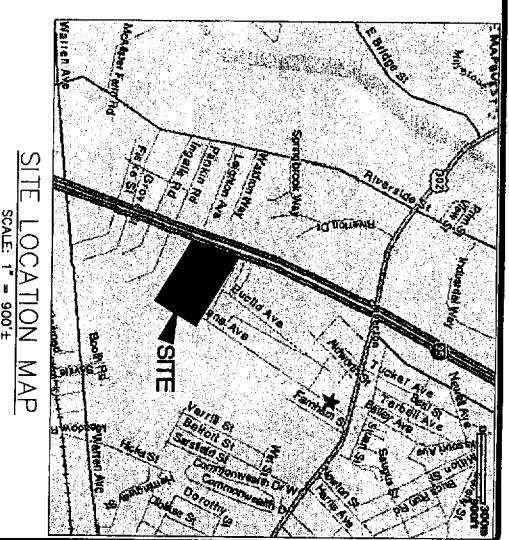
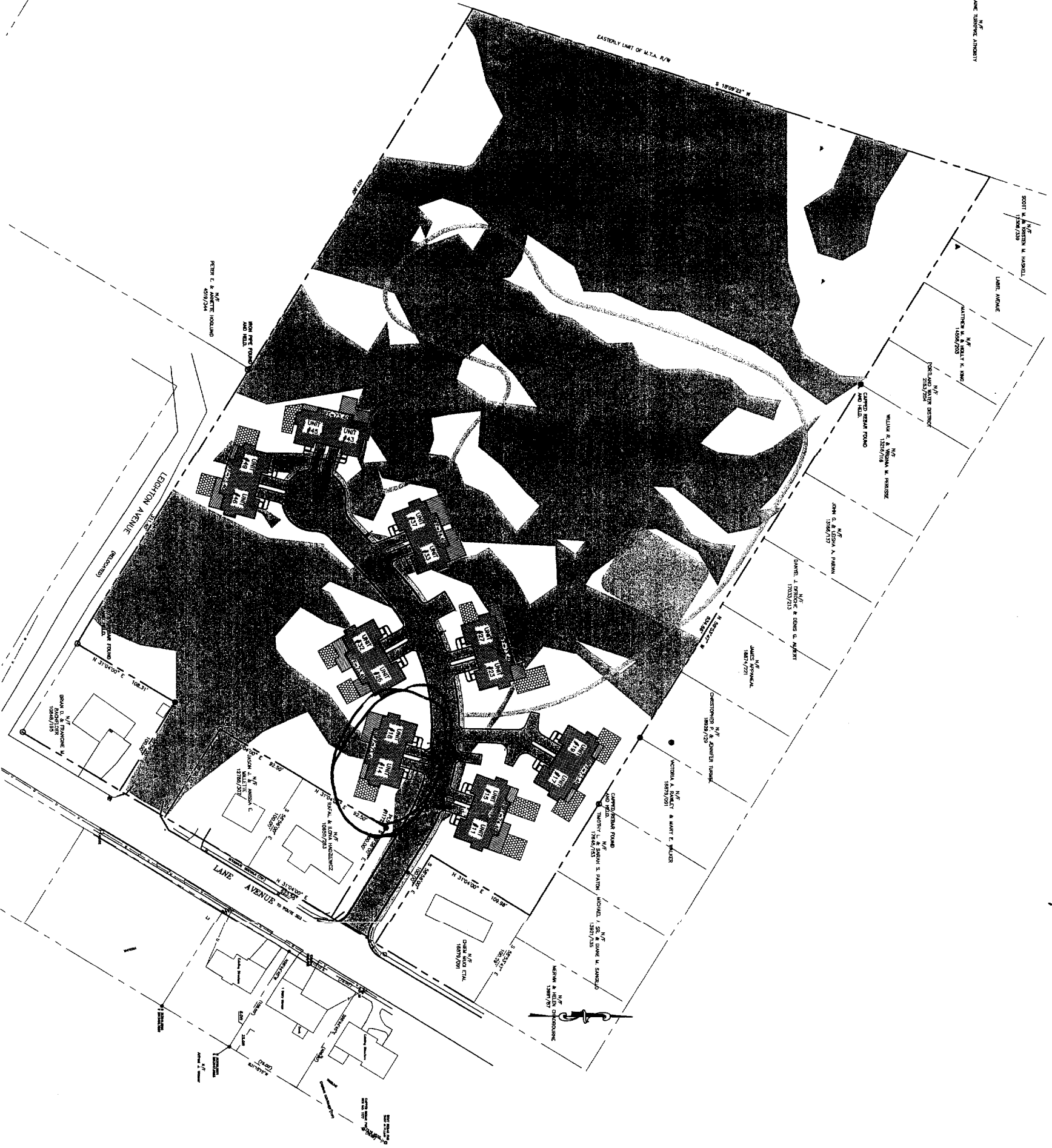


JARITA COURT

A DEVELOPMENT BY SHARP HOMES, INC.



GENERAL NOTES:

1. RECORD OWNER OF PROPERTY: SHARP HOMES, INC.
120 EXCHANGE STREET
PORTLAND, MAINE 04101
2. LOT IS IN THE R-3 RESIDENTIAL ZONE WITH FH (FLEXIBLE HOUSING) OVERLAY.
3. PROJECT LOCATION: LANE AVENUE, PORTLAND MAINE, 04101
PORTLAND TAX CHART 308, BLOCK A, LOT 1.
4. LOT SIZE: 401,237 S.F. OR 9.21 ACRES.
5. WETLAND DELINEATION BASED ON BY ALBERT FRICK ASSOCIATES, INC.
CORHAM, ME. DATED 04-06-04
6. TOPOGRAPHIC & STANDARD BOUNDARY SURVEY INFORMATION BASED ON PLAN BY
BACK BAY BOUNDARY, INC. LAND SURVEYING, PORTLAND, MAINE DATED JULY 2, 2003.
7. SPACE AND BULK FOR THE R-3 ZONE W/ PROUD:

REQUIRED	PROPOSED
NET GROUND COVER	401,237 S.F.
MINIMUM LOT AREA PER DWELLING UNIT	133,547 S.F.
MINIMUM STREET FRONTAGE	6,500 S.F.
MINIMUM BUILDING SETBACK FROM EXTERNAL PROPERTY LINES WITH THREE (3) OR FEWER UNITS	100 FT.
MINIMUM BUILDING SETBACK FROM EXTERNAL PROPERTY LINES WITH FOUR (4) OR FEWER UNITS	25 FT.
MINIMUM SETBACK BETWEEN FROND DWELLING UNITS	35 FT.
PROPOSED PROJECT IS IN COMPLIANCE WITH SPACE AND BULK REQUIREMENTS.	16 FT.
8. PARKING SUMMARY:
 - PARKING REQUIRED PER ORDINANCE: 2 SPACES PER DWELLING UNIT PLUS 1 ADDITIONAL SPACE FOR EVERY SIX (6) UNITS OR FRACTION THEREOF.
 - 16 GARAGED SPACES
 - 16 OFF-STREET DRIVEWAY SPACES 18'x9'
 - 3 COMMON PARKING SPACES 18'x9'
 - 35 PARKING SPACES TOTAL (PROPOSED)
 - 16 UNITS = 35 SPACES (REQUIRED)
9. CALL DIG SAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION, (1-800-225-4977)
10. BUILDING LOCATION TO BE WITHIN THE SETBACK LINES SHOWN ON THIS PLAN.
11. ALL CONSTRUCTION & SITE WORK TO BE DONE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
12. THE PROJECT WILL BE BUILT TO ADOT AND/OR CITY OF PORTLAND STANDARDS AND SPECIFICATIONS.

LEGEND

- Copied 5/8" Rebar Found
- Professional Land Surveyor # if found
- Iron Pipe or Solid Pin Found
- Survey Instrument Point
- (50,000) Distance from reference pin or deed.
- N/F New Or Formerly.
- 12399/695 Deed Book and Page Reference
- Abutter Line
- Property Line
- Street Line
- Edge of traveled way
- Proposed Pavement
- Proposed 35'x64' Duplex
- Existing Wetland

**FINAL SET
ISSUED FOR
CONSTRUCTION**
NOVEMBER 2, 2004

REVISIONS		
No.	BY	DESCRIPTION
1	ASB	CHANGES PER CITY OF PORTLAND
2	ASB	CHANGES PER MTG W/CITY OF PORTLAND
3	ASB	CHANGES PER 8-25 MTG W/CITY OF PORTLAND
4	ASB	CHANGES PER CITY OF PORTLAND MEWO DATED 8-27-04

JARITA COURT
LANE AVENUE, PORTLAND
FOR SHARP HOMES, INC.

SHEET TITLE
**PROPOSED PLAN FOR
P.R.U.D. (PLANNED RESIDENTIAL UNIT DEVELOPMENT)**

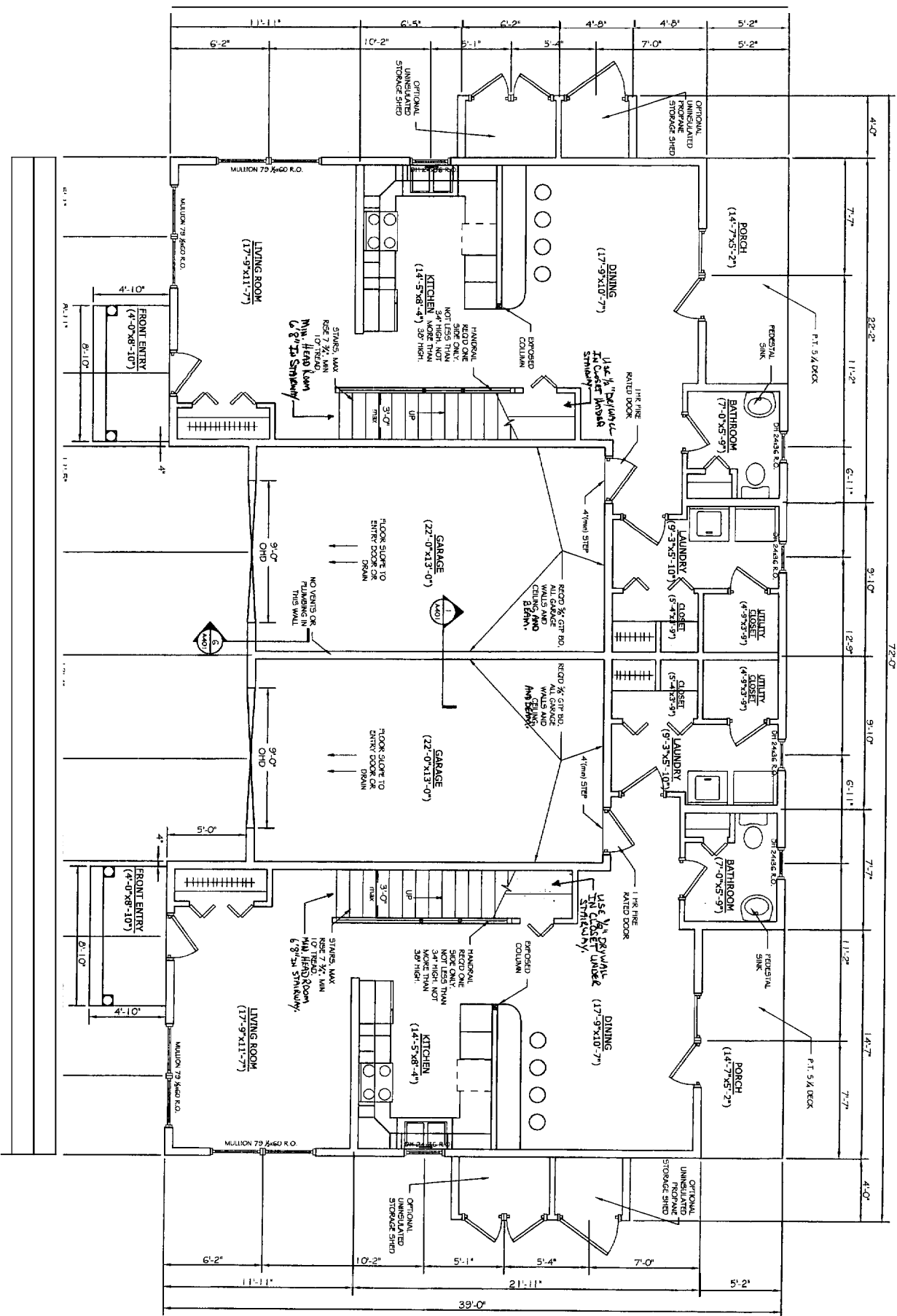
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**ASSOCIATED DESIGN
PARTNERS INC.**

