEND**

- Abutter Line
- Property Line
- Street Line
- u — Overhead Utility
- ⊙ Utility Pole
- Edge of traveled way
- s — Silt Fence
- Capped 5/8" Rebar Found  
Registration Number 2303.
- ⊙ Iron Pipe or Solid Pin Found
- ◁ Survey Instrument Point
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- ☒ Catch Basin
- ⊗ Deciduous tree to be added



ROBERT T. GREENLAW, P.L.S.  
PRESIDENT, BACK BAY BOUNDARY, INC.  
REGISTRATION #2303

DATE: AUGUST 05, 2002

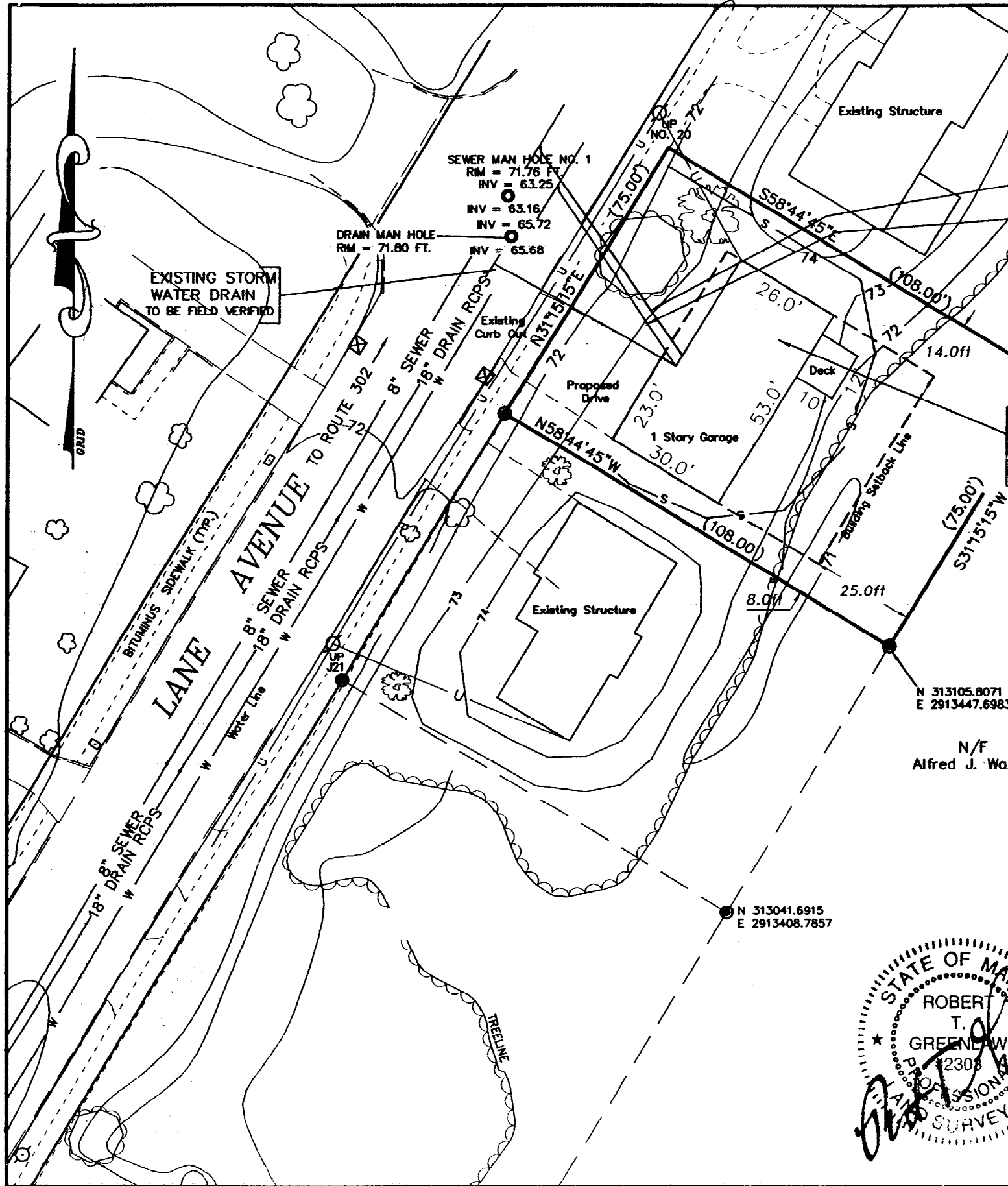
REVISED: 08-05-2002 ADDED PROPOSED DECK  
REVISED: 06-20-2002 ADDED EXISTING STORM DRAIN

**MINOR SITE PLAN**  
**SHOWING PROPOSED 2 STORY HOME**  
**AT 204 LANE AVENUE PORTLAND, MAINE**  
**ARCHIE GIOBBI**

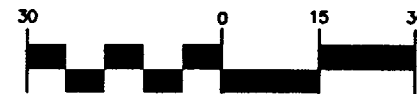
DRAWN BY: TGB  
CHECKED BY: RTG  
SCALE: 1" = 30'  
DATE: 03-30-2002  
JOB NUMBER: 200228  
SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
PROFESSIONAL LAND SURVEYING  
65 NEWBURY STREET  
PORTLAND, MAINE  
207-774-2855 FAX 207-761-2010  
DRAWER: 2002 NO: 28





GRAPHIC SCALE



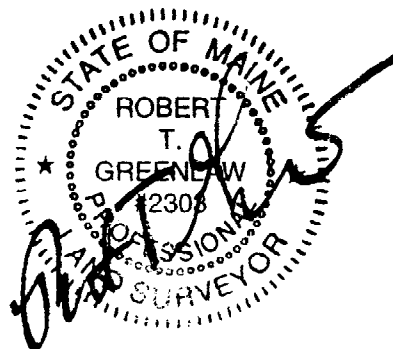
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LEGEND

- Abutter Line
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- u — Overhead Utility
- Utility Pole
- - - Edge of traveled way
- s — Silt Fence
- Capped 5/8" Rebar Found Registration Number 2303.
- Iron Pipe or Solid Pin Found
- ◁ Survey Instrument Point
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- ☒ Catch Basin
- ☼ Deciduous tree to be added



