

308-B-1

2006-0006

214 Lane Ave.

S. family

Peter Hoglund

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2006-0006

Application I. D. Number

1/13/2006

Application Date

Single Family Home

Project Name/Description

Hoglund Peter E

Applicant

56 Lane Ave, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

214 - 214 Lane Ave, Portland, Maine

Address of Proposed Site

308 B001001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

28 x 40

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **1/17/2006**

DRC Approval Status:

Reviewer **Jay Reynolds**


- Approved **Approved w/Conditions** Denied
 See Attached

Approval Date **2/22/2006** Approval Expiration **2/22/2007** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** **2/22/2006**
 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|--|-----------------|--|-----------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input checked="" type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input checked="" type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input checked="" type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input checked="" type="checkbox"/> Final Inspection | 10-27-06 |  | |
| | date | signature | |
| <input checked="" type="checkbox"/> Certificate Of Occupancy | 10-27-06 | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2006-0006

Application I. D. Number

1/13/2006

Application Date

Single Family Home

Project Name/Description

Hoglund Peter E

Applicant

56 Lane Ave, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

214 - 214 Lane Ave, Portland, Maine

Address of Proposed Site

308 B001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2006-0006
Application I. D. Number

1/13/2006
Application Date

Single Family Home
Project Name/Description

Hoglund Peter E
Applicant
56 Lane Ave, Portland, ME 04103
Applicant's Mailing Address

Jay Reynolds

214 - 214 Lane Ave, Portland, Maine
Address of Proposed Site
308 B001001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

28 x 40
Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 1/17/2006


Building Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____
 Condition Compliance _____ signature _____ date _____
Letter Sent 1/19/06

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

LOT SHOWN ~~AS PARCEL #3~~ $108' \pm \times 460.62'$ 

01/27/1984 PLAN ENTITLED "STANDARD BOUNDARY SURVEY
3/11/1988 PROPOSED EXTENSION OF LANE AVENUE IN
PORTLAND, MAINE" MADE FOR
EULLID AMBLER ASSOCIATES DATED FEB. 1988
RECORDED IN THE CUMBERLAND COUNTY REGISTRY
OF DEEDS IN PLAN BOOK 169, PAGE 30
ON MARCH 11, 1988. LOT PURCHASED 10/31/1983
RECORDED IN BOOK 6380, PAGE 172. JAN. 27, 1984

05/9/1990 \downarrow $108' \times 200'$ LOT OUT OF ABOVE TO
PETER E. HOGGLUND, JR. (SON)
BOOK 9165, PAGE 331

8/27/1990 \downarrow 2^{nd} LOT. $75' \times 108' \pm$ LOT TO JILL WELCH BARKER
RECORDED IN BOOK 9288, PAGE 74.
AUGUST 22, 1990

10/19/2000
LOT $75'$ FROM JILL WELCH BARKER
 $75' \times 108'$ TO JAMES M. HOGGLUND (SON)

4/25/2001
 $4.58' \times 108'$ PORTION OF LAND TO PETER E. HOGGLUND JR.
(SON)

2002

$75' \times 108'$ LOT TO
NOW IN THE HANDS OF THE CITY.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Peter Hoglund
56 Lane Avenue
Portland, ME 04103

January 19, 2006

Dear Mr. Hoglund:

RE: Application for Single Family House, 214 Lane Avenue

Upon review of the site plan, the City's Planning Division has the following comments:

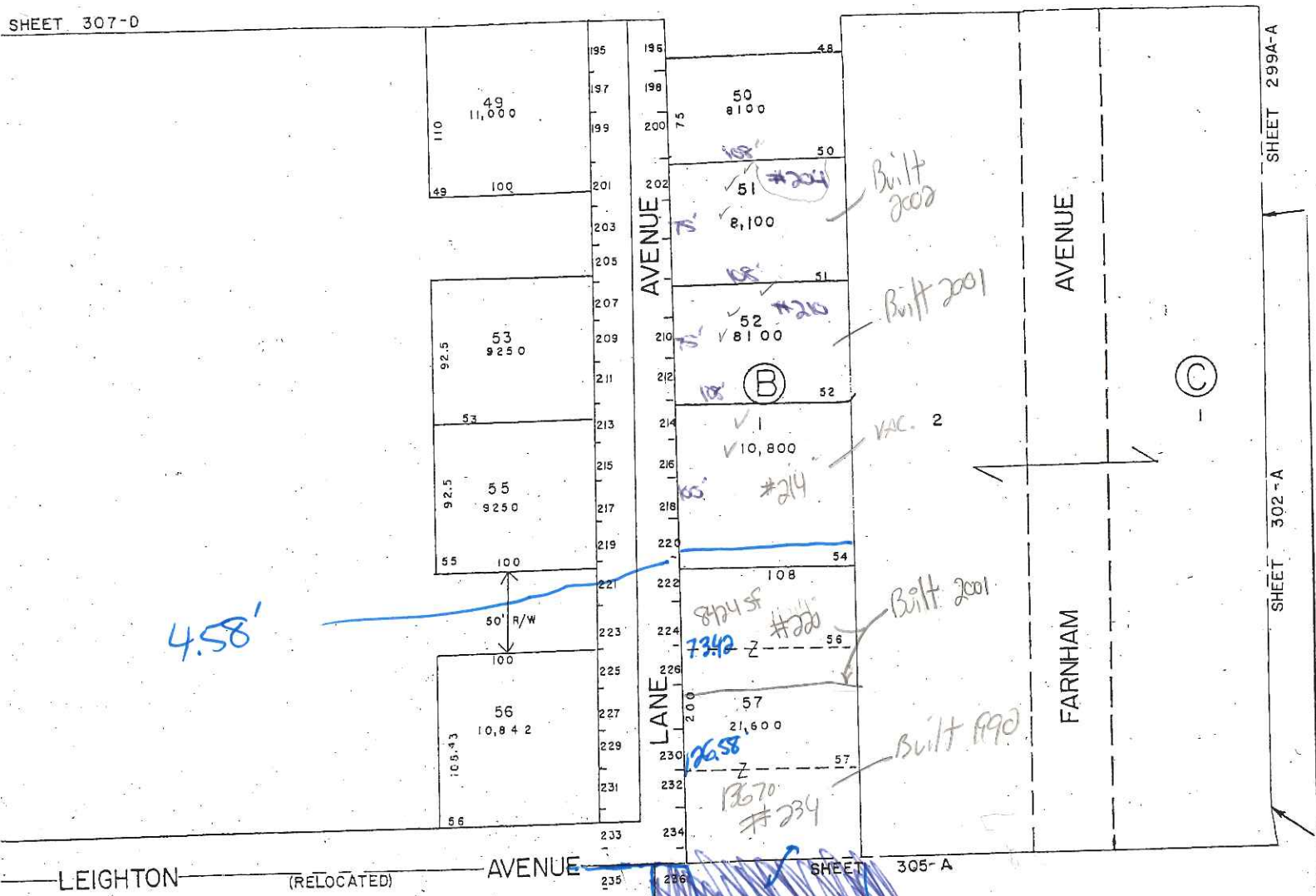
1. The lot dimensions/square footage does not match the City's assessors records. Site plan indicates that Lot 308B001 is 8,594.6 square feet with 79.58' of frontage. City records indicate that the same parcel is 10,800 square feet with 100' of frontage. Please clarify.
2. Related to item #1, is the southerly side property line new? If so, it appears this would create some non-conformance on the adjacent property (scales 4' from line to building).
3. Are there any wetlands on the property?
4. If the proposed electric service is underground, please relocate it so it does not encroach on the abutting property.
5. Please add 2 street trees (required for single family development) to your site plan.
6. Add erosion control to the site plan.
7. Note 7 states that 'this is not a boundary survey', however, it is embossed with a licensed surveyor's stamp. Please clarify.

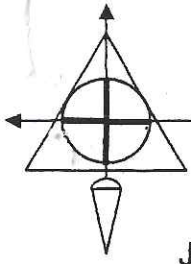
Please submit 4 copies of the revised plan to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager
Marge Schmuckal, Zoning Administrator





BACK BAY BOUNDARY, INC.
LAND SURVEYING

January 26, 2006

Mr. Jay Reynolds
City of Portland,
Development Review Coordinator
389 Congress Street
Portland, Maine 04101

RE: Application for a Single Family Dwelling, 214 Lane Ave.

Dear Jay;

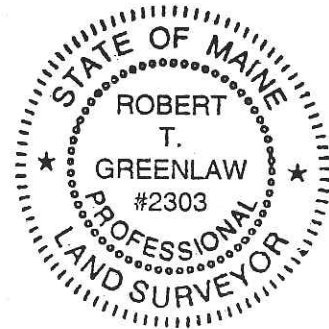
Thank you for your letter dated January 19, 2006. I response to your letter the following changes have been made to the enclosed plan.

1. The lot dimensions are now correct on the plan. An outdated plan was referenced for this project which had old information on it. The correct lot dimensions of 75' x 108' are shown on the plan.
2. The abutting lot and building meet current code requirements.
3. Wetlands on the property. No wetlands were observed on the subject parcel. We have included a sketch plan of the Federal wetland inventory map that shows the mapped wetlands well away from our site.
4. The electric service has been relocated.
5. Two street trees were added to the plan.
6. Silt fencing was added to the plan.
7. This is a Standard Boundary Survey and can be relied upon as an accurate depiction of the property lines as they now exist.

Please feel free to contact us should any other questions or comments arise.

