

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0077

Application I. D. Number

05/04/2001

Application Date

220 Lane Avenue

Project Name/Description

Hoglund Peter E

Applicant

230 Lane Ave, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 831-2610 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

220 - 220 Lane Avenue, Portland, Maine 04103

Address of Proposed Site

308 B057001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **45' 4" x 34'4" single family**

1,790 sf

Proposed Building square Feet or # of Units

8,424 sf

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **05/03/2001**

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved **Approved w/Conditions** Denied
 See Attached

Approval Date **05/22/2001** Approval Expiration **05/22/2002** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** **05/22/2001**
 signature date

Performance Guarantee Required* ~~Not Required~~

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
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PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0077

Application I. D. Number

05/04/2001

Application Date

220 Lane Avenue

Project Name/Description

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Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now _____, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator 

DATE: December 10, 2001

RE: C. of O. for # 220 Lane Ave.
Lead CBL (308B057) ID# (2001-0077)

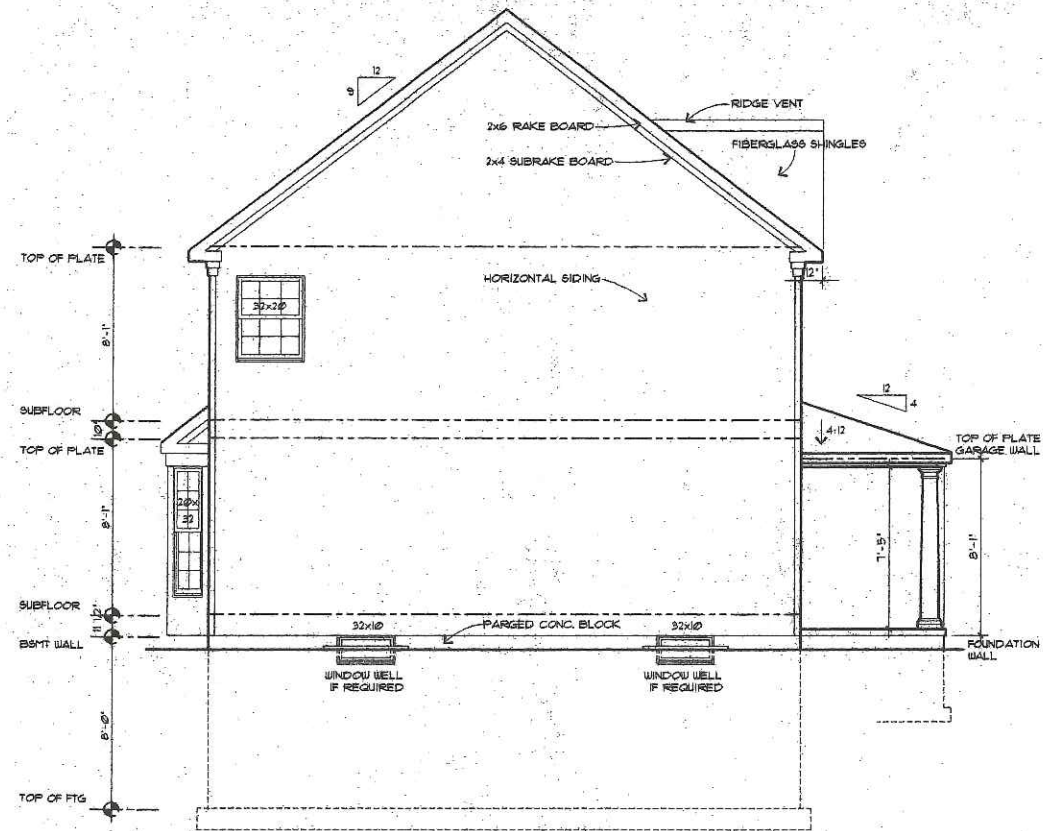
After visiting # 220 Lane Ave., I found all the work completed.