ROBERT T. GREENLAW, P.L.S.  
PRESIDENT, BACK BAY BOUNDARY, INC.  
REGISTRATION #2303

DATE: AUGUST 05, 2002

REVISED: 08-05-2002 ADDED PROPOSED DECK  
REVISED: 08-20-2002 ADDED EXISTING STORM DRAIN

MINOR SITE PLAN  
SHOWING PROPOSED 2 STORY HOME  
AT 204 LANE AVENUE PORTLAND, MAINE

FOR:  
ARCHIE GIOBBI

DRAWN BY: TGB  
CHECKED BY: RTG  
SCALE: 1" = 30'  
DATE: 03-30-2002  
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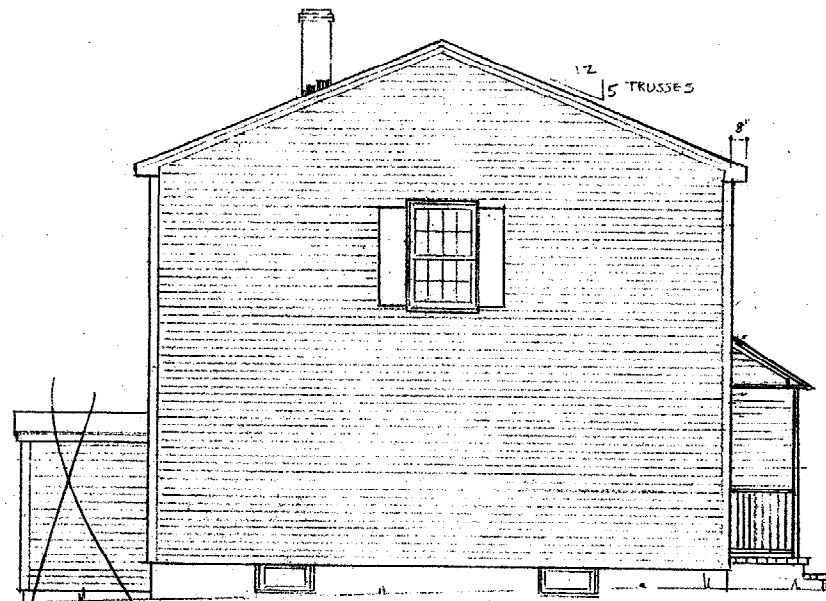
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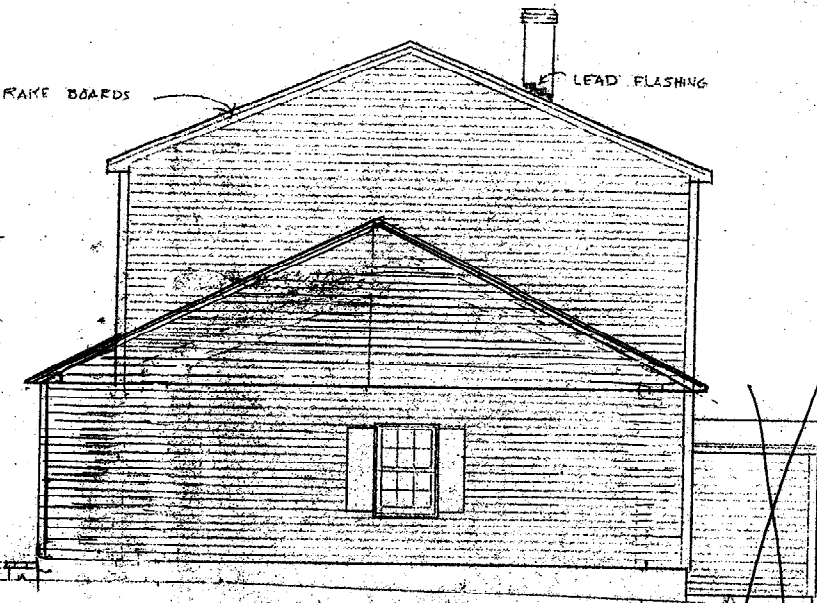




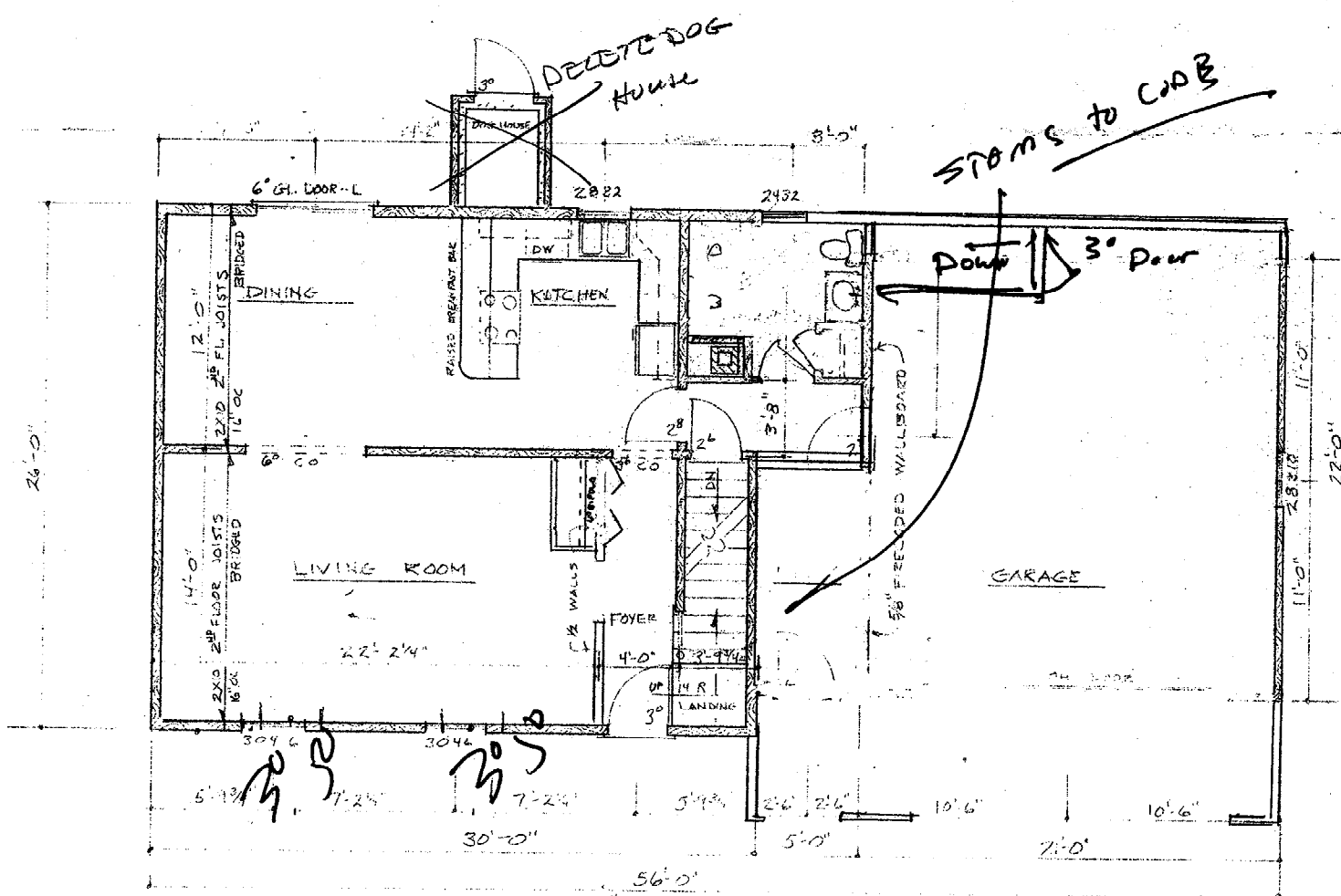
LEFT END ELEVATION  
SCALE 1/4" = 1'-0"