80 Leighton Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

STATE OF MAINE
JAMES THIBODEAU
No. 6795
REGISTERED PROFESSIONAL ENGINEER



DUPLEX FIRST FLOOR PLANS
SCALE: 1/4" = 1'-0"

REVISIONS			
No.	BY	DESCRIPTION	DATE
1	SHI	For Construction	2-0-05

PROJECT **JARITA COURT CONDO**
LANE AVE PORTLAND, ME 04101

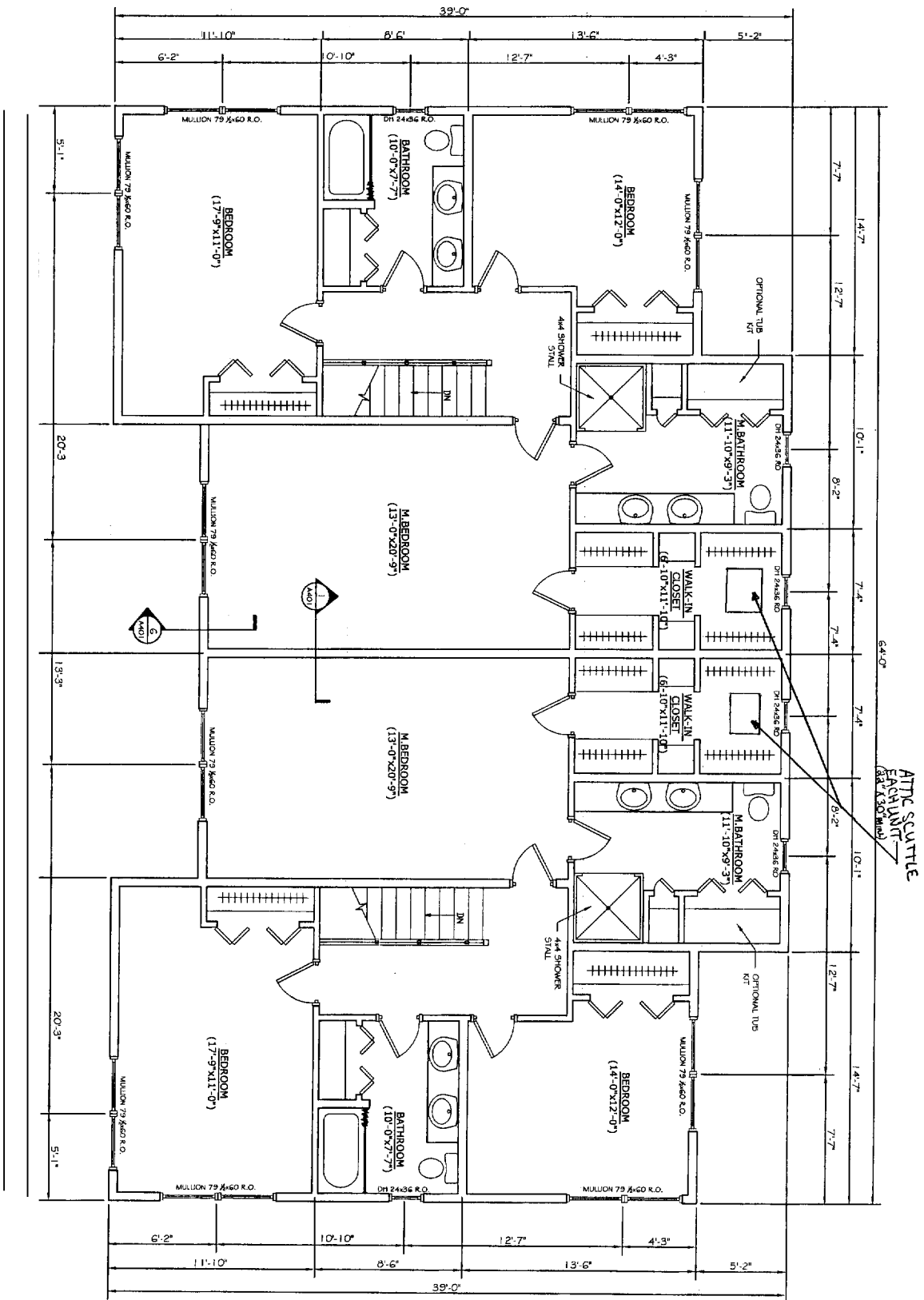
SHEET TITLE:
FIRST FLOOR CONDOMINIUM PLAN

DESIGNED AND BUILT BY
JHARP HOMES, INC.

120 EXCHANGE STREET
Portland, Maine 04101

Office: (207) 874-6959
Fax: (207) 874-6988

DATE: 01/04/05
SCALE: AS NOTED
FILE # 02102-A101.DWG
PROJECT NUMBER:
02102
SHEET NO.:
A101



DUPLEX SECOND FLOOR PLANS
SCALE: 1/4" = 1'-0"

REVISIONS			
No.	BY	DESCRIPTION	DATE
1	SHZ	FOR CONSTRUCTION	2-10-05

PROJECT: JARITA COURT CONDO
LANE AVE. PORTLAND, ME 04101

SHEET TITLE:
SECOND FLOOR CONDOMINIUM PLAN

DESIGNED
ANDBUILTBY

SHARP HOMES, INC.

120 EXCHANGE STREET Office: (207) 874-6959
Portland, Maine 04101 Fax: (207) 874-6988

DATE: 01/04/05
SCALE: AS NOTED
FILE #02102-001.DWG
PROJECT NUMBER:

02102

SHEET NO:
A201



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATIONS
SCALE: 1/4" = 1'-0"



LEFT ELEVATIONS
SCALE: 1/4" = 1'-0"

SHARP HOMES, INC.

120 EXCHANGE STREET
Portland, Maine 04101
Office: (207) 874-6959
Fax: (207) 874-6988

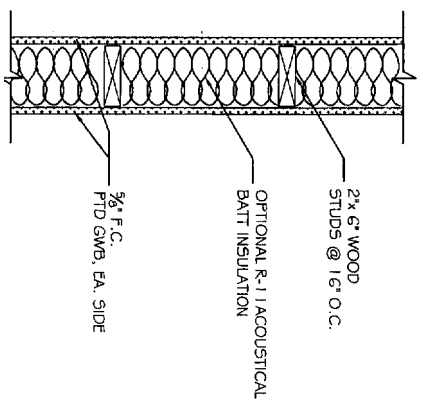
DESIGNED
AND BUILT BY:

PROJECT: **JARITA COURT CONDO**
LANE AVE. PORTLAND, ME 04101

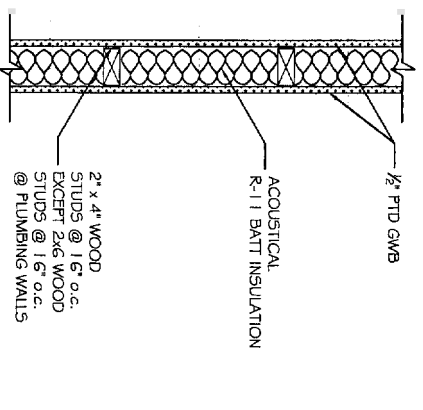
SHEET TITLE: **CONDOMINIUM ELEVATIONS**

NO.	BY	REVISIONS	DATE
1	SHZ	F&C CONSTRUCTION	2-7-05

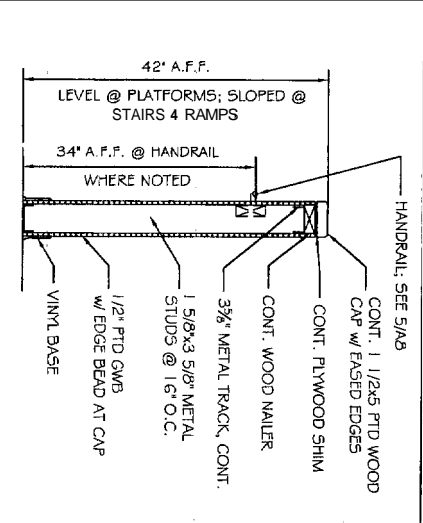
DATE: 01/04/05
SCALE: AS NOTED
DRAWN BY: 02 NIDBERGWC
32102
SHEET NO
A301



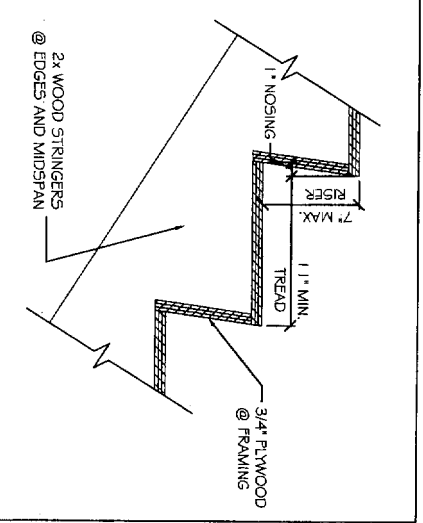
1/2" = 1'-0" RATED INTERIOR PARTITION PLAN VIEW