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

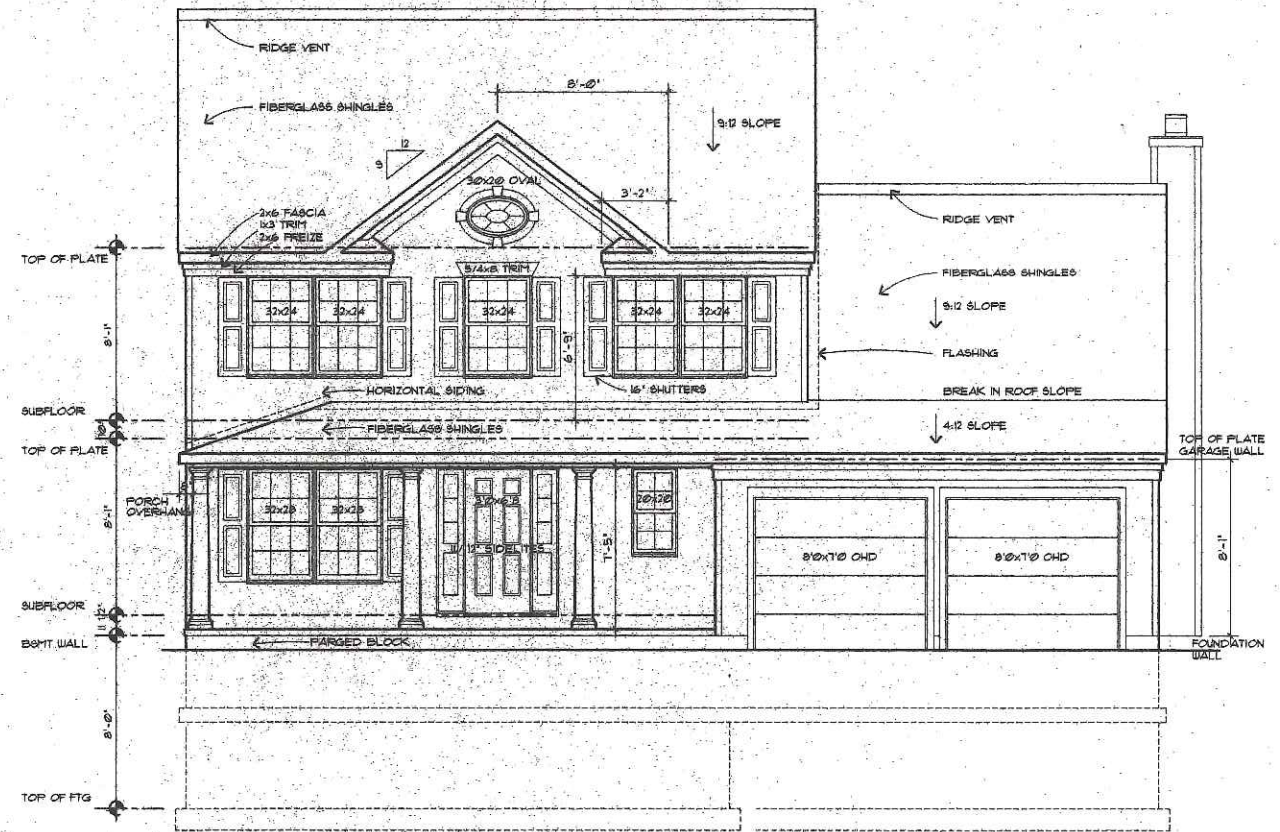
Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
file

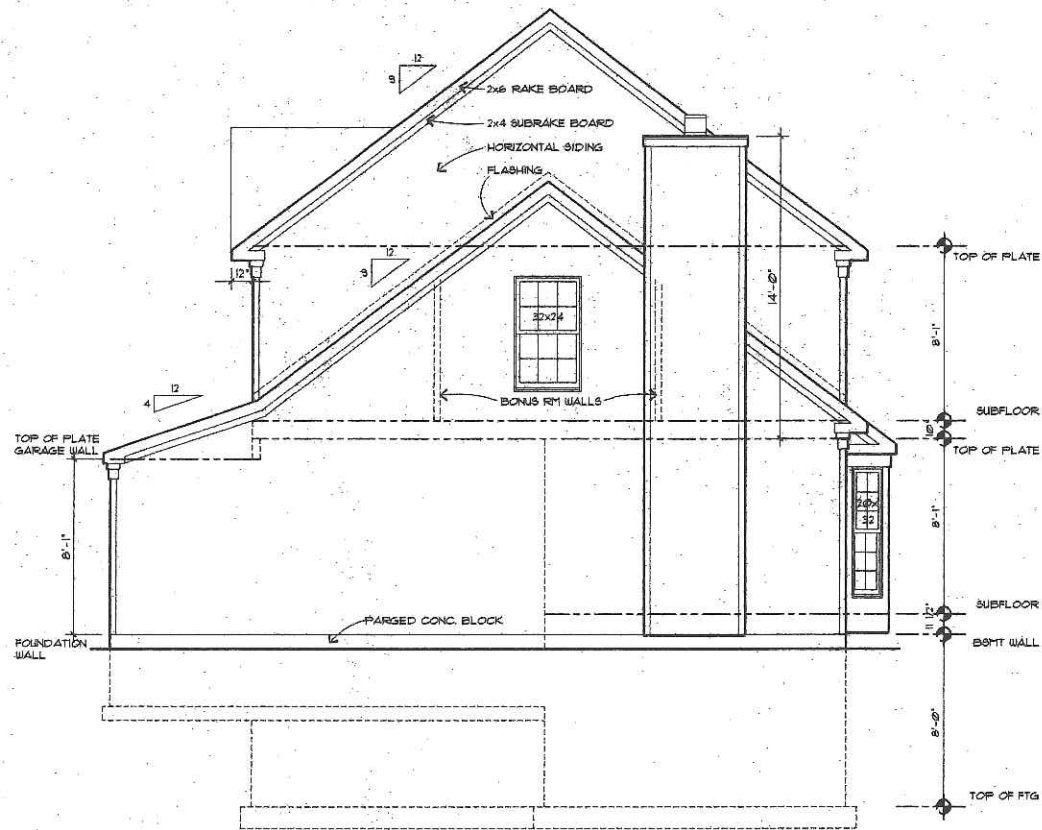
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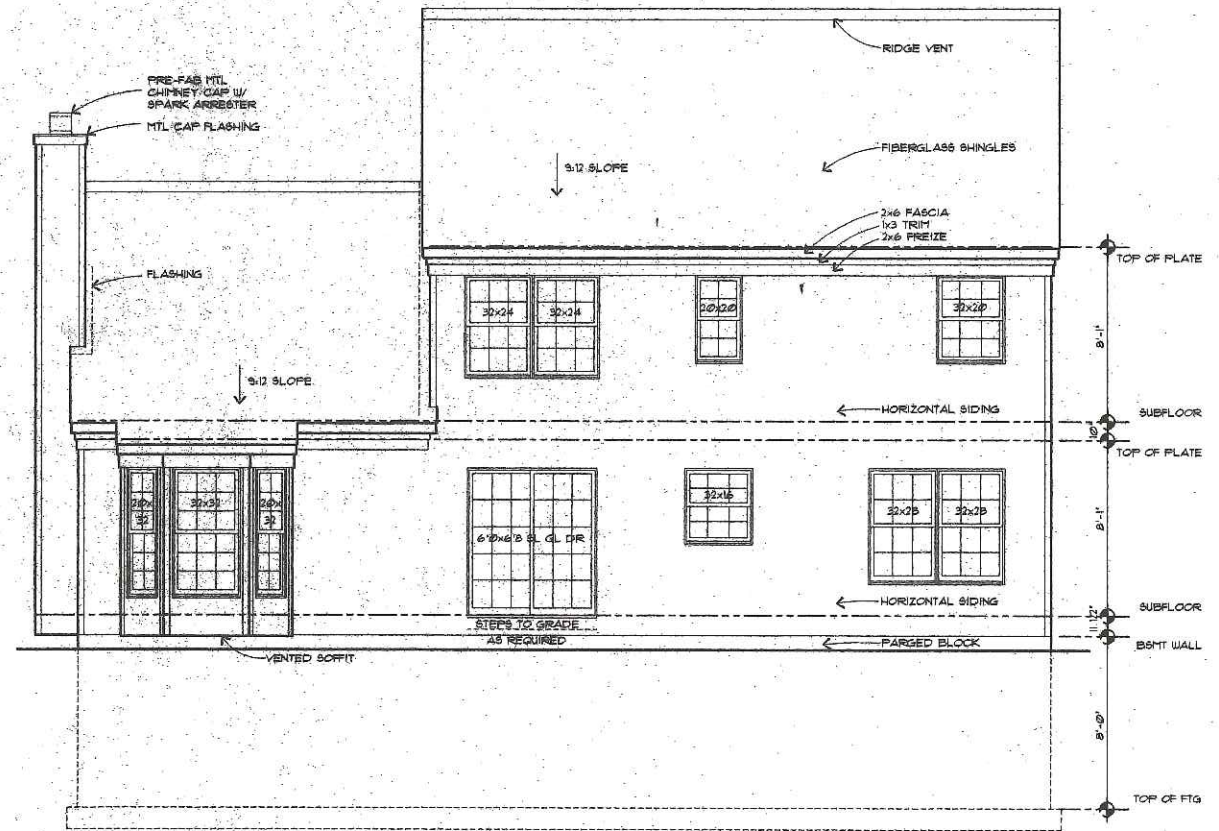
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