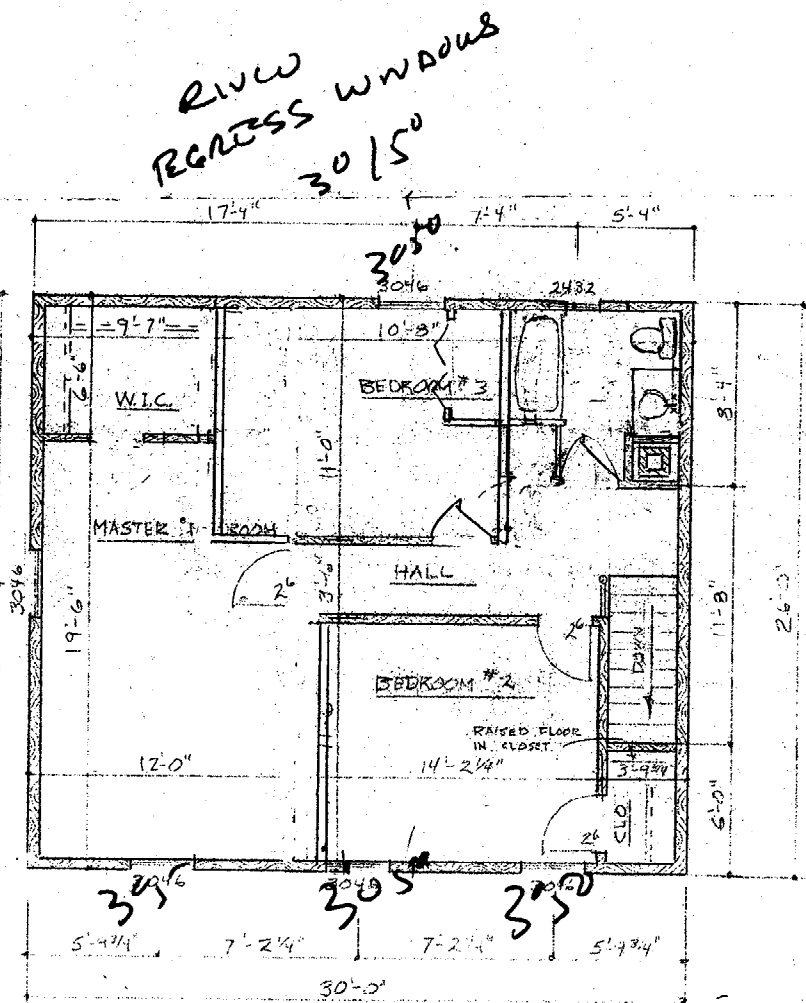
FRONT ELEVATION  
SCALE 1/4" = 1'-0"



RIGHT END ELEVATION  
SCALE 1/4" = 1'-0"

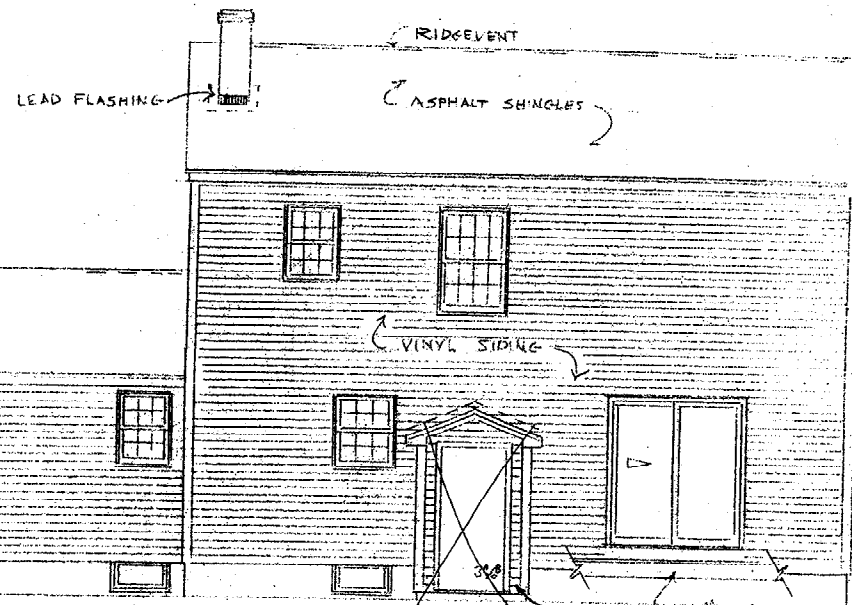
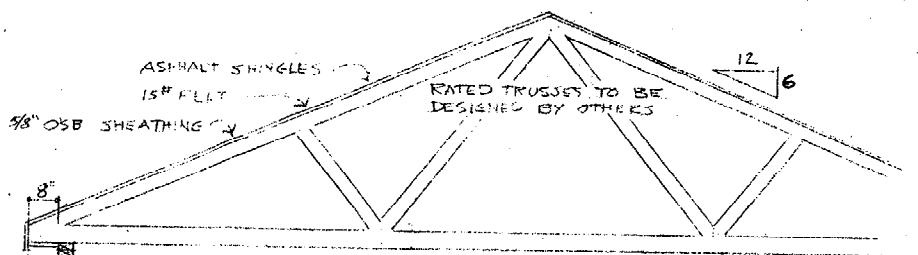


FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

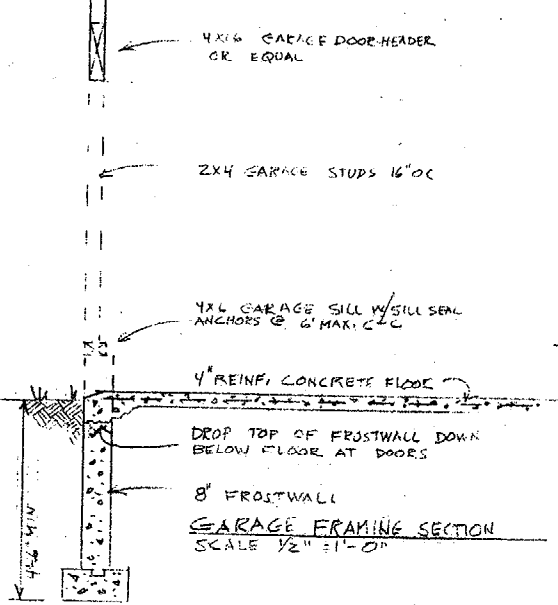


SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

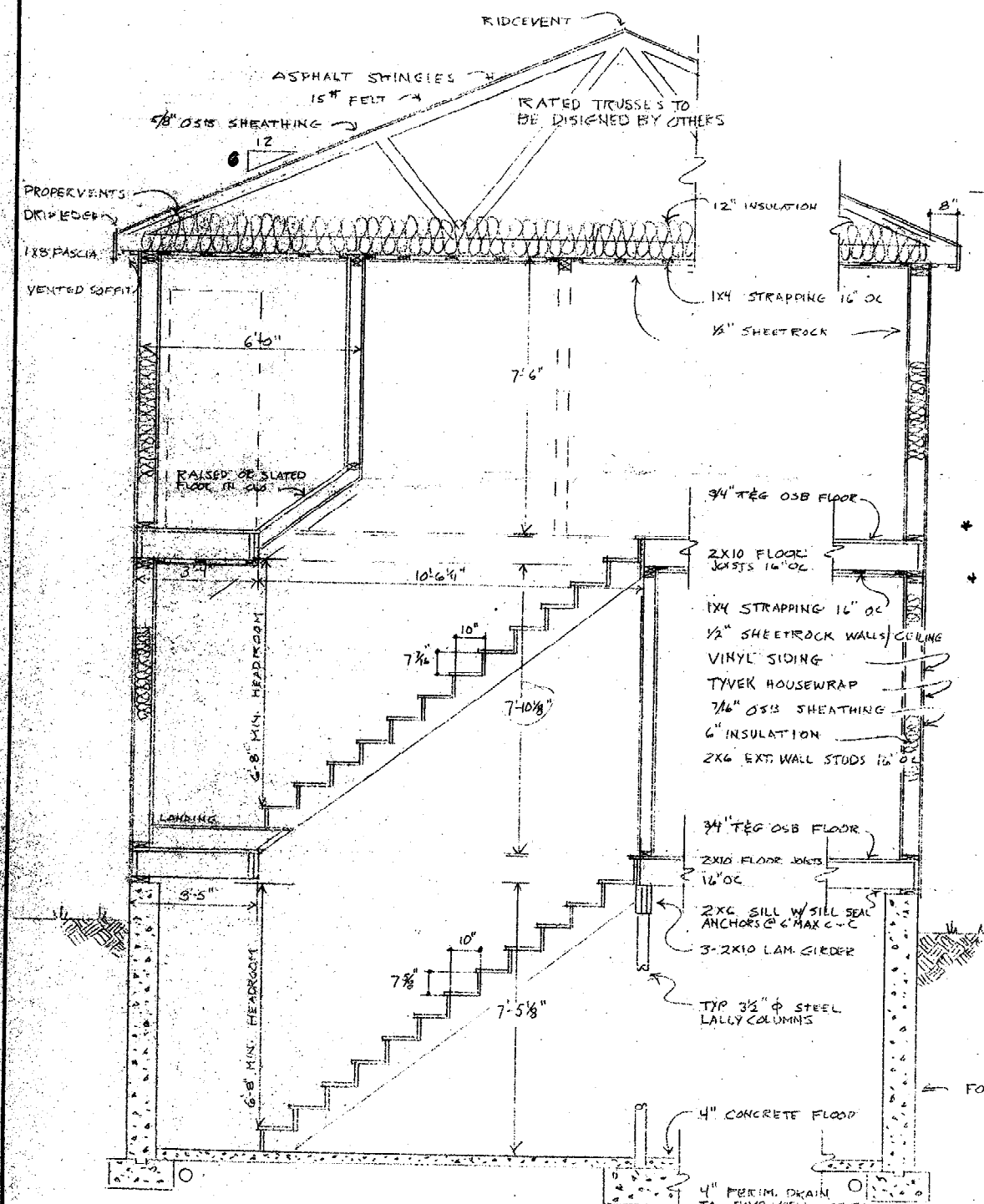
SCALE: NOTED	APPROVED BY:	DRAWN BY: MAP
DATE:		REVISED:
JOB - JOS. FRUSTA		DRAWING NUMBER:



REAR ELEVATION  
SCALE 1/4" = 1'-0"