Sincerely,

Robert T. Greenlaw, PLS



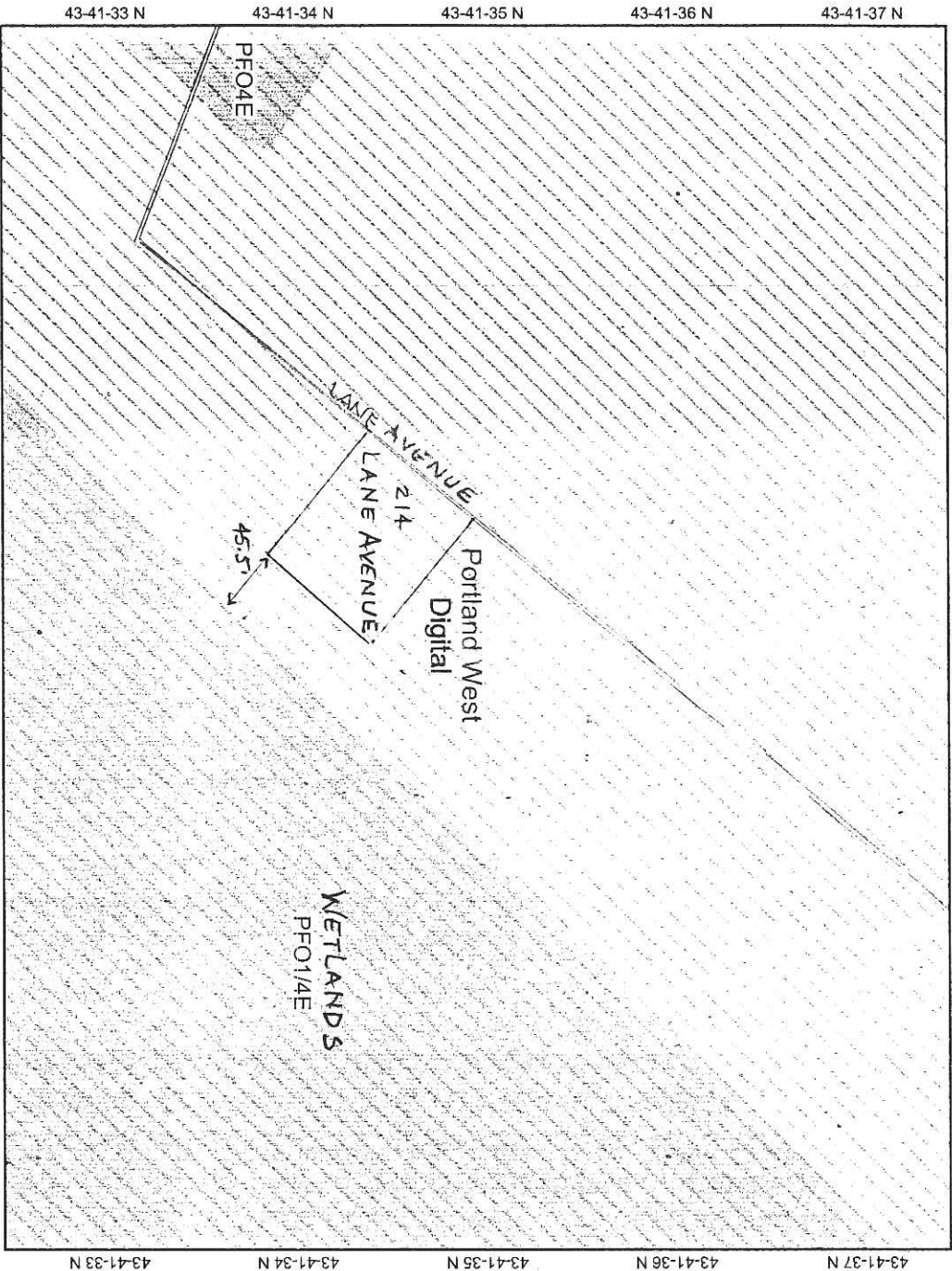
(207) 774-2855

643 Forest Avenue Portland, Maine 04101
Email ~Backbayboundary@cs.com

Fax (207) 347-4346

www.Backbayboundary.com

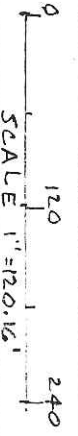
Lane Ave Wetlands



This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION.

Notes: Hoglund Property, 214 Lane Ave, Portland, Maine
203 ft from corner of Leighton Ave

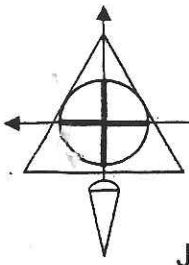
Map center: 43° 41' 34.9" N, 70° 18' 54.1" W



Scale: 1:1,442

Legend

- Interstate
- Major Roads
- Other Road
- Interstate
- State highway
- US highway
- Roads
- CONUS Cities
- CONUS USGS Quad Index 24K
- Lower 48 Wetland Polygons
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine
- Metadata
- Non-Digital
- Digital
- Scan
- Lower 48 Available Wetland Data
- Non-Digital
- Digital
- No Data
- Scan
- NHD Waterbodies
- NHD Streams
- Canadian Waterbodies
- CONUS Counties 100K
- Urban Areas 300K



BACK BAY BOUNDARY, INC.
LAND SURVEYING

January 26, 2006

Mr. Jay Reynolds
City of Portland,
Development Review Coordinator
389 Congress Street
Portland, Maine 04101

RE: Application for a Single Family Dwelling, 214 Lane Ave.

Dear Jay;

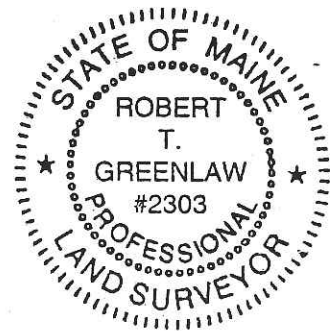
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6. Silt fencing was added to the plan.
7. This is a Standard Boundary Survey and can be relied upon as an accurate depiction of the property lines as they now exist.