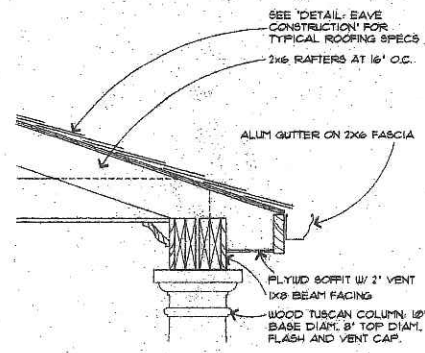
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



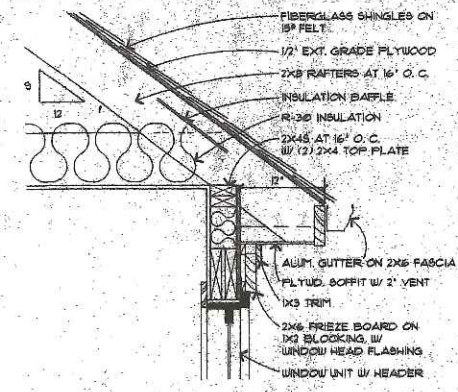
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



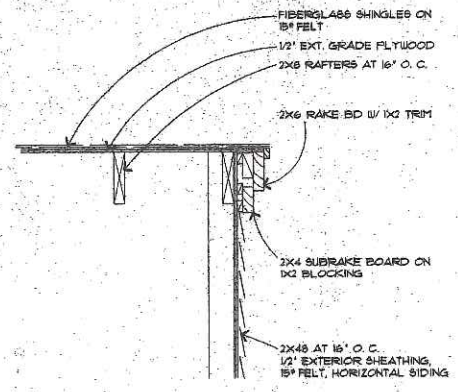
REAR ELEVATION
SCALE: 1/4" = 1'-0"



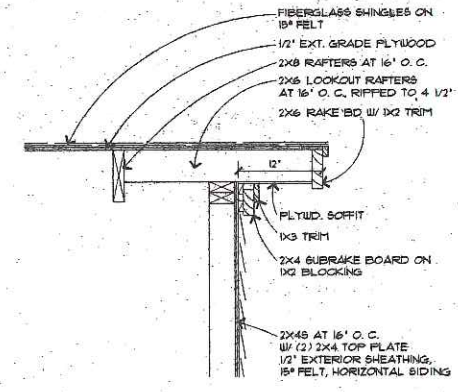
DETAIL: PORCH EAVE
SCALE: 1" = 1'-0"