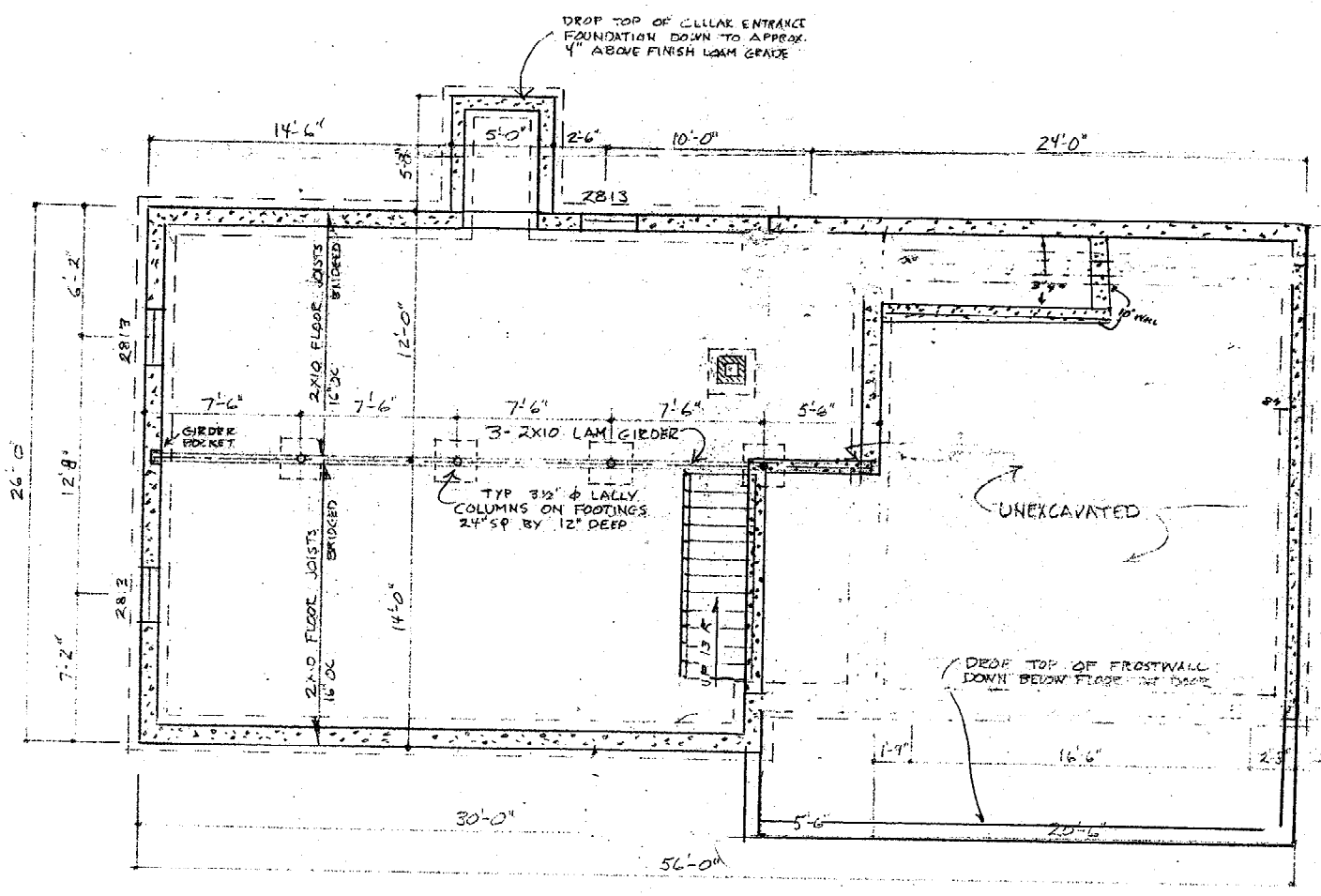


GARAGE FRAMING SECTION  
SCALE 1/2" = 1'-0"



FRAMING SECTION  
SCALE 1/2" = 1'-0"