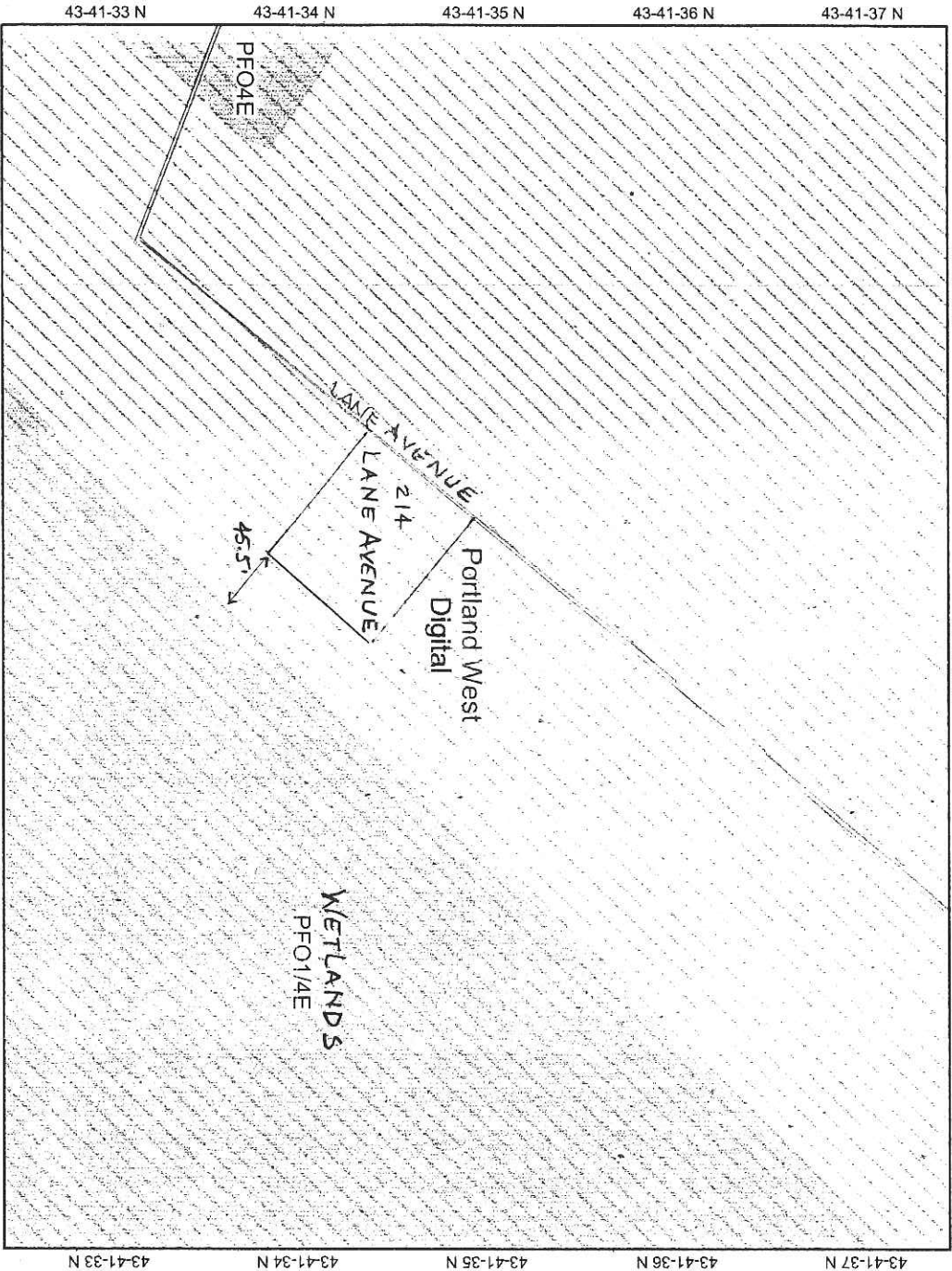
Please feel free to contact us should any other questions or comments arise.

Sincerely,

Robert T. Greenlaw, PLS



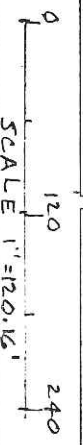
Lane Ave Wetlands



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Notes: Hoglund Property, 214 Lane Ave, Portland, Maine
203 ft from corner of Leighdon Ave

Map center: 43° 41' 34.9" N, 70° 18' 54.1" W



Scale: 1:1,442

- ### Legend
- Interstate
 - Major Roads
 - Other Road
 - Interstate
 - State Highway
 - US Highway
 - Roads
 - CONUS Cities
 - CONUS USGS Quad Index 24K
 - Lower 48 Wetland Polygons
 - Estuarine and Marine Deepwater
 - Estuarine and Marine Wetland
 - Freshwater Emergent Wetland
 - Freshwater Forested/Shrub Wetland
 - Freshwater Pond
 - Lake
 - Other
 - Riverine
 - Metadata
 - Non-Digital
 - Digital
 - No Data
 - Scan
 - Lower 48 Available Wetland Data
 - Non-Digital
 - Digital
 - No Data
 - Scan
 - NHD Waterbodies
 - NHD Streams
 - Canadian Waterbodies
 - CONUS Counties 100K
 - Urban Areas 300K

2005135

DELTA REALTY COMPANY

7936/124

SEE PLAN OF PROPERTY LANE AVENUE, PORTLAND, MAINE.
MADE FOR JERRY WAXMAN BY OWEN HASKELL, INC. DATED
JANUARY 3, 1983.