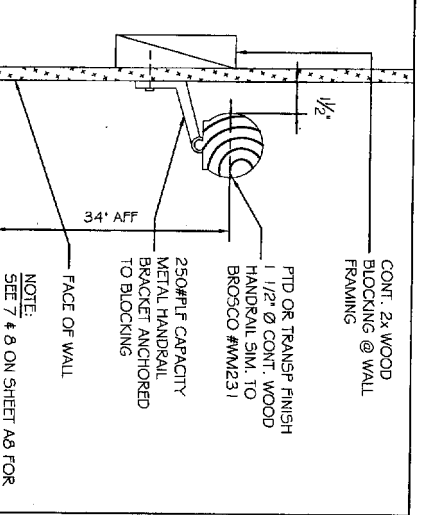
1/2" = 1'-0" NON-RATED INT PARTITION PLAN VIEW



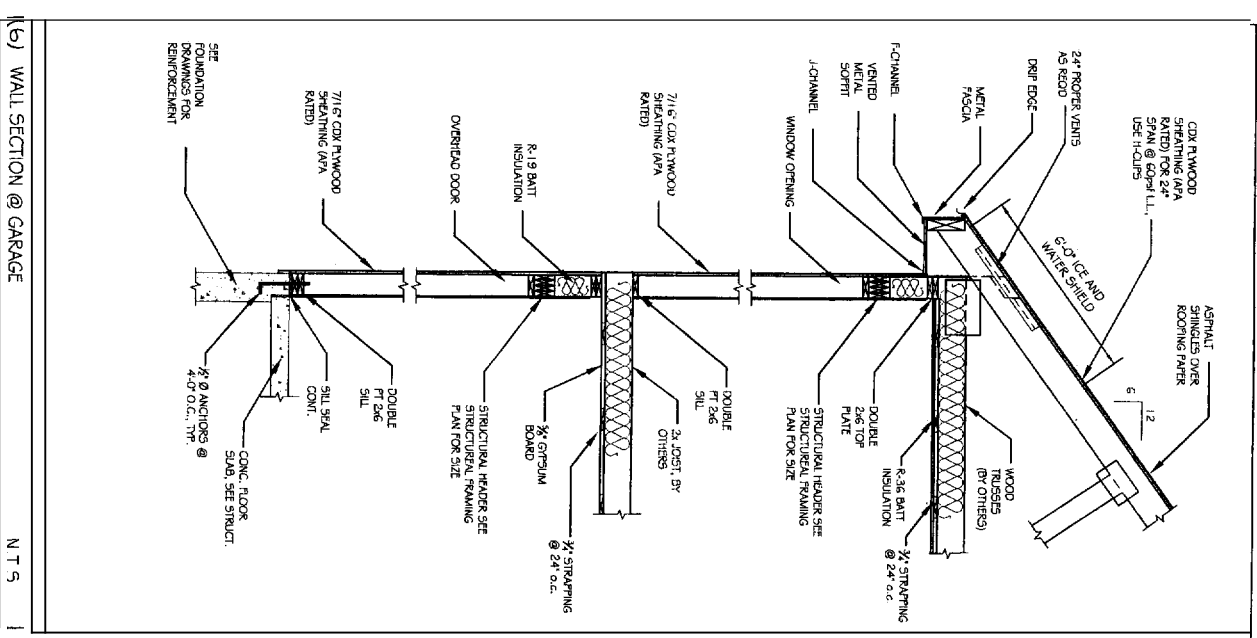
INTERIOR PARTITION



4 TYPICAL STAIR TREAD/RISER N.T.S.



5 HANDRAIL @ INTERIOR PARTITION N.T.S.



(6) WALL SECTION @ GARAGE N.T.S.

REVISIONS		DATE
No.	BY	DESCRIPTION
1	SHZ	FOR CONSTRUCTION
2		
3		
4		

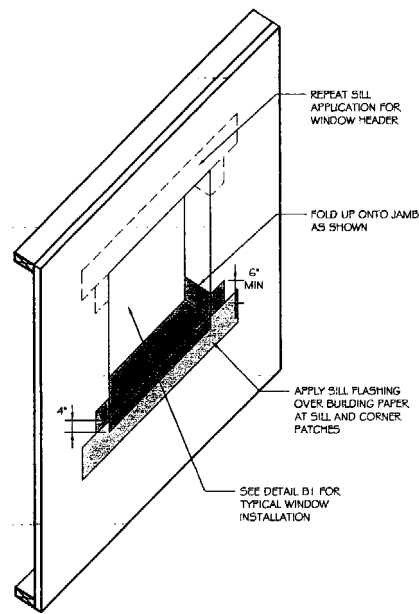
PROJECT: **JARITA COURT CONDO**
LANE AVE. PORTLAND, ME 04101

SHEET TITLE:
ARCHITECTURAL DETAILS

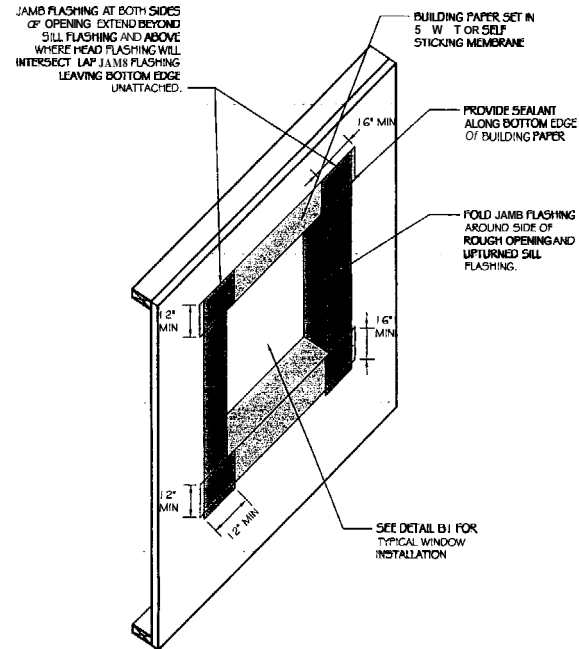
DESIGNED AND DRAFTED BY:
SHARP HOMES, INC.

120 EXCHANGE STREET Office: (207) 874-6959
 Portland, Maine 04101 Fax: (207) 874-6988

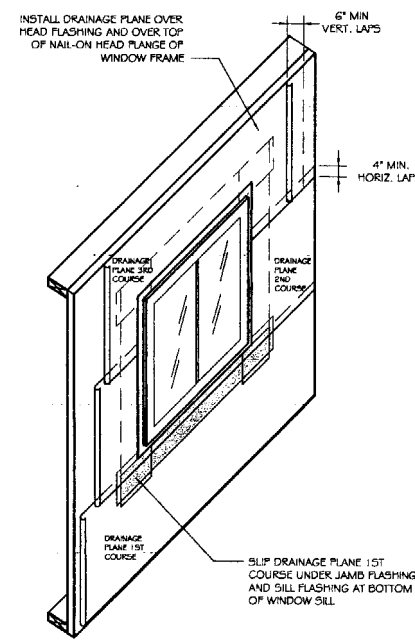
DATE: 01/04/05
 SCALE: AS NOTED
 FILE #: 02102-4401.DWG
 PROJECT NUMBER:
02102
 SHEET NO.:
A401



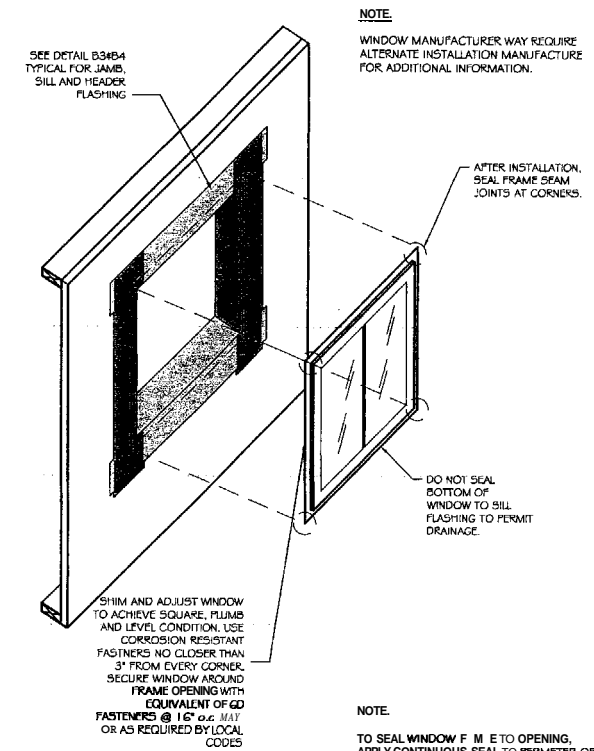
B4 **HEADEW SILL FLASHING**
SCALE: NTS



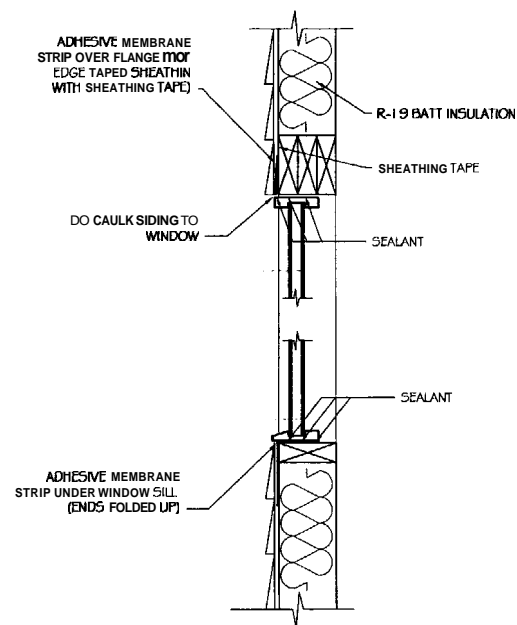
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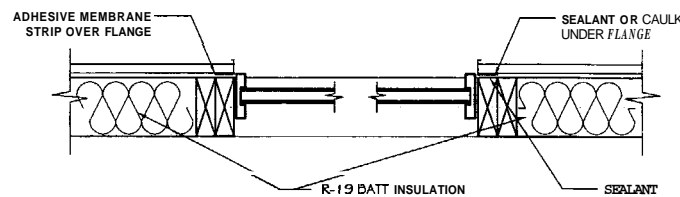
B2 **DRAINAGE PLANE APPLICATION**
SCALE: NTS



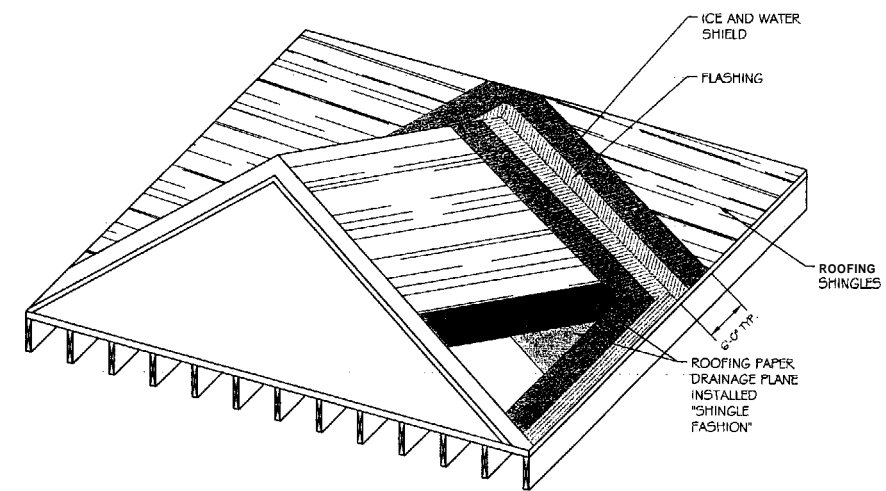
B1 **WINDOW INSTALLATION**
SCALE: NTS



A4 **WINDOW HEAD AND WINDOW SILL**
SCALE: NTS



A3 **WINDOW JAMB (PLAN VIEW)**
SCALE: NTS



A1 **TYPICAL ROOF VALLEY PROTECTION**
SCALE: NTS

SHARP HOMES, INC.