\* EGRESS WINDOWS USE  
IN ALL BEDROOMS  
\* STAIRS PER CODE

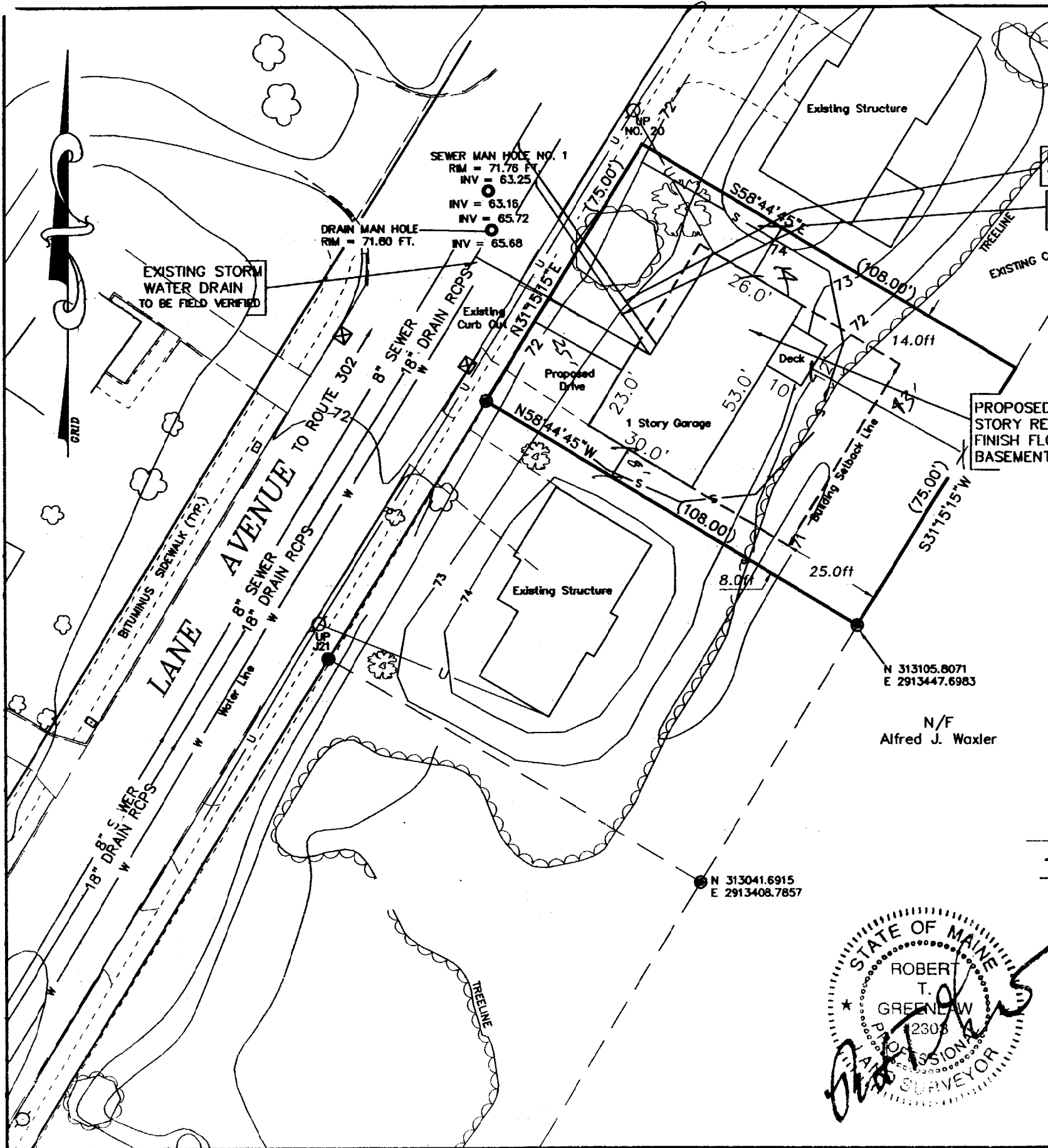


FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

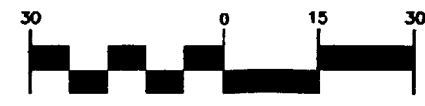
SCALE: NOTED	APPROVED BY:	DRAWN BY:
DATE:		REVIEWED:
JOS. FRUSTACE PORTLAND, ME		



used for zoning



GRAPHIC SCALE



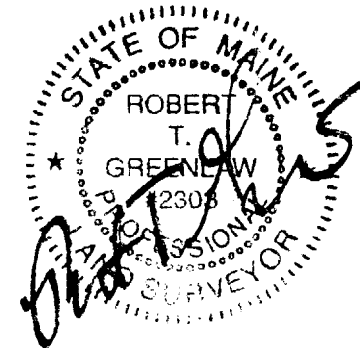
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PRESIDENT, BACK BAY BOUNDARY, INC.  
REGISTRATION #2303

DATE: AUGUST 05, 2002

REVISED: 08-05-2002 ADDED PROPOSED DECK  
REVISED: 06-20-2002 ADDED EXISTING STORM DRAIN

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FOR:  
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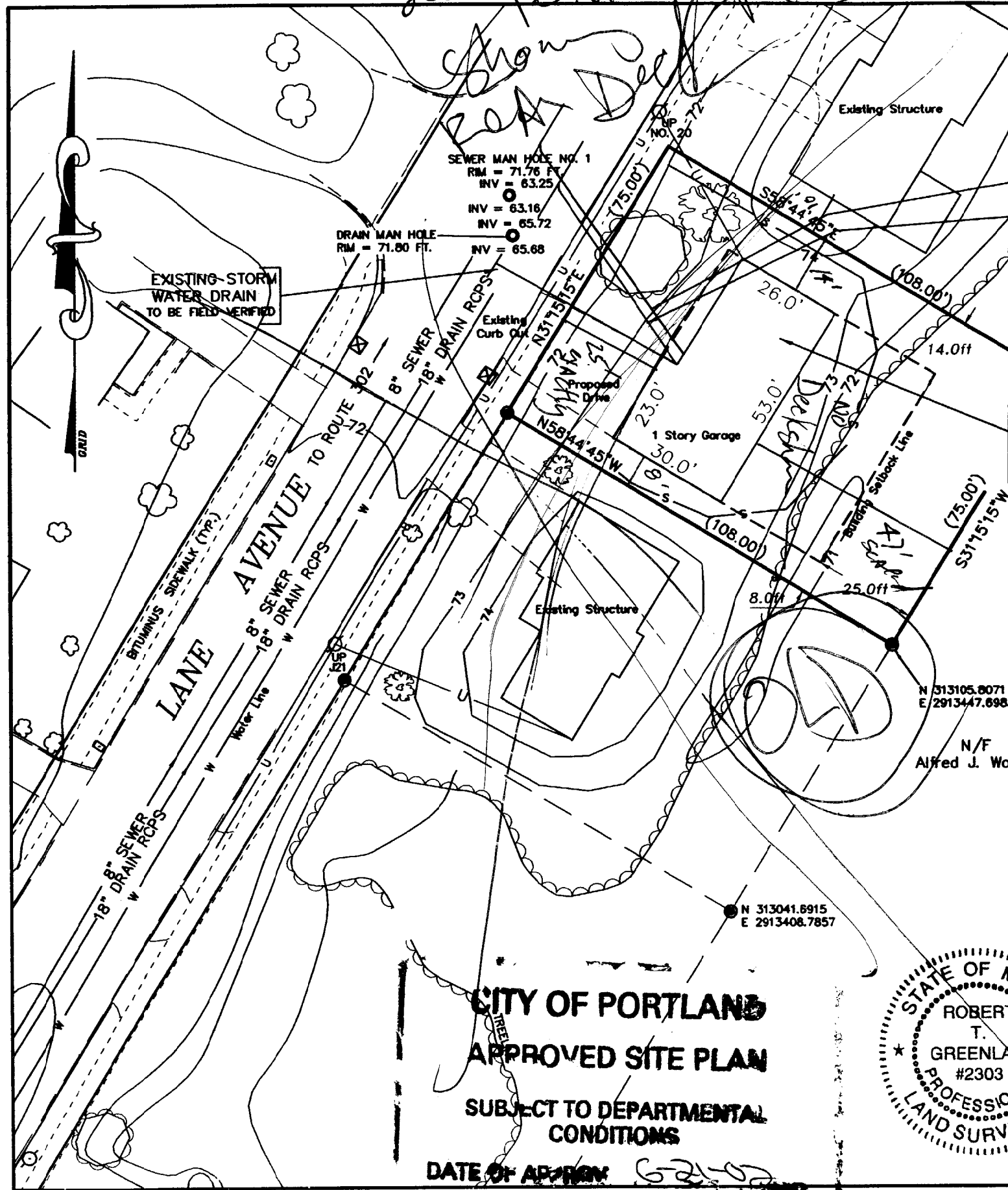
DRAWN BY: TCB  
CHECKED BY: RTG  
SCALE: 1" = 30'  
DATE: 03-30-2002  
JOB NUMBER: 200228  
SHEET: 1 OF 1