EL
AVENUE

LOT # 46

N/F
SMART
6962/93

125.42'

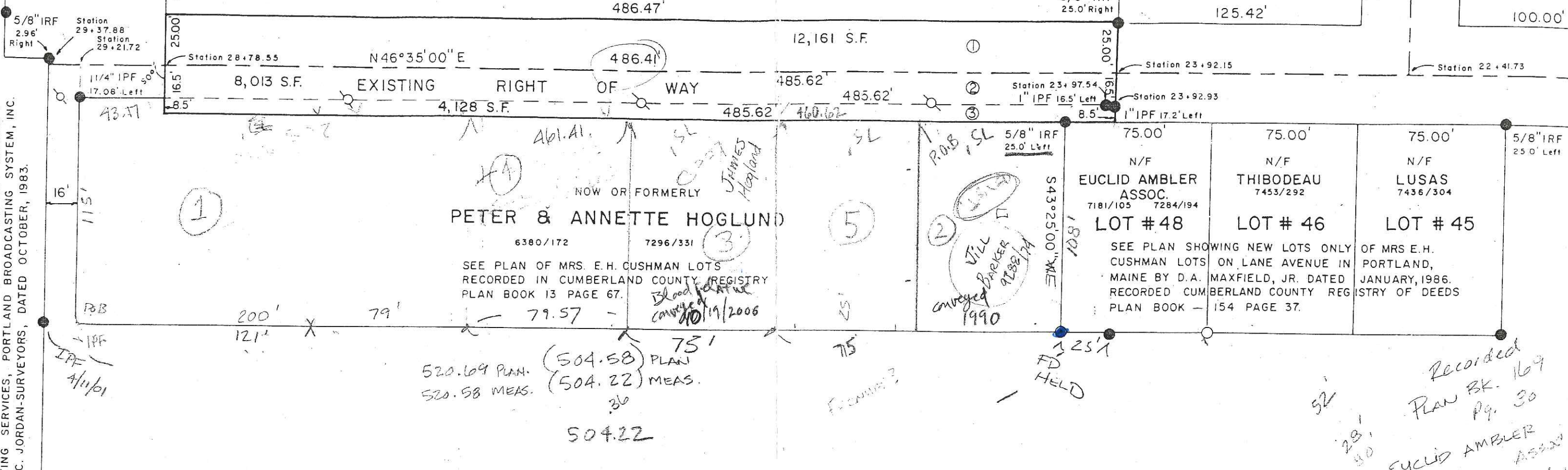
N/F
SPARR
7000/66

LOT # 47

100.00'

N/F
MAINE TURNPIKE AUT
2206/7
LEIGHTON
N43°33'50"W

N/F GEORGE SILVERMAN 7895/245
SEE PLAN OF PROPERTY IN PORTLAND, MAINE FOR GUY GANNETT
BROADCASTING SERVICES, PORTLAND BROADCASTING SYSTEM, INC.
BY H.I. & E.C. JORDAN-SURVEYORS, DATED OCTOBER, 1983.



NOW OR FORMERLY
PETER & ANNETTE HOGLUND
6380/172 7296/331

SEE PLAN OF MRS. E.H. CUSHMAN LOTS
RECORDED IN CUMBERLAND COUNTY REGISTRY
PLAN BOOK 13 PAGE 67.

520.69 PLAN.
520.58 MEAS.
(504.58) PLAN
(504.22) MEAS.
36
504.22

LEGEND

- IRON PIN FOUND
- MONUMENT FOUND
- Q----- UTILITY POLE
- N/F----- NOW OR FORMERLY
- S.F.----- SQUARE FEET

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG 14 2002
RECEIVED

EXCEPTIONS:

- 1.) NO MONUMENTATION SET
- 2.) NO DESCRIPTION PREPARED

I HEREBY STATE THAT THIS SURVEY WAS
PERFORMED UNDER MY DIRECTION AND
TO THE BEST OF MY KNOWLEDGE AND
ABILITY CONFORMS TO THE MAINE BOARD
OF REGISTRATION FOR LAND SURVEYORS
STANDARDS CATEGORY I, CONDITION III.

Delmar Maxfield, Jr.
D.A. MAXFIELD, JR.