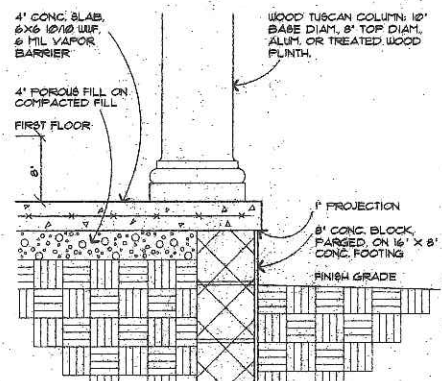
DETAIL: EAVE CONSTRUCTION
SCALE: 1" = 1'-0"



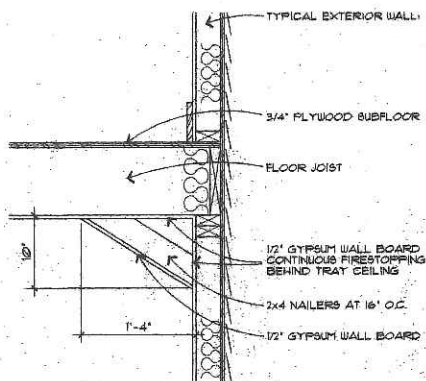
DETAIL: RAKE CONSTRUCTION
SCALE: 1" = 1'-0"



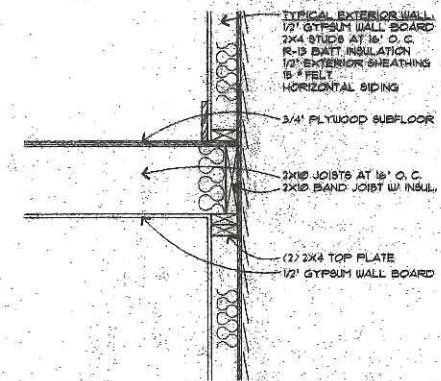
DETAIL: RAKE CONSTRUCTION
SCALE: 1" = 1'-0"



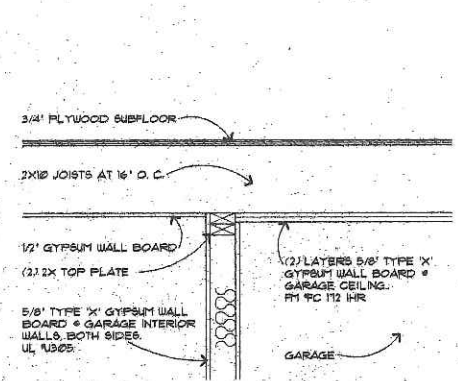
DETAIL: PORCH FLOOR
SCALE: 1" = 1'-0"



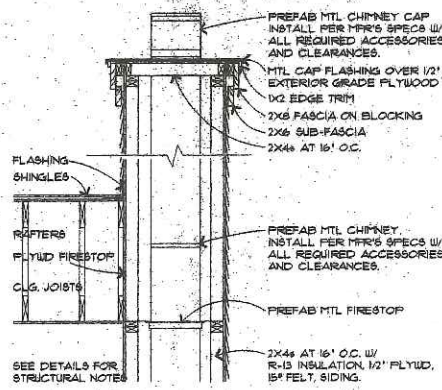
DETAIL: TRAY CEILING
SCALE: 1" = 1'-0"



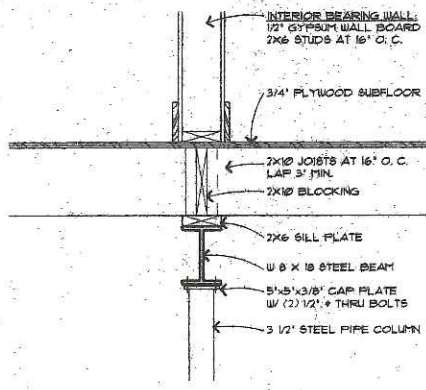
DETAIL: 2ND FLOOR AT EXTERIOR
SCALE: 1" = 1'-0"



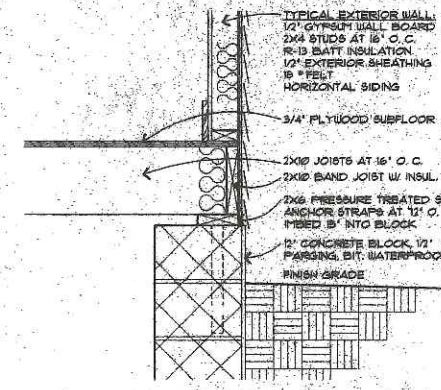
DETAIL: GARAGE CEILING/INT. WALL
SCALE: 1" = 1'-0"