PREPARED BY:  
BACK BAY BOUNDARY, INC.  
PROFESSIONAL LAND SURVEYING  
65 NEWBURY STREET  
PORTLAND, MAINE  
207-774-2855 FAX 207-761-2010

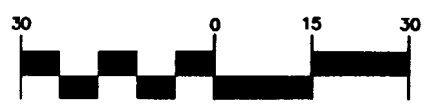
DRAWER: 2002 NO. 28



*see finished plans show Deck*



GRAPHIC SCALE



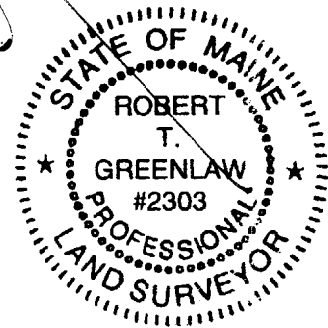
(IN FEET)  
 1 inch = 30 ft.

GENERAL NOTES:

- OWNER OF RECORD: PETER E. & ANNETTE HOGLUND AS RECORDED IN BOOK 7292 PAGE 286 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
- THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT: LIETZ SOKKISHA ELECTRONIC DISTANCE METER. LIETZ SDR 24 DATA COLLECTOR.
- BEARINGS ARE BASED UPON MAINE STATE PLANE COORDINATES SYSTEM (WEST ZONE) NAD 83.
- AREA OF THE PARCEL: 8,100 SQUARE FT. OR .19 ACRES.
- VERTICAL DATUM IS BASED UPON THE INVERTS OF SEWER MAN HOLE NO. 1. THE ELEVATION REFERENCE WAS OBTAINED FROM THE PORTLAND WATER DISTRICT INFILTRATION-INFLOW ANALYSIS PLAN DATED 1988 JOB NO. 51039.00.
- PARCEL FALLS WITHIN THE R-3 AND FH ZONES:  
 SIDE SETBACK = 14 FT. 2 STORY RES.  
 FRONT AND REAR SETBACKS = 25 FT.
- THE GARAGE IS CONSIDERED A 1 STORY STRUCTURE, THEREFORE THE SETBACK ON THE SOUTHWESTERLY SIDELINE IS 8 FT.
- SILT FENCE TO BE ADDED DURING CONSTRUCTION (SEE ATTACHED).
- PERIMETER DRAIN TO BE INSTALLED ALONG FOOTINGS OF FOUNDATION.
- EXISTING CONTOURS ARE TO REMAIN UNCHANGED WITH THE EXCEPTION OF LANDSCAPING.

LEGEND

- Abutter Line
- Property Line
- Street Line
- u — Overhead Utility
- o Utility Pole
- Edge of traveled way
- s — Silt Fence
- Capped 5/8" Rebar Found Registration Number 2303.
- Iron Pipe or Solid Pin Found
- ◁ Survey Instrument Point
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- ☒ Catch Basin
- ☼ Deciduous tree to be added