#	REVISIONS	DATE

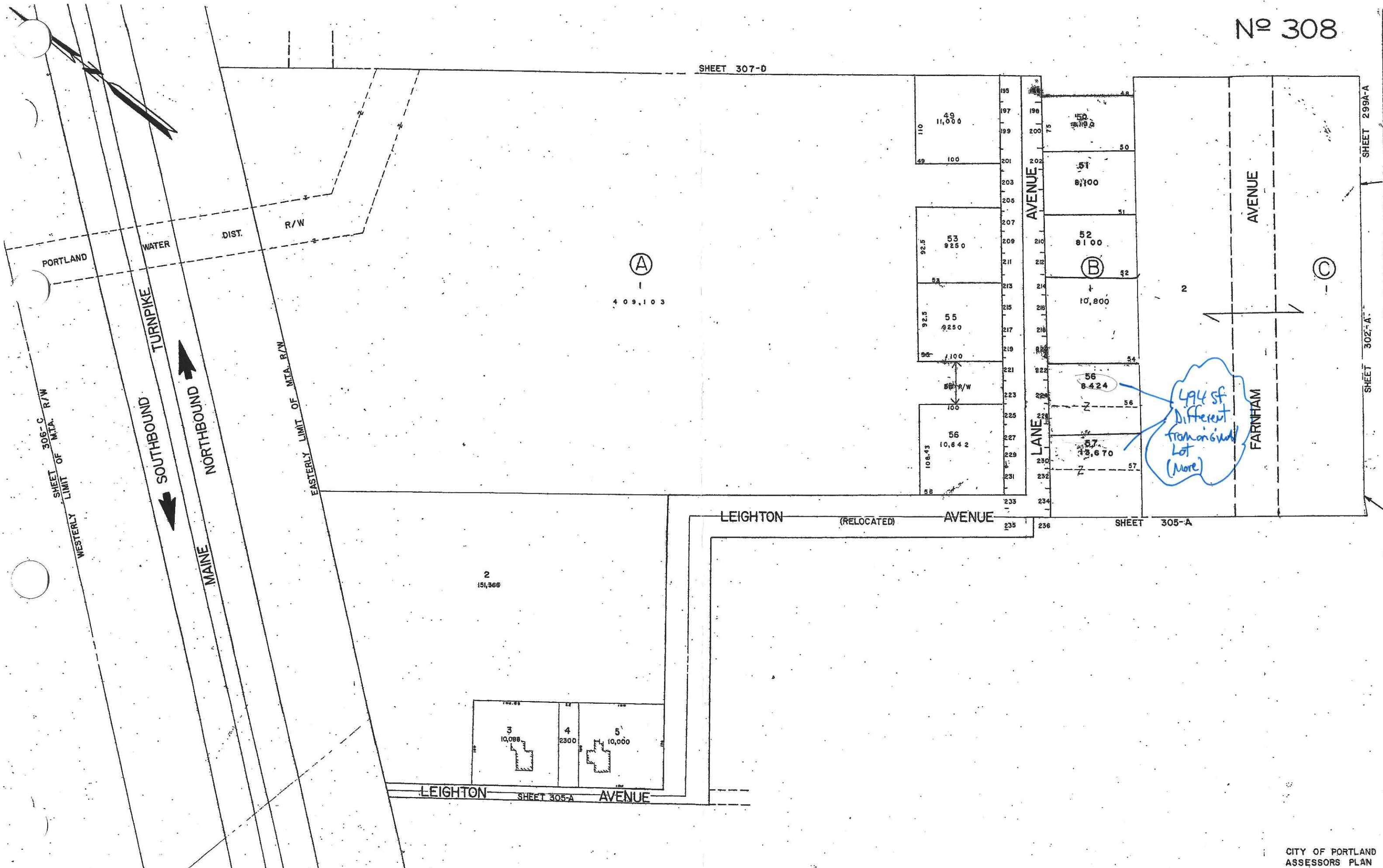
STATE OF MAINE
DEPT. OF LAND & CONSERVATION
D.A. MAXFIELD, JR.
7/11/22

Recorded
PLAN BK. 169
Pg. 30
EUCID AMBLER
ASSOC.
Standard Boundary
Feb. 1989

S
PROPOSED

EUCI

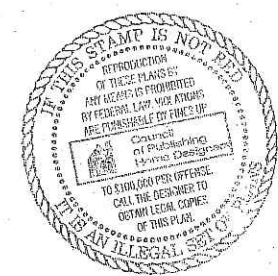
SHEET 307-D



JAMES HOGLUND 9.23.05
NEW HOUSE ON LAST LOT

CHANGES TO FLOORPLAN

- 1. BULKHEAD
- 2. NO DAYLIGHT
- 3. EXTEND FRONT PORCH
- 4. EXTEND BACK DECK



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JAN 13 2006
RECEIVED

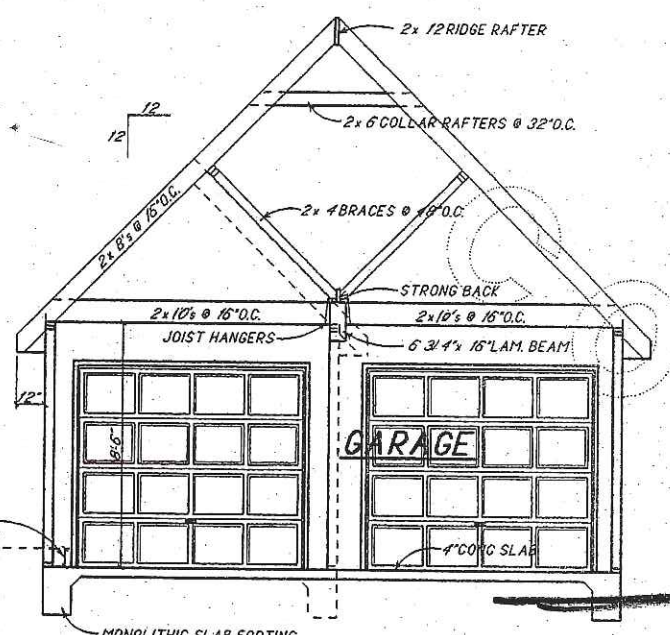
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 © JAMIES VANN & ASSOCIATES, INCORPORATED COPYRIGHT 1996

PLAN NO. 1832-A
 DESIGNER: J.V.
 DRAFTSPERSON: J.V.
 DATE: 12.31.91
 REVISED: 12.31.91
 SHEET 1 OF 9

Jamies Vann & Associates, Inc.
 Printed in the United States of America
 Reproduction of these drawings, in whole or in part, including any direct copying and/or preparation of derivative works, thereof, for any reason without the prior written consent of Jamies Vann & Associates, Inc. is prohibited. The purchaser's interest in them to the buyer except for a limited license to use these drawings for the construction of one, and only one, dwelling unit. The purchase of additional sets of drawings does not entitle the buyer with a license to construct more than one dwelling unit.