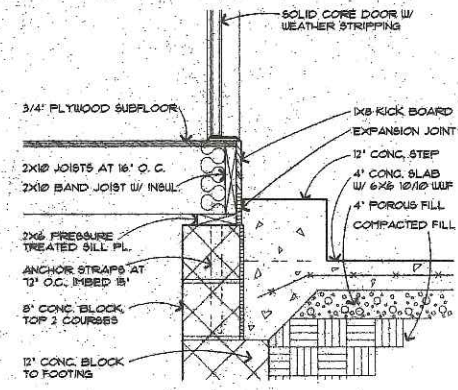
DETAIL: PREFAB CHIMNEY
SCALE: 1/2" = 1'-0"



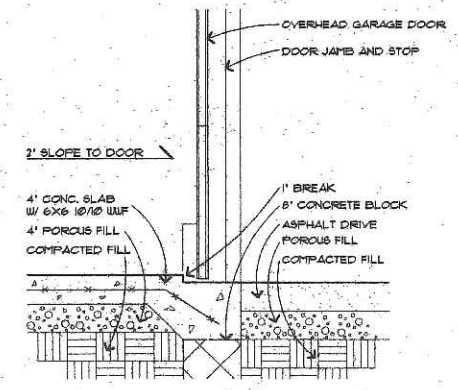
DETAIL: 1ST FLOOR AT BEAM
SCALE: 1" = 1'-0"



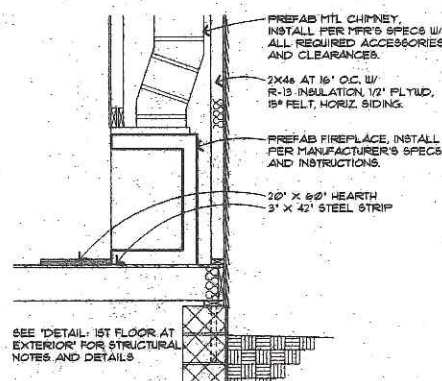
DETAIL: 1ST FLOOR AT EXTERIOR
SCALE: 1" = 1'-0"



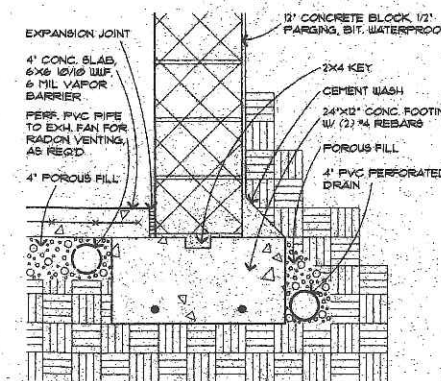
DETAIL: 1ST FLOOR AT GARAGE
SCALE: 1" = 1'-0"



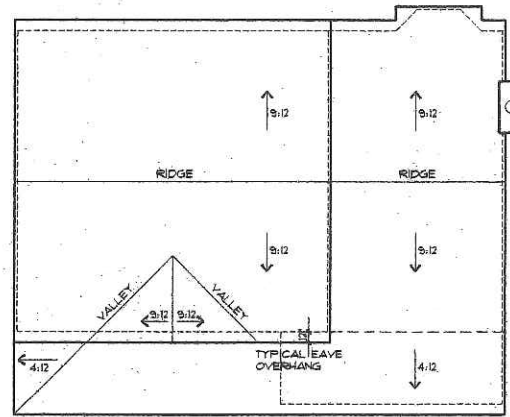
DETAIL: SLAB AT GARAGE DOOR
SCALE: 1" = 1'-0"



DETAIL: PREFAB FIREPLACE
SCALE: 1/2" = 1'-0"