*Ant T. Greenlaw*

ROBERT T. GREENLAW, P.L.S.  
 PRESIDENT, BACK BAY BOUNDARY, INC.  
 REGISTRATION #2303

DATE: JUNE 20, 2002

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**

SUBJECT TO DEPARTMENTAL  
 CONDITIONS

DATE OF APPROVAL 6-21-02

MINOR SITE PLAN  
 SHOWING PROPOSED 2 STORY HOME  
 AT 204 LANE AVENUE PORTLAND, MAINE  
 FOR: ARCHIE GIOBBI

DRAWN BY: TCB  
 CHECKED BY: RTG  
 SCALE: 1" = 30'  
 DATE: 03-30-2002  
 JOB NUMBER: 200228  
 SHEET: 1 OF 1

PREPARED BY:  
 BACK BAY BOUNDARY, INC.  
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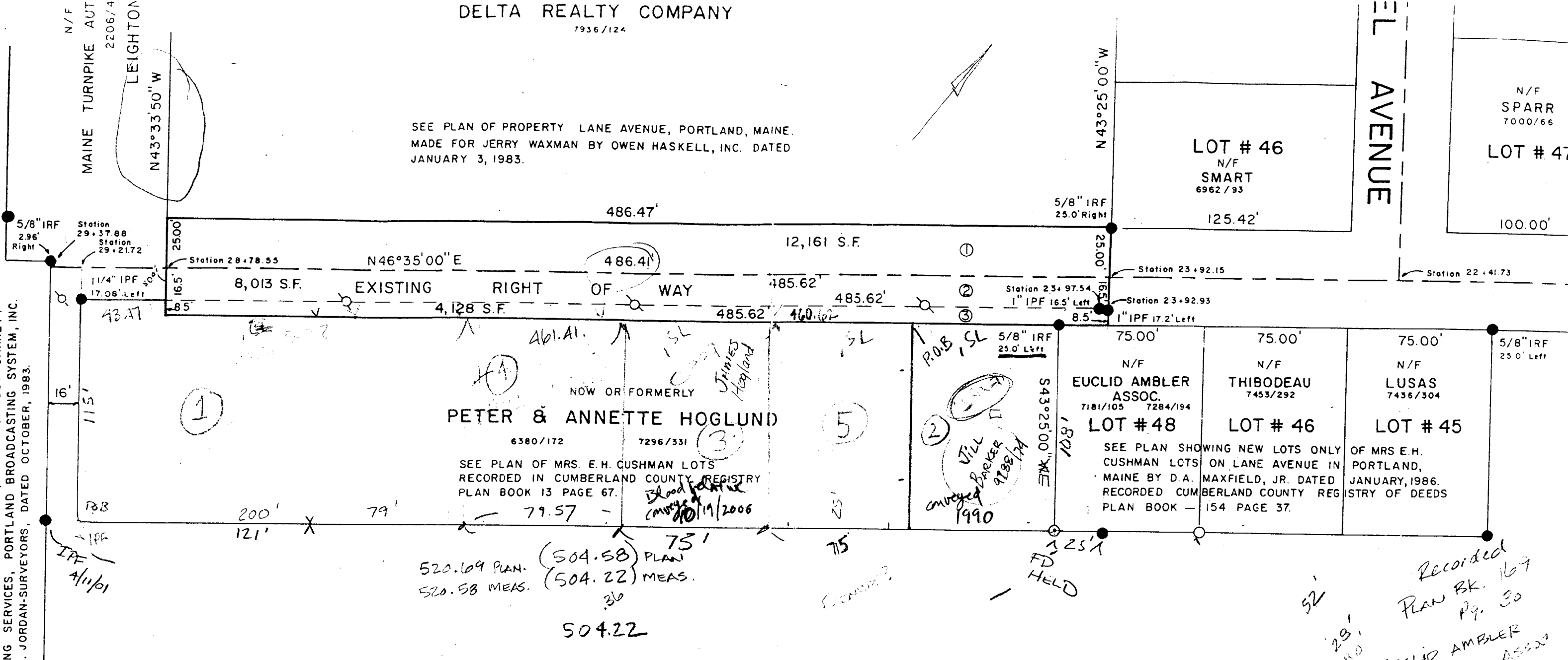


DRAWER: 2002 NO: 28

DELTA REALTY COMPANY  
7936/124

SEE PLAN OF PROPERTY LANE AVENUE, PORTLAND, MAINE.  
MADE FOR JERRY WAXMAN BY OWEN HASKELL, INC. DATED  
JANUARY 3, 1983.

SEE PLAN OF PROPERTY IN PORTLAND, MAINE FOR GUY GANNETT BROADCASTING SERVICES, PORTLAND BROADCASTING SYSTEM, INC. BY H.I. & E.C. JORDAN-SURVEYORS, DATED OCTOBER, 1983.



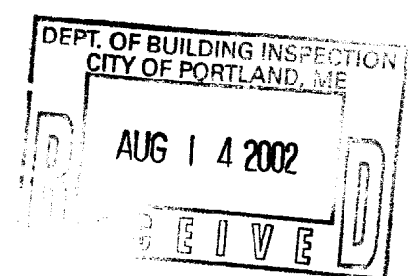
520.69 PLAN.  
520.58 MEAS. (504.58) PLAN  
(504.22) MEAS.  
30  
504.22

PROB. SL  
VILL  
BAKER  
9/28/94  
1990

Recorded  
Plan BK. 169  
Pg. 30  
EUCLID AMBLER  
ASSOC  
Standard Boundary  
Feb. 1988

LEGEND

- IRON PIN FOUND
- MONUMENT FOUND
- Q----- UTILITY POLE
- N/F----- NOW OR FORMERLY
- S.F.----- SQUARE FEET



- EXCEPTIONS:
- 1.) NO MONUMENTATION SET
  - 2.) NO DESCRIPTION PREPARED

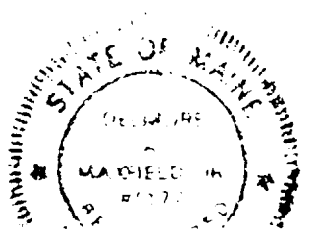
I HEREBY STATE THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND ABILITY CONFORMS TO THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYORS STANDARDS CATEGORY I, CONDITION III.

*Delmar Maxfield, Jr.*  
D.A. MAXFIELD, JR.

OWNER OF RECORD:

- PARCEL # 1 DELTA REALTY COMPANY 7936/124
- PARCEL # 2 FEE INTEREST NOT DETERMINED  
RIGHT OF WAY DESCRIBED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 1287 PAGE 107.
- PARCEL # 3 PETER & ANNETTE HOGLUND 6380/172, 7296/331  
SUBJECT TO EASEMENT RIGHTS FOR UTILITY POLES & WIRES AS DESCRIBED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 1644 PAGE 326.

#	REVISIONS	DATE



S  
PROPOSED  
EUCI

10/11/02 - Checked setbacks w/ Merland - RT side 8' 0"  
Left side 15' 5" Front 25' Rear 25' OK to pour  
footings. Tom M

10/31/02 - Backfill hsp - not ready TM w/ MW

11/1/02 - Backfill - OK - damp proofing, stone,  
dramtile w/ fabric all in - OK.

12/3/02 - Close In - Insp. - J. Reed did plumbing.

Stairs from 1<sup>st</sup> to 2<sup>nd</sup> floor incorrect - 9" tread.  
Rise OK.

12/9/02 - Follow up - fixed stairs - 16" tread - headroom OK  
Rise OK - OK to close in. TM

1/29/03 - All handrails need to be returned -  
Need outlet for garbage disposal -  
need handrail on rear deck, need  
permit for gas fireplace. TM

1/30/03  
All corrected -  
OK for CO.  
Temp TM





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 202 Lane Ave

CBL 308 B051001

Issued to Hoglund Peter E & /Jase Construction

Date of Issue 09/22/2003

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0545, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family  
Use Group R-3 Type 5B  
BOCA 1999

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

9/22/03  
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

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LOCATION 202 Lane Ave

CEN 308 B051001

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Date of Issue 01/30/2003

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PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family  
Use Group R-3 Type 5B  
BOCA 1999

Limiting Conditions:

TEMPORARY: Expires June 30, 2003

All landscaping and site work MUST be completed prior to expiration of this Certificate of Occupancy.

This certificate supersedes  
certificate issued

Approved

1/30/03  
(Date)

Inspector

*[Signature]*  
Inspector of Buildings

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