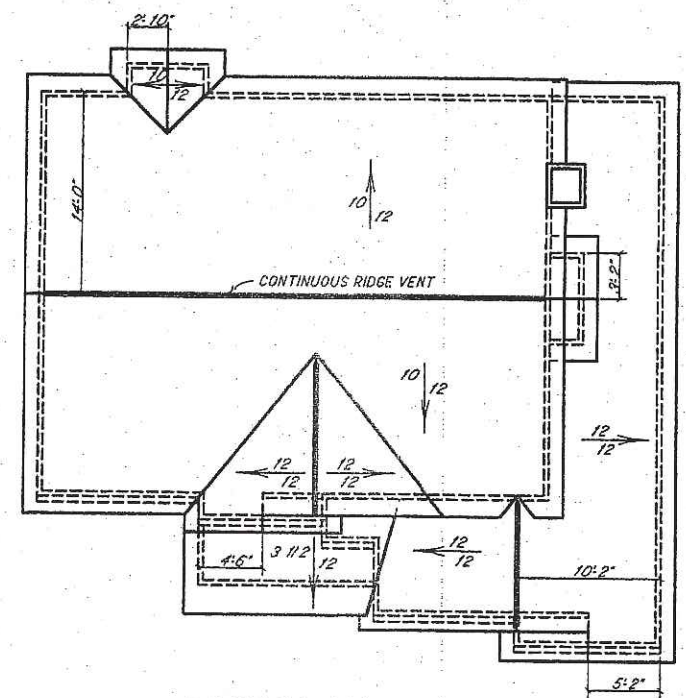
THE DRAWINGS SHOWN HERE WERE DESIGNED WITHOUT KNOWLEDGE OR REFERENCE TO BUILDING REQUIREMENTS AND/OR PREPARATION OF DERIVATIVE WORKS THEREOF, IN COMPLIANCE WITH ALL LOCAL, STATE & FEDERAL CODES IS THE RESPONSIBILITY OF THE OWNER AND THE BUILDER. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSTRUCTIONS AND ALL APPLICABLE BUILDING CODES.

RESIDENTIAL BUILDING DESIGNERS
 Jamies Vann & Associates, Inc.
 6962 MAIN STREET SUITE 100 WOODSTOCK GA 30188 770-928-0466



GARAGE SECTION
 SCALE: 1/4" = 1'-0"

FRONT ELEVATION PLAN NO. 1832-A
 SCALE: 1/4" = 1'-0"

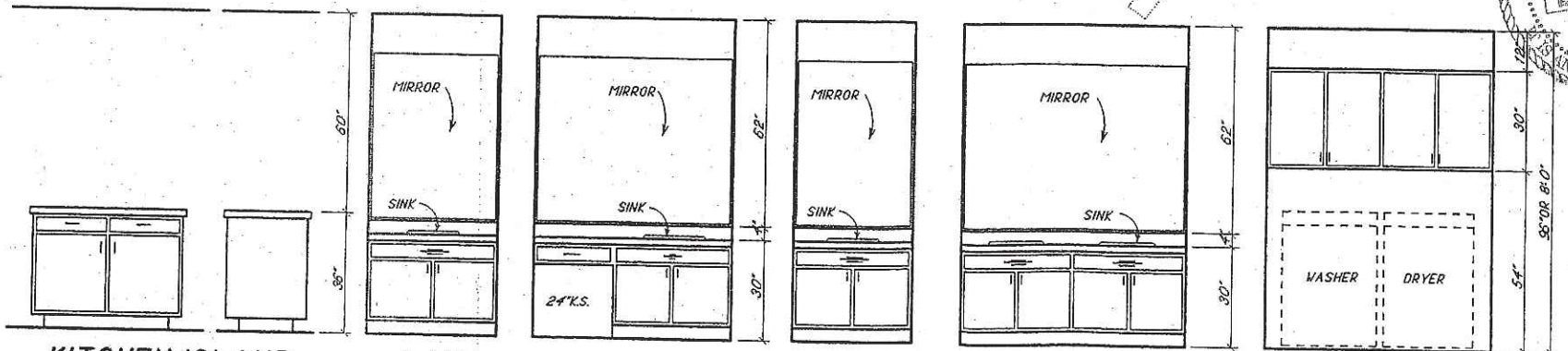


ROOF PLAN
 SCALE: 1/8" = 1'-0"

ENERGY CODE COMPLIANCE CHART		SQ. FT. CHART	
The percentage shown complies with the GA. Energy Code using 2500-3000 degree days, type 3 walls & type D windows.			
Main house w/o Bsmt. Total Sq Ft. of Openings	_____ %	FIRST FLR.	869
Sq Ft. of Perimeter Wall	_____ %	SECOND FLR.	963
Main House w/ Bsmt. Total Sq Ft. of Openings	_____ %	TOTAL HEATED	1832
Sq Ft. of Perimeter Wall	_____ %	SUN DECK	192
To convert to your area verify wall and window types needed for the opening percentage shown using the degree days for your city & state. You may omit windows to comply if you do not want to upgrade wall & window types used.		OPEN AREA	85
		GARAGE	456
		BASEMENT	869
		COVERED PORCH	50
		STORAGE	115



LEFT ELEVATION PLAN NO. 1832-A
 SCALE: 1/4" = 1'-0"



CABINET DETAILS
 SCALE: 3/8" = 1'-0"



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PLAN NO. 1832-A
 DESIGNER: J.V. VANN
 DATE: 12/25/95
 REVISED: 12/25/97
 SHEET 2 OF 2