120 EXCHANGE STREET
Portland, Maine 04101

Office: (207) 874-6959
Fax: (207) 874-6988

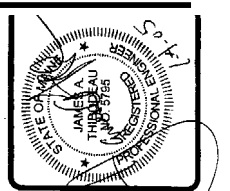
PROJECT: **JAHITA COURT CONDO**
LANE AVE. PORTLAND, ME 04101

SHEET TITLE: **THERMAL MOISTURE DETAILS**
ISSUED FOR CONSTRUCTION

REVISIONS	DESCRIPTION	DATE
1	FOR CONSTRUCTION	2/1/05

DATE: 01/04/05
SCALE: AS NOTED
FILE #: 02102-A402.DWG
PROJECT NUMBER:

SHEET NO:



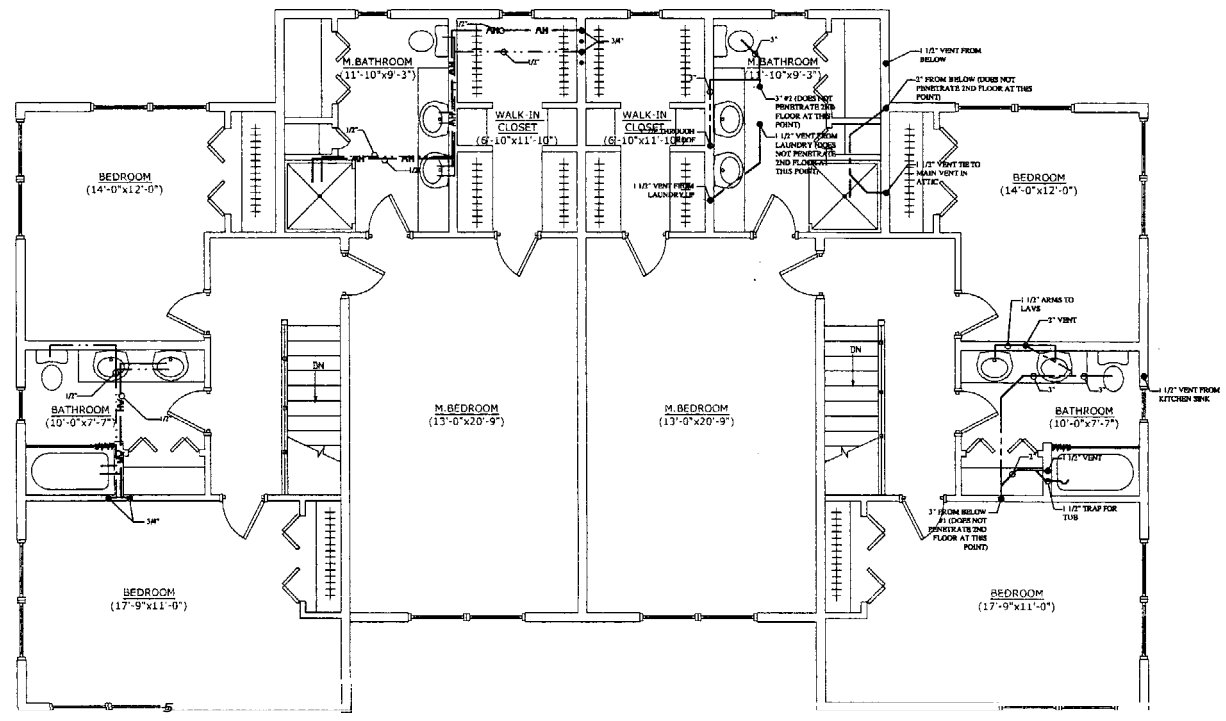
ASSOCIATED DESIGN PARTNERS INC.
 Office: (207) 878-1751
 (207) 878-1788
 80 Leighton Road
 Falmouth, Maine 04105
 E-Mail: cdp@cdpengineering.com

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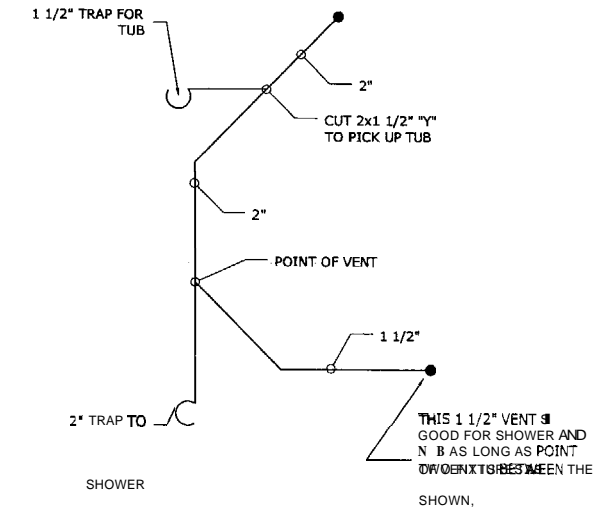
PROJECT: **JARITA COURT**
 LANE AVENUE, PORTLAND
 FOR: LOU WOOD
 SHEET TITLE: **PLUMBING PLANS FIRST FLOOR ISSUED FOR CONSTRUCTION**

NO.	BY	DATE	DESCRIPTION
1	Site	2/19/05	For Construction

DATE: 01/04/05
 SCALE: 1/4"=1'-0"
 DESIGN BY: JAT
 DRAWN BY: AL
 FILE #: 02102.901.DWG
 PROJECT NUMBER: **02102**
 SHEET NO: **A901**