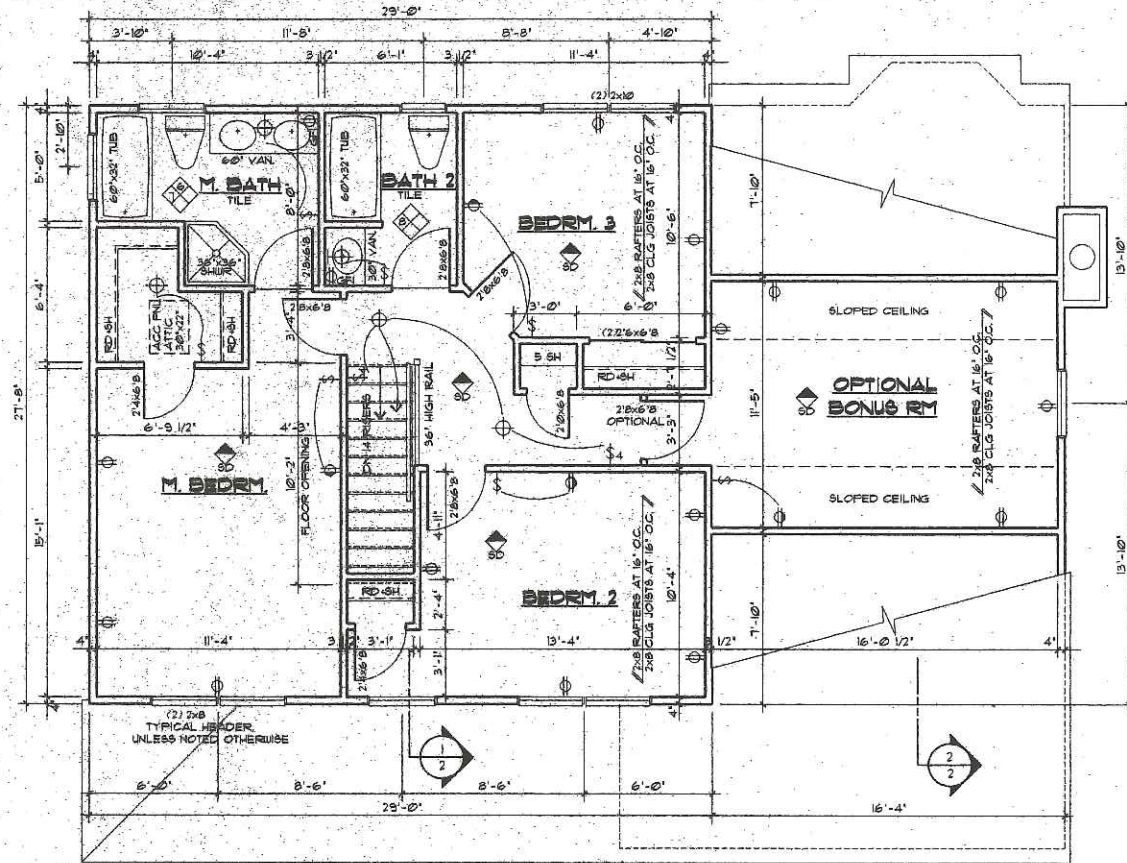


DETAIL: BASEMENT FOUNDATION
SCALE: 1" = 1'-0"



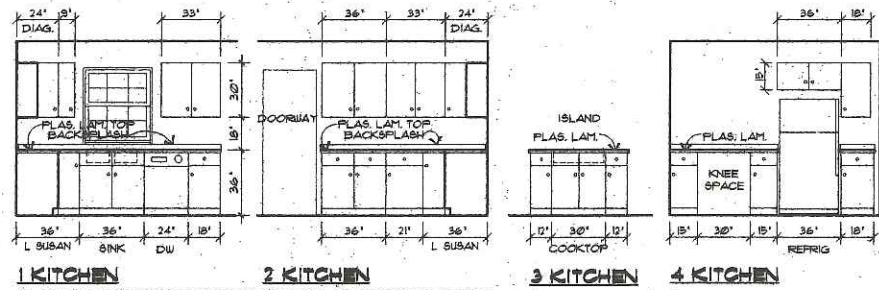
ROOF PLAN

SCALE: 1/8" = 1'-0"

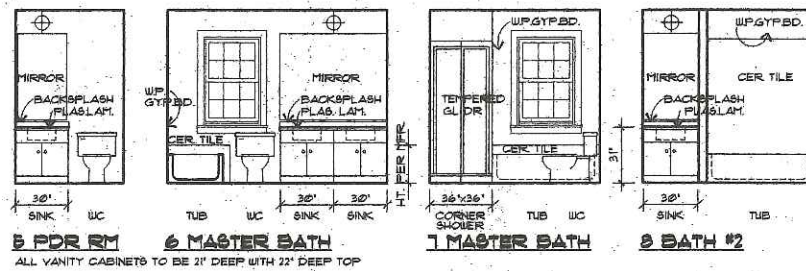


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



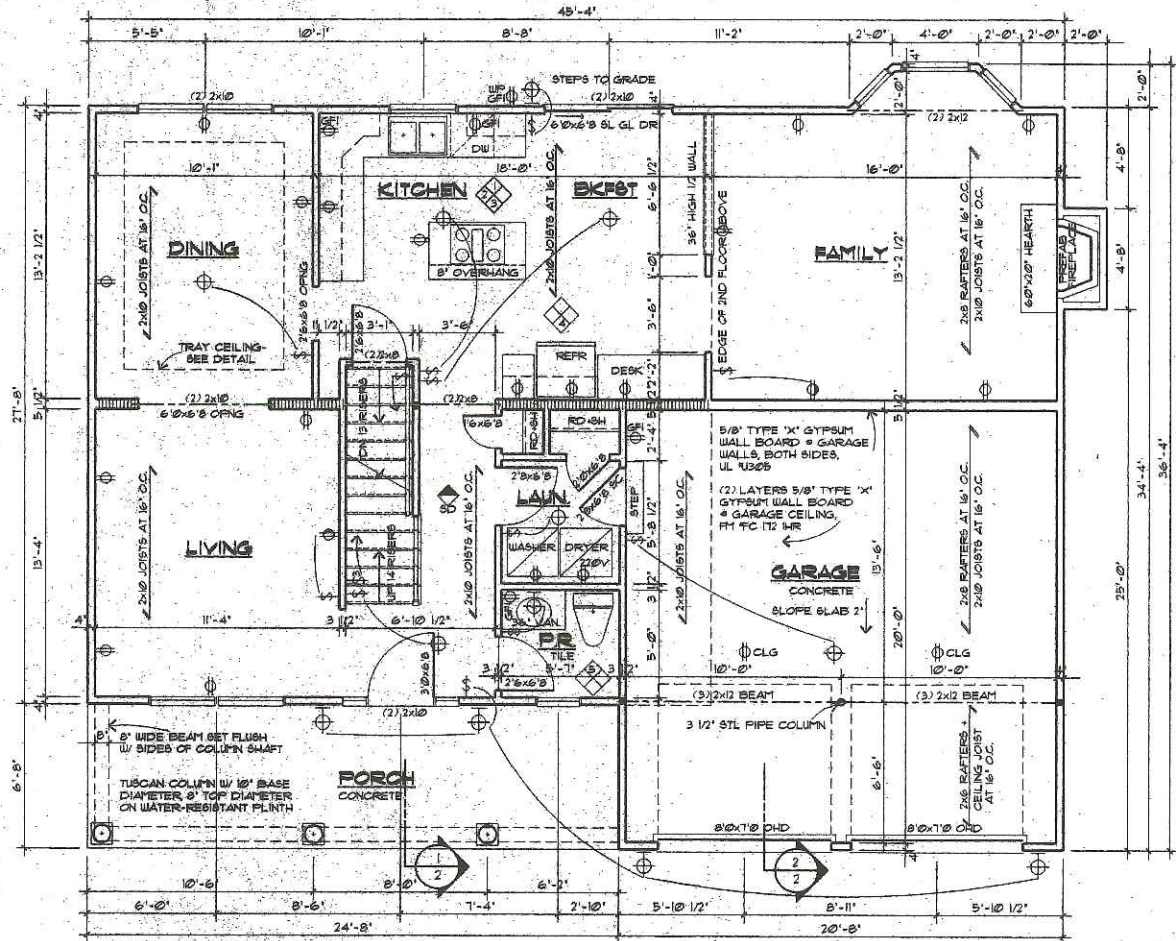
1 KITCHEN
ALL KITCHEN BASE CABINETS TO BE 24" DEEP, WALL CABINETS TO BE 12" DEEP.