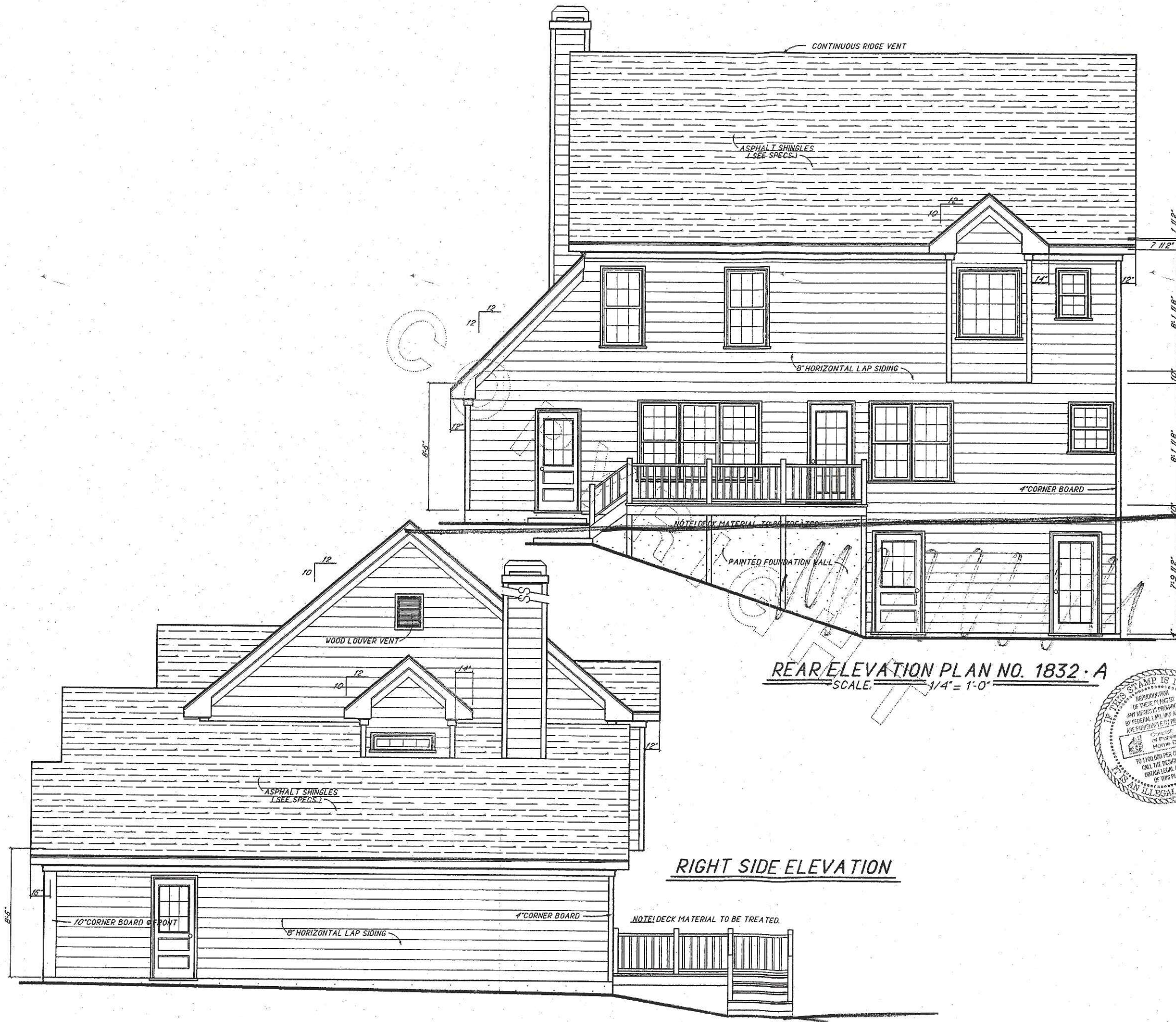
Jannis Vann & Associates, Inc.
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THE DRAWINGS SHOWN HERE WERE DESIGNED WITHOUT REFERENCE TO BUILDING REQUIREMENTS IN ANY LOCAL, STATE OR FEDERAL CODES. THE RESPONSIBILITY OF THE OWNER AND THE BUILDER TO COMPLY WITH ALL LOCAL, STATE & FEDERAL CODES IS THE RESPONSIBILITY OF THE OCCUPANTS. USE MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE BUILDING CODES.

RESIDENTIAL BUILDING DESIGNERS

Jannis Vann & Associates, Inc.

6982 MAIN STREET SUITE 100 WOODSTOCK, GA 30188 770-928-0456



REAR ELEVATION PLAN NO. 1832-A
SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION

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PLAN NO. 1832-A
DESIGNER: JAV
DRAFTSPERSON: JAV
DATE: 12-5-97
SHEET 3 OF 7

Jannis Vann & Associates, Inc.
Printed in the United States of America
Reproduction of these drawings, in whole or in part, including any direct copying and/or preparation of derivative works therefrom, for any reason, without the prior written consent of the designer, is prohibited. The purchaser of these drawings for the purchase of these drawings is to use these drawings for the construction of a single dwelling unit. These drawings are not to be used for any other purpose. The package does not entitle the buyer with a license to construct more than one dwelling unit.

THE DRAWINGS SHOWN HERE WERE DESIGNED WITHOUT COMPLIANCE WITH ALL LOCAL, STATE & FEDERAL CODES IN ALL GEOGRAPHIC AREAS OF THE COUNTRY. THEREFORE, THE BUYER OF THESE DRAWINGS IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES.

RESIDENTIAL BUILDING DESIGNERS
Jannis Vann & Associates, Inc.
6983 MAIN STREET SUITE 100 WOODSTOCK, GA 30188 770-928-0456