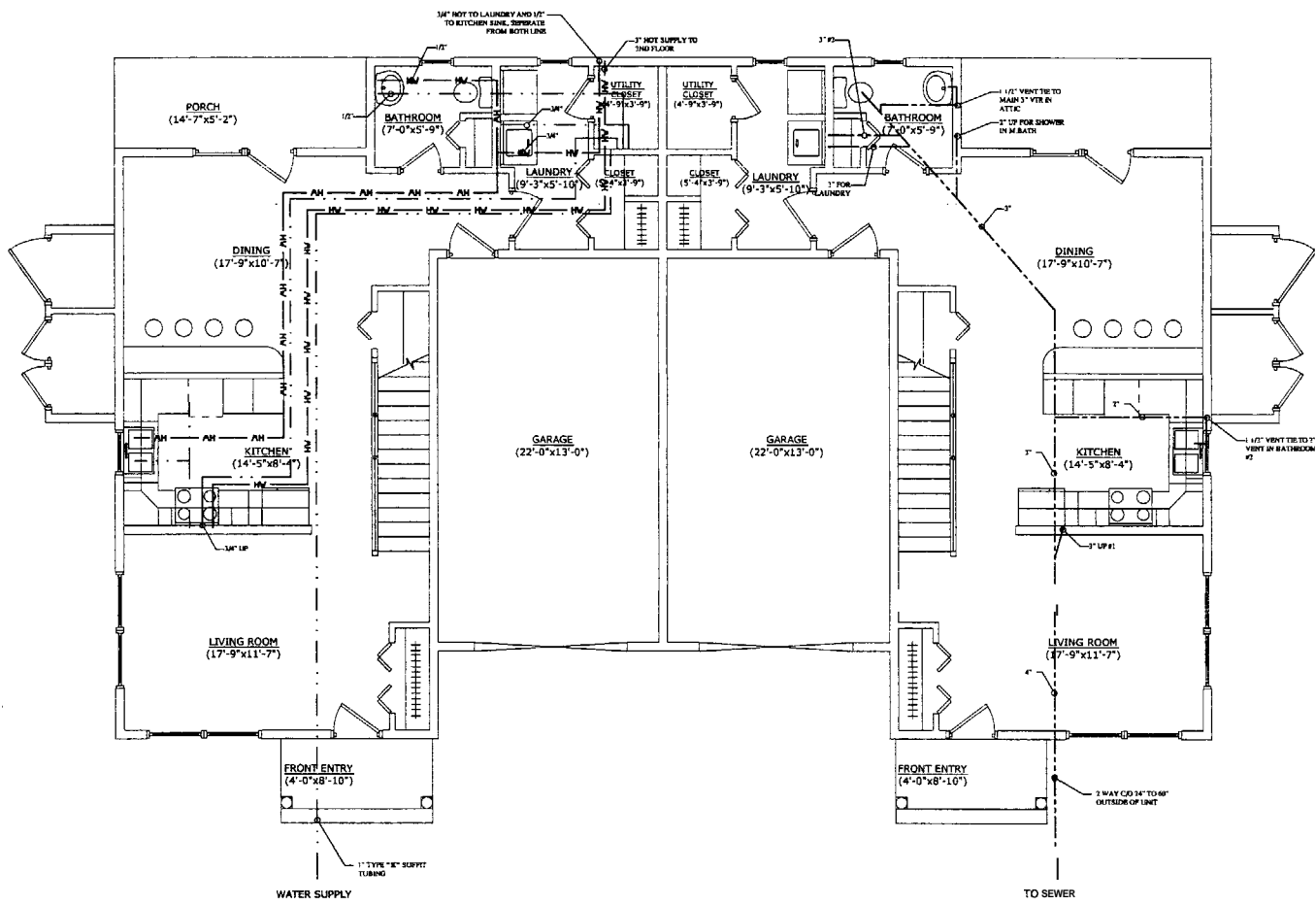
SECOND FLOOR PLUMBING PLAN
 SCALE: NT5



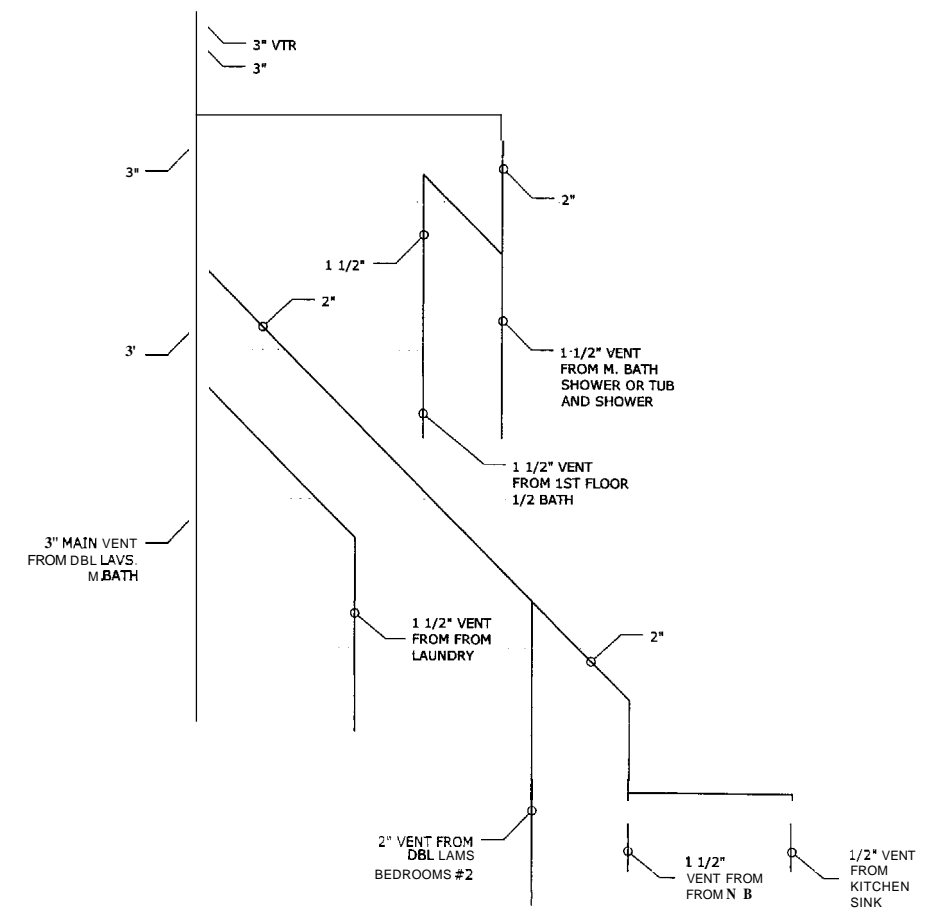
OPTIONAL TUB KIT
 SCALE: NT5

KEY:
 COLD WATER SUPPLY ---
 HOT WATER SUPPLY --- HW ---
 SEWER ---

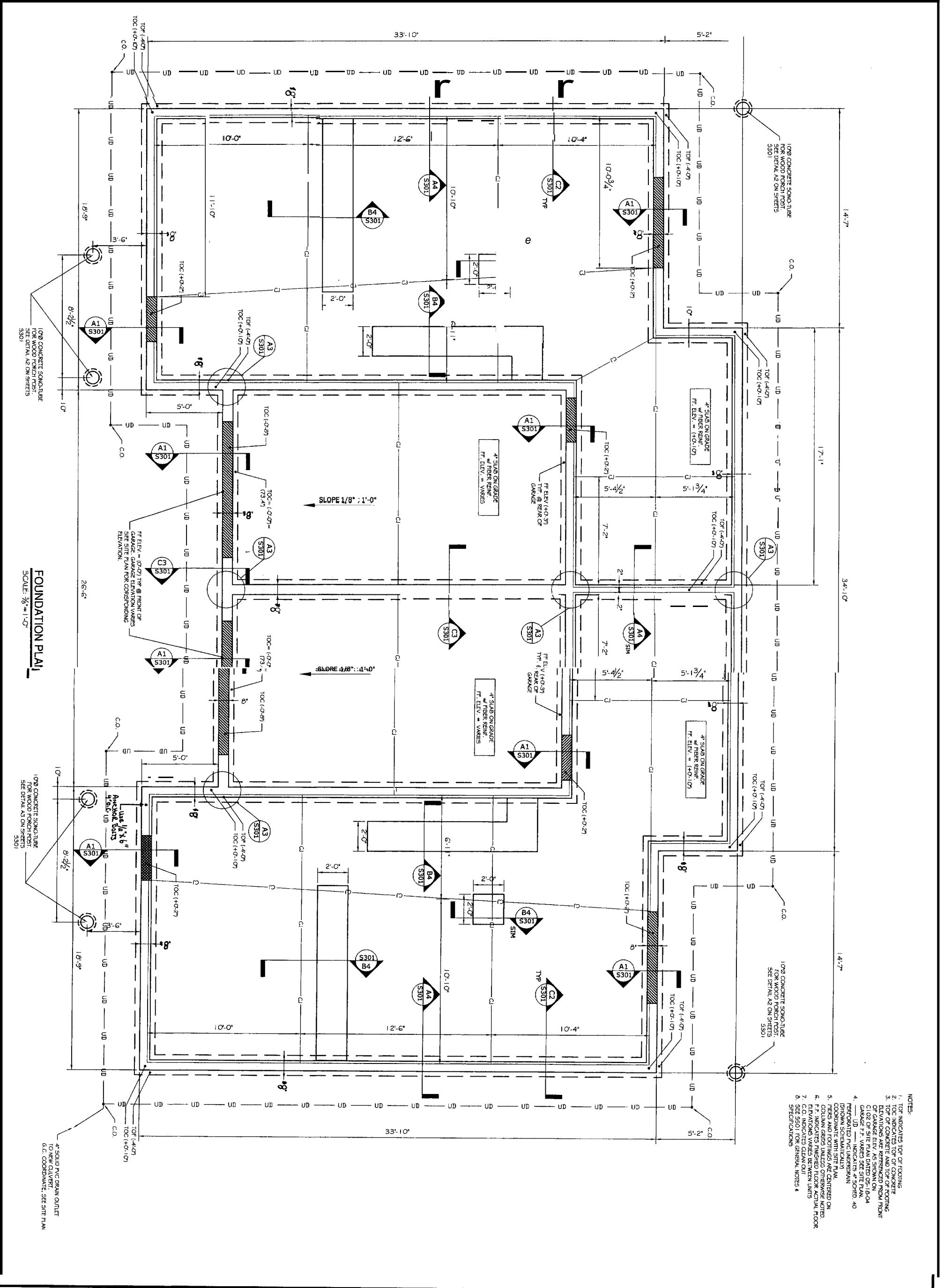
- NOTES:**
1. WATER MAIN IN MCH UNIT TO BE 1" NPE "K" SOFT TUBING.
 2. FIRST FLOOR SLAB TO BE LOOPED FOR WATER DISTRIBUTION FOR THIS SOFT "L" TYPE TUBING SLEEVED W/ THIN WALL BLACK W/LY WELL PIPE.
 3. ON PEDESTAL SINK (BATHROOM) WATER MUST BE AS CLOSE TO INTERIOR WALL AS POSSIBLE.
 4. ALTERNATE LOCATION OF MAIN WATER SUPPLY UNDER STAIRS LEAVING CLOSET OPEN.
 5. HOT/COLD WATER SUPPLY INSTALLATION SAME FOR ALL UNITS.
 6. SANITARY PIPING INSTALLATION SAME FOR A UNITS.
 7. ALL VENTS CAN TIE TOGETHER ON 2ND FLOOR AT EASTEST POINT AS LONG AS IT'S @ LEAST 6" OVER FLOOD LEVEL RISE OF HIGHEST FIXTURE.
 8. 2ND FLOOR PLUMBING DRAWN IN PLAN VIEW AND IS IN CEILING OF 1ST FLOOR, EXCEPT WHERE THE 7 POINTS FOR FLOOR DRAINS/OR VENTS ARE NOTED.



FIRST FLOOR PLUMBING PLAN
 SCALE: NT5



RISER DIAGRAM
 SCALE: NT5



FOUNDATION PLAN
SCALE: 3/8" = 1'-0"

- NOTES:**
1. TOP INDICATES TOP OF FOOTING
 2. TOC INDICATES TOP OF CONCRETE ELEVATION AND TOP OF FOOTING ELEVATION AS SHOWN ON C102 OF SITE PLAN DATED 05-18-04
 3. GARAGE F.F. VARIES SEE SITE PLAN
 4. UNID. INDICATES 4" SCHED. 40 (GIRDER SCHEMATICALLY)
 5. COORDINATE WITH SITE PLAN
 6. PILES AND FOOTINGS ARE CENTERED ON COLUMN GRIDS UNLESS OTHERWISE NOTED
 7. C.O. INDICATES CLEAN OUT SPECIFICATIONS

REVISIONS		
No.	BY	DATE
1	SAI	2/20/05
SAI For CONSTRUCTION		

PROJECT: **JARITA COURT CONDO**
LANE AVE. PORTLAND, ME 04101
FOR: LOU WOOD

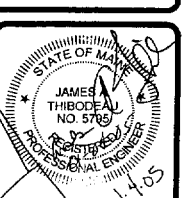
SHEET TITLE: **FOUNDATION PLAN**
ISSUED FOR CONSTRUCTION

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ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