5 POW RM
ALL VANITY CABINETS TO BE 21" DEEP WITH 22" DEEP TOP

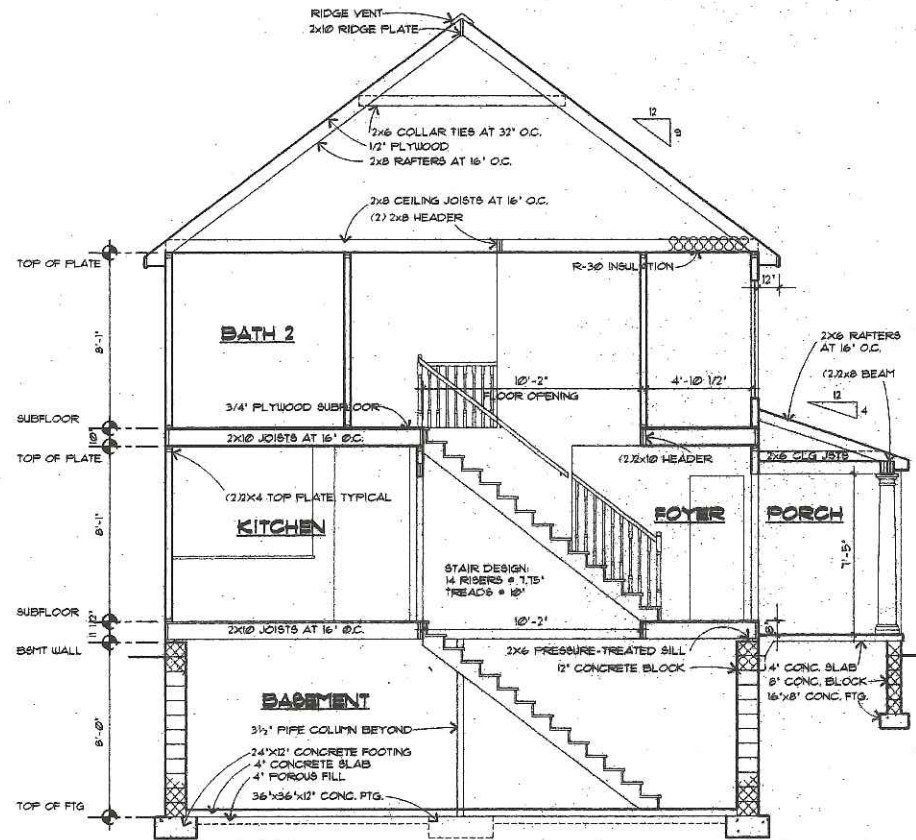
INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

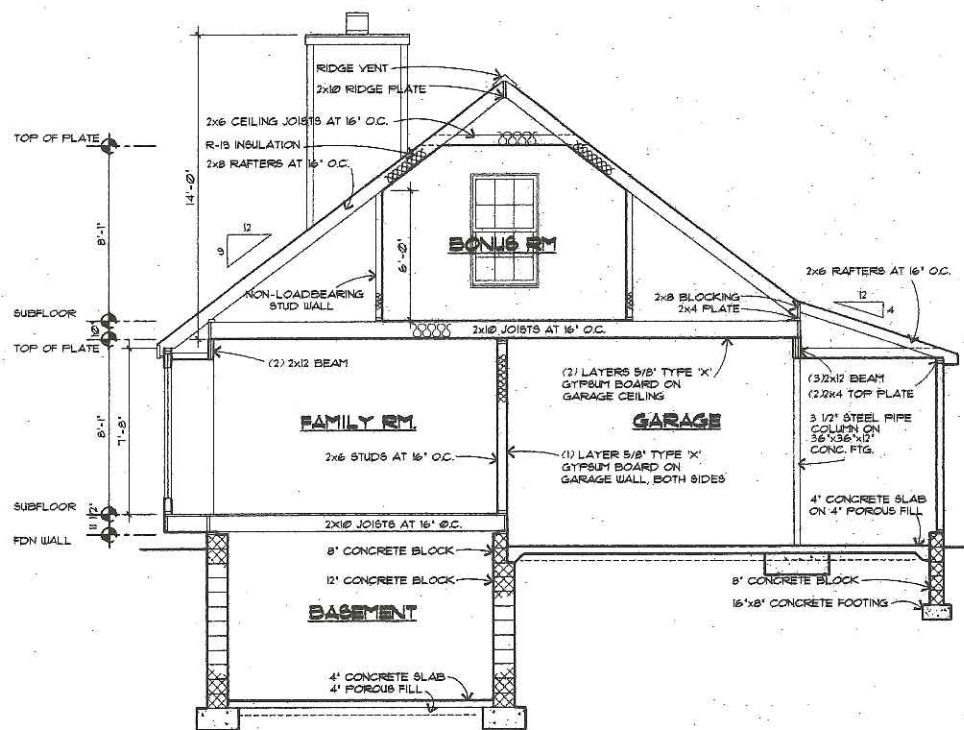


FIRST FLOOR PLAN

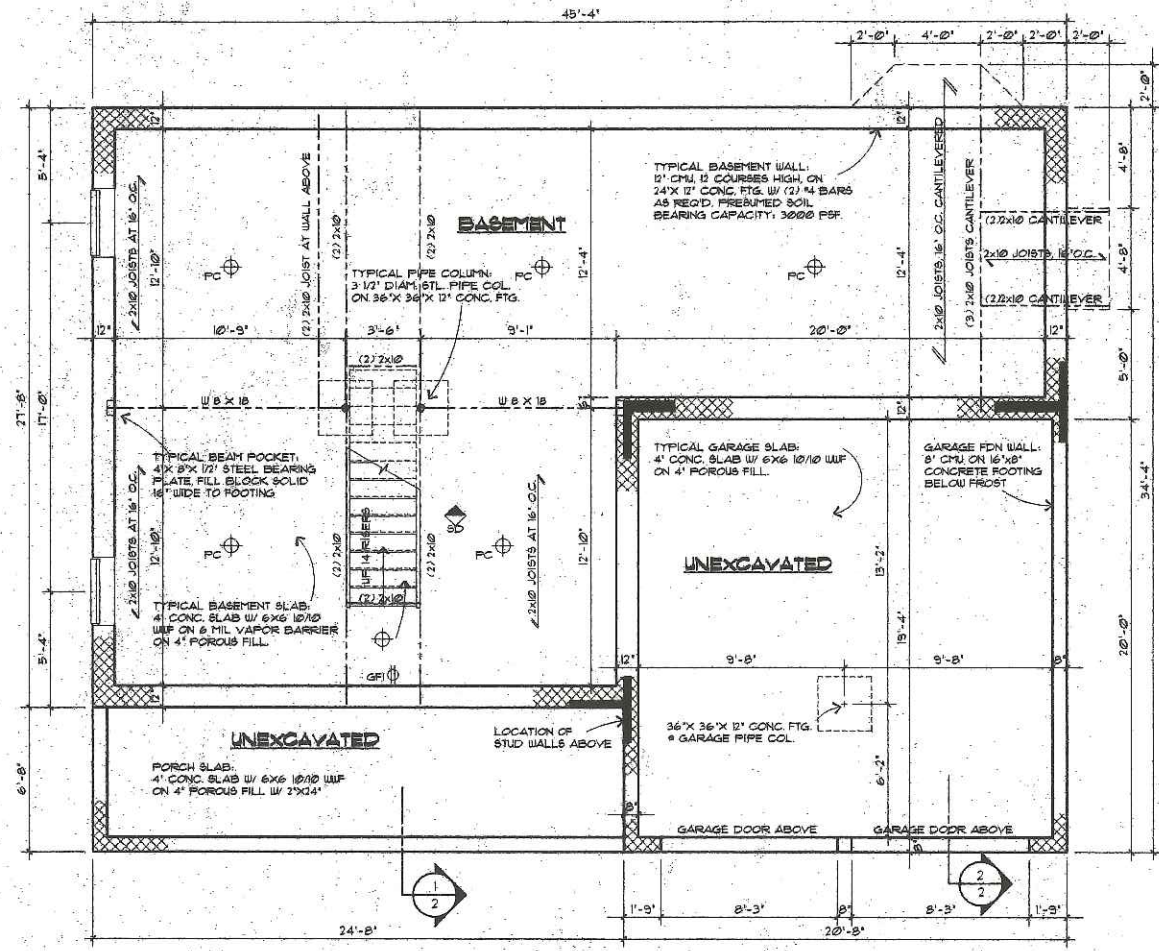
SCALE: 1/4" = 1'-0"



SECTION 1
SCALE: 1/4" = 1'-0"



SECTION 2
SCALE: 1/4" = 1'-0"



FOUNDATION/BASEMENT PLAN
SCALE: 1/4" = 1'-0"