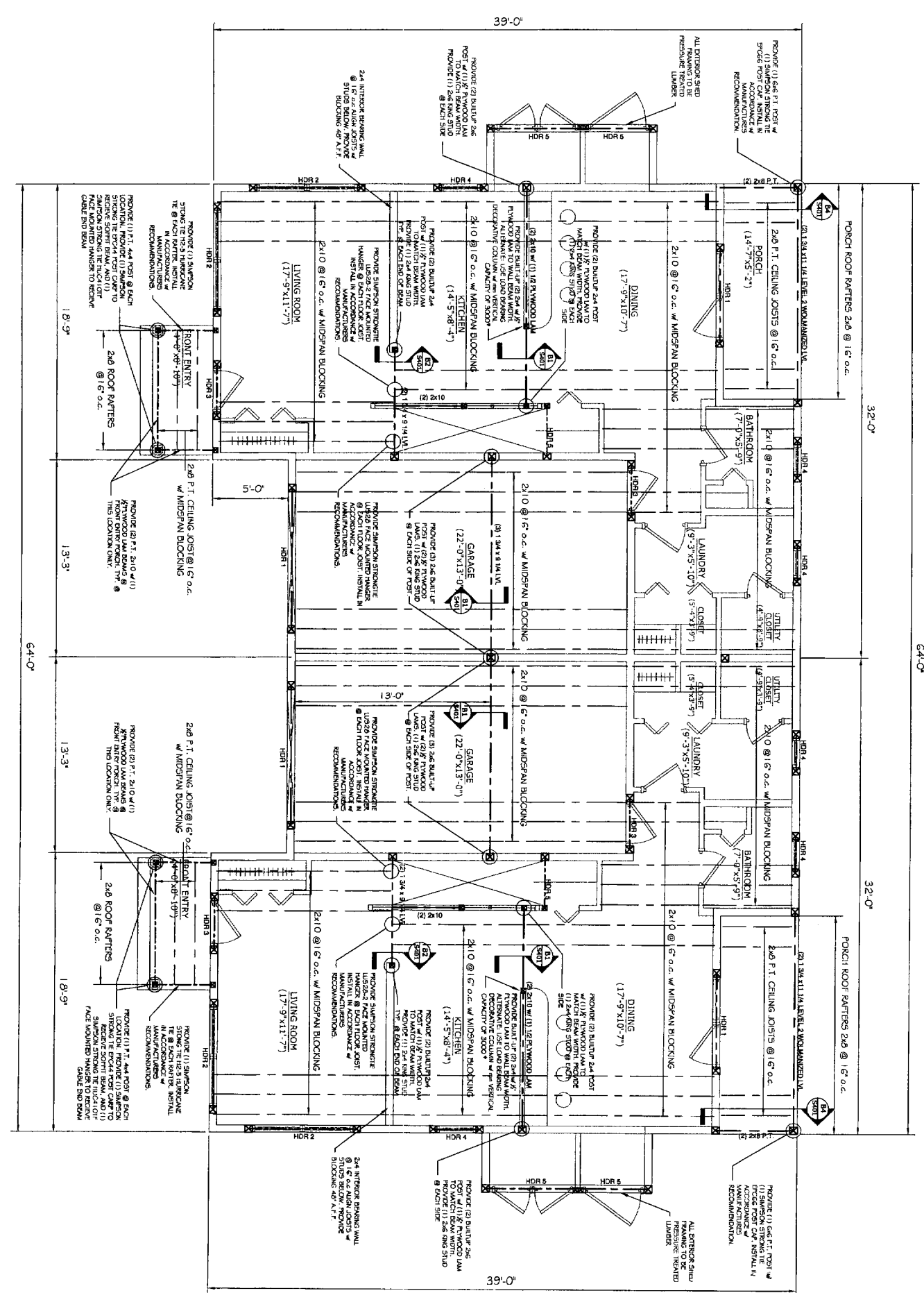


DATE: 01/04/05
SCALE: 3/8" = 1'-0"
DESIGN BY: JAT
DRAWN BY: AL
PROJECT NUMBER: **02102**
SHEET NO.: **S101**

THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS, SIZES FOR NEW OR MODIFIED STRUCTURE ONLY. THERMAL MOISTURE PROTECTION, TEMPORARY SHORING AND BRACING, FRAMING CONNECTIONS (U.O.N.), COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL.

- GENERAL STRUCTURAL NOTES:
1. ALL FRAMES ARE 2012 PERMANENT UNLESS OTHERWISE NOTED.
 2. ALL LVLs ARE TO BE APPROXIMATELY EQUAL UNLESS OTHERWISE NOTED BY THIS JACKET MODULAR OR EQUAL.
 3. BUILT-UP LVL MEMBERS HAVE BEEN SPECIFIED AS LAMINATED OF 1 1/2" WIDE MEMBERS. CONTRACTOR MAY PROVIDE AN LVL MEMBER AS A SINGLE WIDTH. BUILT-UP LVL MEMBERS TO BE NAIL TOGETHER USING (2) ROWS OF 16d x 3 1/2" NAILS IN ONE FACE FOR 3 1/2" WIDE MEMBERS & (2) ROWS OF 16d x 3 1/2" NAILS @ EACH LVL FACE.
 4. ALL STRUCTURAL LAMBER TO BE SPRUCE-PINE-FIR #2 OR BETTER, UNLESS OTHERWISE NOTED ON PLANS. ALL SPECIFIED HEADER PROFILES ARE JACK STUDS. CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD, UNLESS OTHERWISE NOTED.
 5. ALL STRUCTURAL JOISTS ARE NUMBERED @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
 6. PROVIDE & INSTALL ALL SIMPSON STRONG-TIE CONNECTIONS AS RECOMMENDED BY MANUFACTURER.

HEADER DESIGNATION	HEADER DESCRIPTION	JACK STUD CONSTRUCTION	KING STUD CONSTRUCTION
HDR1	(3) 2x8 W/ (2) 1/2" PLYWOOD LAMBS	(2) BUILT-UP 2x6	(2) BUILT-UP 2x6
HDR2	(3) 2x8 W/ (2) 1/2" PLYWOOD LAMBS	(2) BUILT-UP 2x6	(2) BUILT-UP 2x6
HDR3	(3) 2x8 W/ (1) 1/2" PLYWOOD LAMB	(2) BUILT-UP 2x6	(2) BUILT-UP 2x6
HDR4	(2) 2x10 P.L. W/ (1) 1/2" PLYWOOD LAMB	(2) BUILT-UP 2x6	(2) BUILT-UP 2x6
HDR5	(2) 1 3/4" x 5 1/2" LVL	(2) BUILT-UP 2x4	(2) BUILT-UP 2x4
HDR6	(2) 1 3/4" x 5 1/2" LVL	(2) BUILT-UP 2x4	(2) BUILT-UP 2x4
HDR7	(2) 1 3/4" x 5 1/2" LVL	(2) BUILT-UP 2x6	(2) BUILT-UP 2x6



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		
No.	BY	DESCRIPTION
1	SH	For Construction
2		
3		
4		

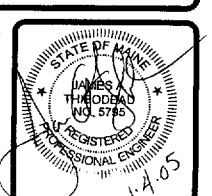
PROJECT: **JARITA COURT CONDO**
LANE AVENUE, PORTLAND
FOR: LOU WOOD

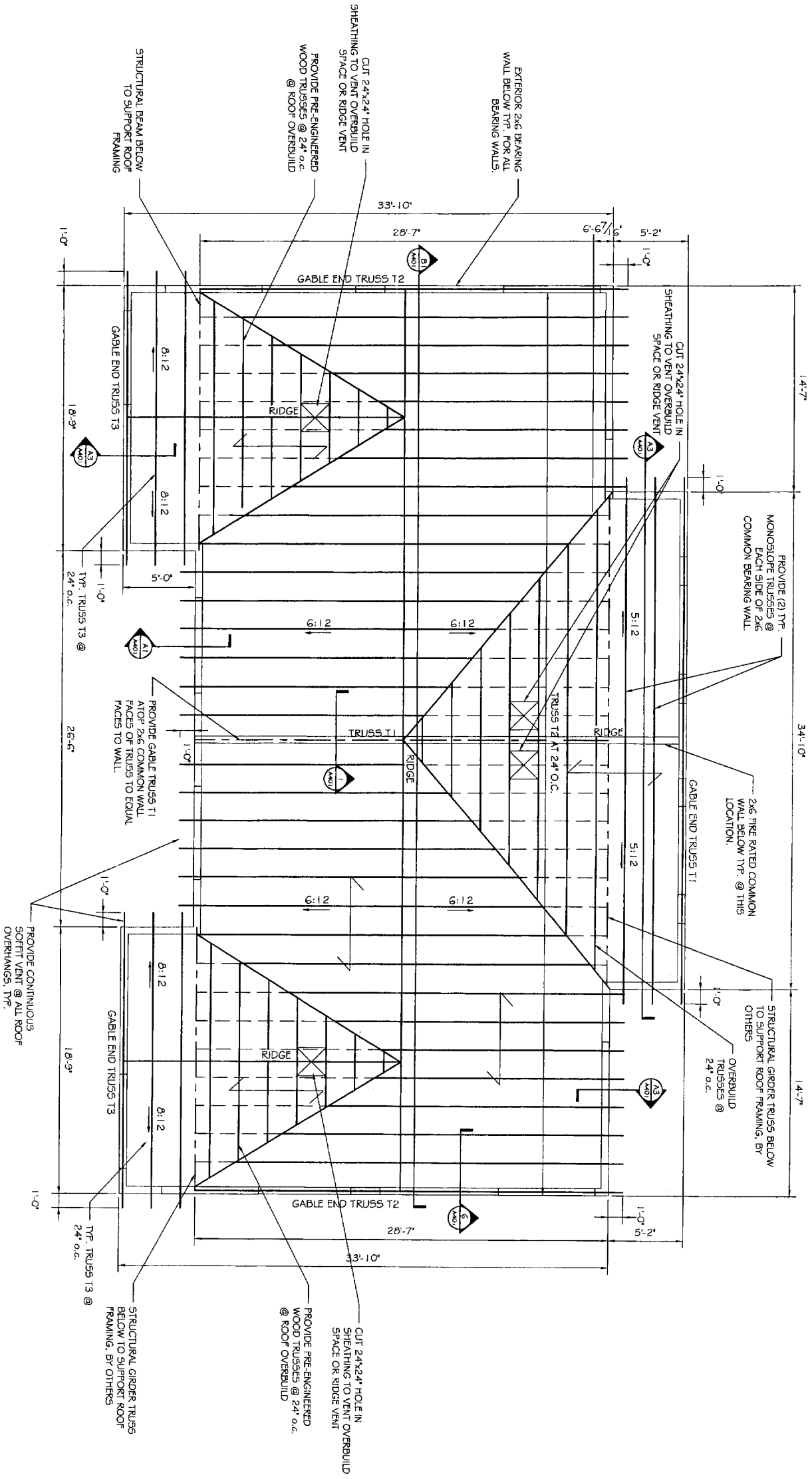
SHEET TITLE: **FRAMING PLAN**
ISSUED FOR CONSTRUCTION

ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com





ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
- INDICATES SPAN OF APA RATED 3216 ROOF SHEATHING. FASTEN TO SUPPORTS W/ 8d NAILS AT 6" O.C. AT EDGES, 12" O.C. AT INTERMEDIATE SUPPORT.
 - SEE WOOD TRUSS MANUFACTURERS REQUIREMENT & SHEET S203 FOR TRUSS BRACING.
 - NOTIFY ENGINEER TO CONDUCT SITE INSPECTION AFTER TRUSSES & BRACING ARE INSTALLED.
 - SEE S 02 FOR TRUSS LOADING DIAGRAM.
 - SEE S204 FOR 2ND FLOOR WINDOW HEADERS.

REVISIONS		
No.	BY	DATE
1	AL	2/10/08
SITE For Construction		

PROJECT: **JARITA COURT CONDO**
LANE AVENUE, PORTLAND
FOR: LOU WOOD

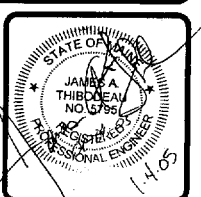
SHEET TITLE: **ROOF FRAMING PLAN**
ISSUED FOR CONSTRUCTION

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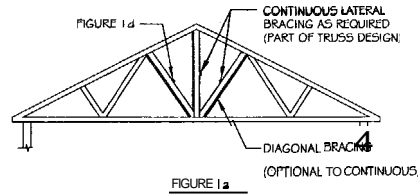
ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road
Falmouth, Maine 04105

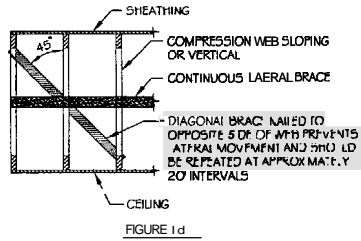
Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com



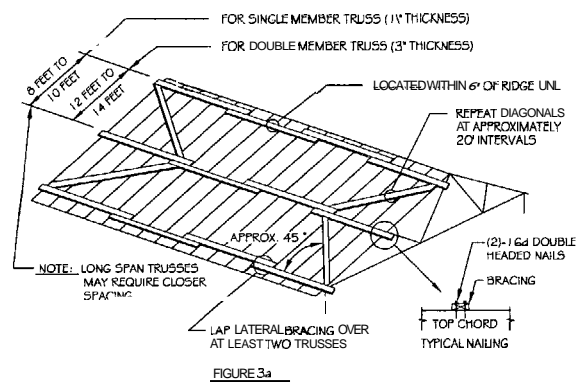
1. PROVIDE LATERAL BRACING FOR INDIVIDUAL TRUSS MEMBERS AS REQUIRED BY APPROVED SHOP DRAWINGS. MINIMUM BRACING 6"2"x4"



2. PROVIDE DIAGONAL BRACING AT END WALLS OR INTERMEDIATE LOCATIONS TO PREVENT MULTIPLE BUCKLING OF COMPRESSION MEMBERS HAVING CONTINUOUS LATERAL BRACING



3. PROVIDE TEMPORARY BRACING FOR TOP CHORD OF TRUSSES UNTIL PLYWOOD SHEATHING CAN BE INSTALLED.

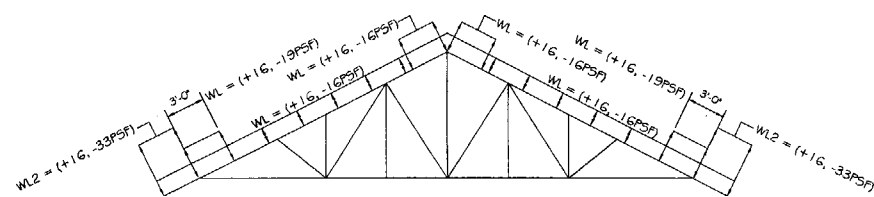


NOTES:

1. DURING TRUSS ERECTION, THE BUILDER OR ERECTION CONTRACTOR MUST TAKE ADEQUATE PRECAUTIONS TO ASSURE THAT THE WOOD TRUSSES ARE NOT STRUCTURALLY DAMAGED. PROPER RIGGING, INCLUDING THE USE OF SPREADER BARS AND MULTIPLE PICK-UP POINTS, WHERE REQUIRED, IS NECESSARY TO PREVENT DAMAGE DURING HANDLING. TENTATIVE RECOMMENDATIONS IN THE APPENDIX HERETO.
2. IT IS MOST IMPORTANT TO BRACE THE FIRST TRUSS AT THE END OF THE BUILDING SECURELY. ALL OTHER TRUSSES ARE TIED TO THE FIRST TRUSS, THUS THE BRACING SYSTEM DEPENDS TO A GREAT EXTENT ON HOW WELL THE FIRST TRUSS IS BRACED.
3. ONE SATISFACTORY METHOD IS FOR THE FIRST TRUSS TOP CHORD TO BE BRACED TO A STAKE DRIVEN INTO THE GROUND AND SECURELY ANCHORED. THE GROUND BRACE ITSELF SHOULD BE SUPPORTED AS SHOWN IN FIGURE 2 OR IT IS APPLIED TO BRACE ADDITIONAL GROUND BRACES, IN THE OPPOSITE DIRECTION, INSIDE THE BUILDING ARE ALSO RECOMMENDED.

LATERAL TRUSS BRACING DETAILS
NT5

5L = 76 PSF
5L = 50 PSF
DL = 10 PSF

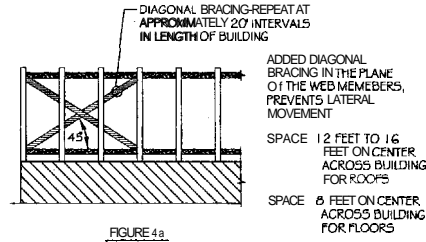


LOAD COMBINATIONS

1. DL + 5L
2. DL + 0.755L + 0.75WL
3. DL + WL
4. FOR LOAD COMBOS W/SL CHECK UNIFORM UNBALANCED LOADING
2. PROVIDE PE STAMPED TRUSS DESIGN CALCULATIONS W/ LOAD COMBINATIONS

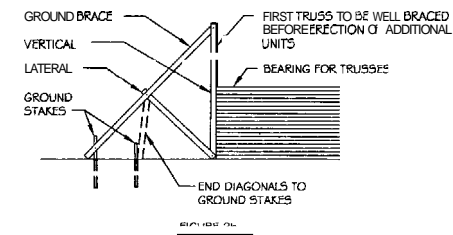
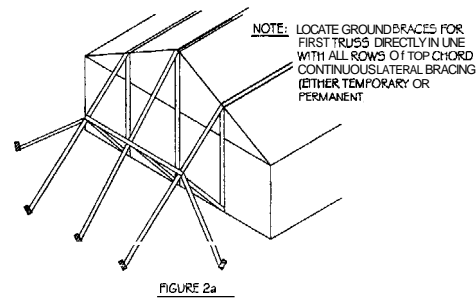
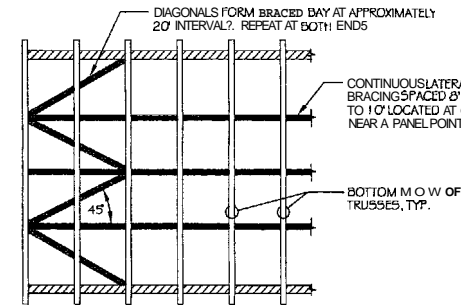
A4 TRUSS LOADING DIAGRAM

4. PROVIDE PERMANENT DIAGONAL BRACING FOR WEB MEMBERS WHICH HAVE CONTINUOUS LATERAL BRACING.



ADDED DIAGONAL BRACING IN THE PLANE OF THE WEB MEMBERS, PREVENTS LATERAL MOVEMENT
SPACE 12 FEET TO 16 FEET ON CENTER ACROSS BUILDING FOR ROOFS
SPACE 8 FEET ON CENTER ACROSS BUILDING FOR FLOORS

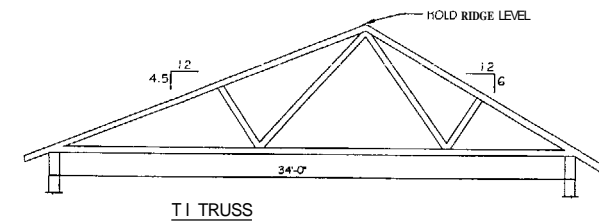
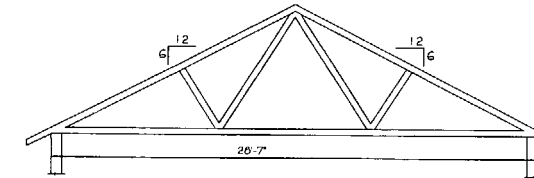
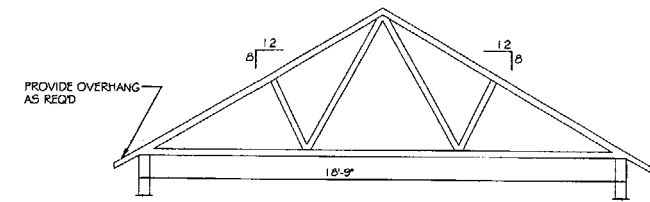
5. PROVIDE PERMANENT CONTINUOUS LATERAL AND DIAGONAL BRACING FOR BOTTOM CHORDS OF TRUSSES. PROVIDE ONE COMPLETE BAY OF DIAGONAL BRACING AT EACH END OF BUILDING AND ONE ADDITIONAL BAY AT MIDPOINT OF BUILDING. MAXIMUM SPACING FOR CONTINUOUS LATERAL BRACING SHALL NOT EXCEED 10' ON CENTER.



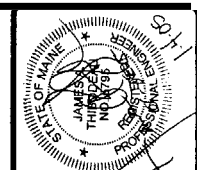
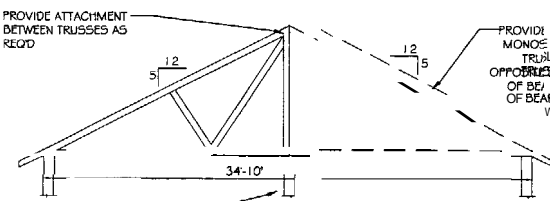
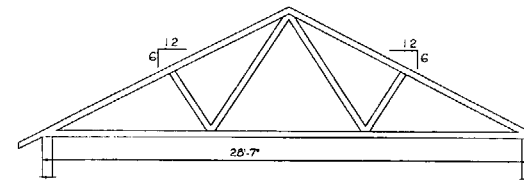
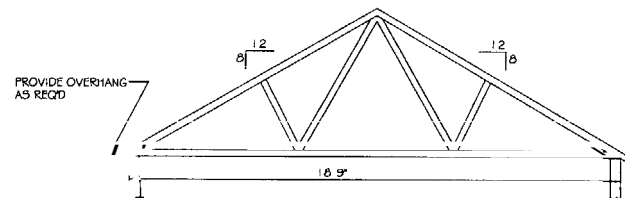
WOOD TRUSS NOTES:

1. DESIGN CODES:
 - A. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
 - B. DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES (TP-2002).
2. TRUSS MEMBERS: NO. 2 OR BETTER, 15% MAXIMUM MOISTURE CONTENT
3. TRUSS TEMPORARY BRACING: COMPLY WITH THE NEW BCSP-1-03 FROM THE WOOD TRUSS COUNCIL OF AMERICA AND TRUSS PLATE INSTITUTE "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES". TRUSSES ARE NOT STABLE AND REQUIRE TEMPORARY SUPPORT UNTIL TOP CHORD PLYWOOD AND PERMANENT BRACING IS INSTALLED.
4. TRUSS PERMANENT BRACING: INSTALL PERMANENT BRACING IN ACCORDANCE WITH BCSP-1-03 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" AND AS FOLLOWS:
 - A. PERMANENT BRACING REQUIRED BY TRUSS DESIGN: PROVIDE 2x4 (min) CONTINUOUS LATERAL BRACING AND DIAGONAL BRACING AT ALL CONTINUOUS LATERAL BRACE LOCATIONS REQUIRED BY THE TRUSS FABRICATOR. PROVIDE DIAGONAL BRACING AS SHOWN IN FIGURE B2-32 OF BCSP-1-03 AT EACH END OF THE BUILDING AND AT INTERVALS NOT TO EXCEED 20 FEET.
 - B. PERMANENT BOTTOM CHORD BRACING: PROVIDE 2x4 (min) CONTINUOUS LATERAL BRACING AT 8'-10' FOOT (MAXIMUM) INTERVALS (AT ALL PANEL POINTS) ALONG LENGTH OF TRUSS. PROVIDE DIAGONAL BRACING AS SHOWN IN FIGURE B2-33 OF BCSP-1-03 AT EACH WING OF THE BUILDING AND AT INTERVALS NOT TO EXCEED 20 FEET.
 - C. PERMANENT WEB MEMBER BRACING: PROVIDE 2x4 (min) CONTINUOUS LATERAL BRACING AT TOP AND BOTTOM OF TRUSSES AND DIAGONAL BRACING AT INTERIOR LINES OF SUPPORT AND AT 16 FOOT (MAXIMUM) INTERVALS ALONG THE LENGTH OF THE TRUSS AS SHOWN IN FIGURES B2-31 & B2-33 OF BCSP-1-03. PROVIDE DIAGONAL BRACING AT EACH END OF WING OF THE BUILDING AND AT INTERVALS NOT TO EXCEED 20 FEET.
 - D. PERMANENT TOP CHORD BRACING IS NOT REQUIRED. ADEQUATE BRACING IS PROVIDED BY ROOF PLYWOOD.
 - E. PROVIDE CONSTRUCTION GRADE OR BETTER GRADE 2x4s (min), NO. 2 OR BETTER 2x6s FOR BRACING. CONNECT BRACING TO TRUSSES WITH AT LEAST 2-16d NAILS. PROVIDE LAP SPLICES OVER AT LEAST 2 TRUSSES.

TRUSS ELEVATIONS



ALTERNATIVE TRUSS ELEVATIONS



ASSOCIATED DESIGN PARTNERS INC.
Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@outpengineering.com
80 Leighton Road
Falmouth, Maine 04105

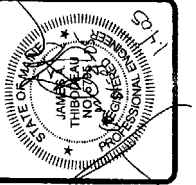
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PROJECT: **JARITA COURT CONDO**
LANE AVENUE, PORTLAND
FOR: LOU WOOD
SHEET TITLE: **TRUSS ELEVATION AND DESIGN TRUSS BRACING DETAILS**
ISSUED FOR CONSTRUCTION

NO.	BY	DATE	DESCRIPTION
1	SLF	8/10/05	FOR CONST & UCT. ON

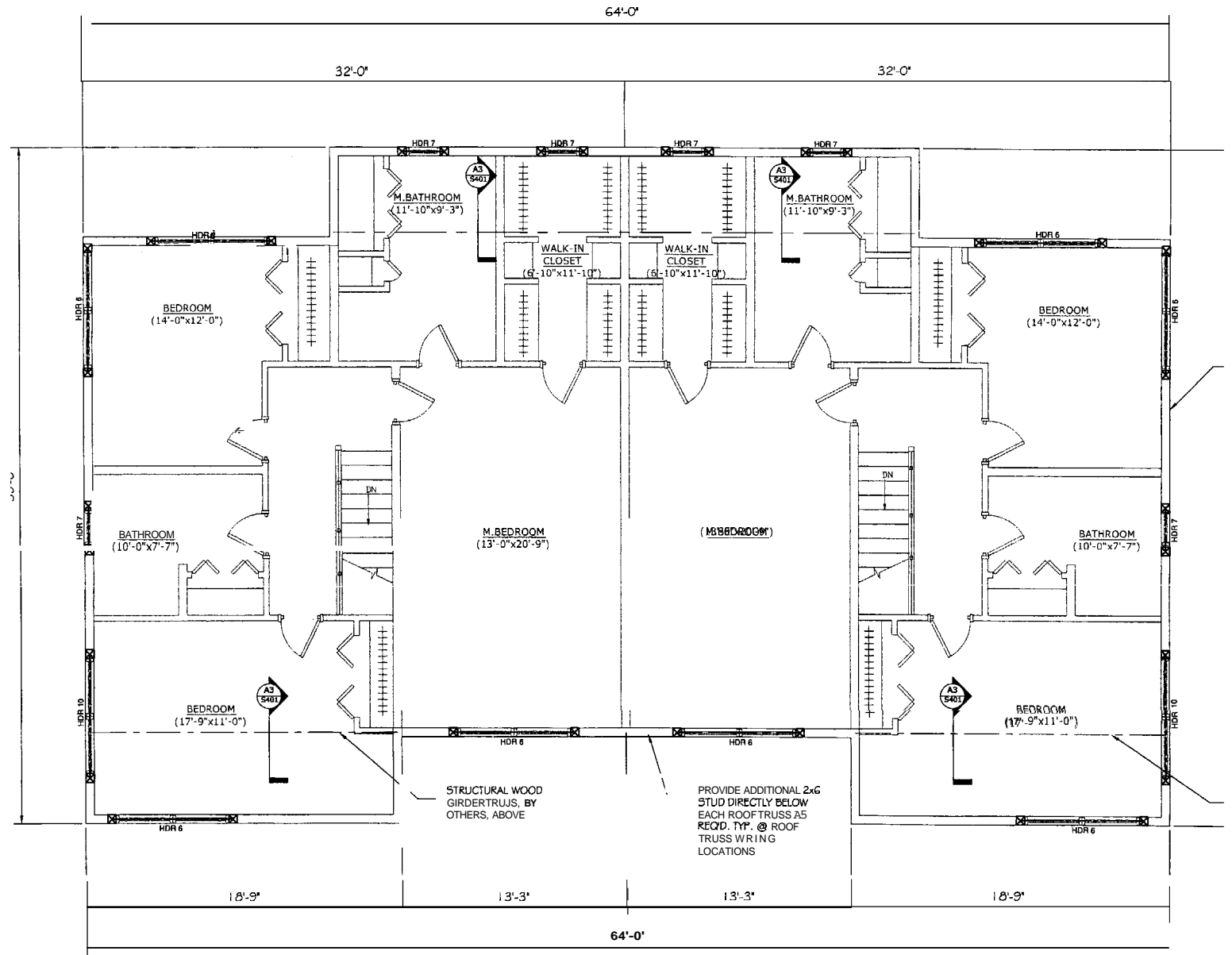
DATE: 01/04/05
SCALE: NTS
DRAWN BY: ALT
FILE #: 02102.S203.DWG
PROJECT NUMBER: **02102**
SHEET NO.: **S203**

THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERSIZES FOR NEW OR MODIFIED STRUCTURE ONLY. THERMAL MOISTURE PROTECTION, TEMPORARY SHORING AND BRACING, FRAMING CONNECTIONS (U.O.N.), COMPONENTS AND CLADDING FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL.



ASSOCIATED DESIGN PARTNERS INC.
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: odp@odpengineering.com
 80 Leighton Road
 Falmouth, Maine 04105

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2x6 EXTERIOR WAU STUDS @ 16" o.c. w/ 1/2" EXTERIOR PLYWOOD SHEATHING, TYP.

STRUCTURAL WOOD GIRDERS TAGGED BY:

- GENERAL STRUCTURAL NOTES:**
- ALL PSL'S ARE 2.0 E PARALLAM UNLESS OTHERWISE NOTED BY TRUS-JOIST MCMILLAN OR EQUAL
 - ALL LVL'S ARE 1.5E MICROLAM LVL'S UNLESS OTHERWISE NOTED. BY TRUSJOIST MCMILLAN OR EWAL
 - BUILT-UP LVL MEM B W HAVE BEEN SPECIFIED AS LAMINATES OF 1 3/4" WIDE MEMBERS. CONTRACTOR MAY PROVIDE AN LVL MEMBER AS A SINGLE WIDTH
 - BUILT-UP LVL MEMBERS TO BE NAILED TOGETHER USING (2) ROWS OF 16d x 3 1/2" NAILS IN OMC FACE FOR 3 1/2" WIDE MEMBERS & (2) ROWS OF 16d x 3 1/2" NAILS @ EACH LVL FACE.
 - ALL STRUCTURAL LUMBER TO BE SPRUCE-PINE-FIR #2 OR BETTER, UNLESS OTHERWISE NOTED ON PLANS
 - ALL SPECIFIED HEADER POSTS ARE 'JACK STUDS' & SHOULD BE N D TO THE UNDERSIDE OF HEADER. CONTRACTOR SHOULD PROVIDE 2x KING STUD. AS SPECIFIED UNLESS OTHERWISE NOTED
 - QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER REQD @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
 - PROVIDE & INSTALL ALL SIMPSON STRONG TIE CONNECIORS AS RECOMMENDED BY MANUFACTURER

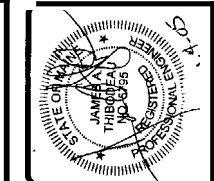
HEADER SCHEDULE			
HEADER DESIGNATION	HEADER CONSTRUCTION	JACK STUD CONSTRUCTION	KING STUD CONSTRUCTION
HDR 6	(3) 1 3/4" x 7 1/4" LVL (3) 2x6 w/ (2) 1/2" PLYWOOD LAMS 2x10 w/ (1) 1/2" PLYWOOD LAMS	(2) BUILT-UP 2x6 (2) BUILT-UP 2x6	(2) BUILT-UP 2x6 (2) BUILT-UP 2x4
HDR 10	(3) 1 3/4" x 1 1/4" LVL	(2) BUILT-UP 2x6	(2) BUILT-UP 2x6

SECOND FLOOR HEADER FRAMING
 SCALE: 1/4" = 1'-0"

PROJEC: **JARITA COURT CONDO**
LANE AVENUE, PORTLAND
 FOR: LOU WOOD
 SHEET TITLE: **HEADER FRAMING PLAN**
ISSUED FOR CONSTRUCTION

NO.	BY	DESCRIPTION	DATE
1	SHI	FOR CONSTRUCTION	8/10/05

DATE: 01/04/05
 SCALE: AS NOTED
 DESIGN BY: JAT
 DRAWN BY: AL
 FILE #: 02102.S204.DWG
 PROJECT NUMBER:
02102
 SHEET NO:
S204



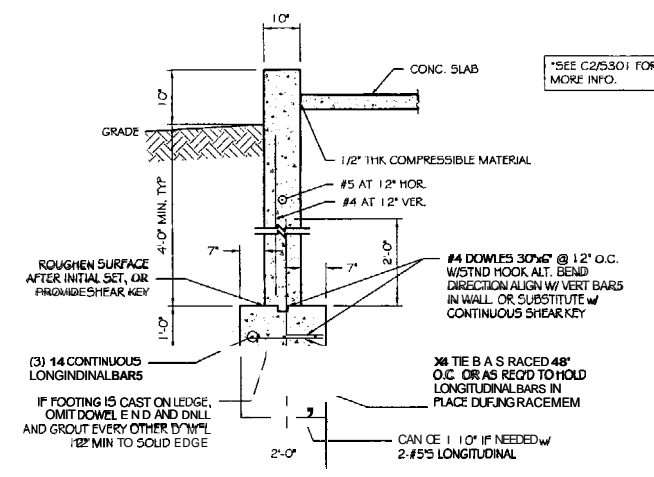
ASSOCIATED DESIGN PARTNERS INC.
 Office: (207) 878-1751
 (207) 878-1788
 E-Mail: adp@adpengineering.com
 80 Leighton Road
 Fairmeath, Maine 04105

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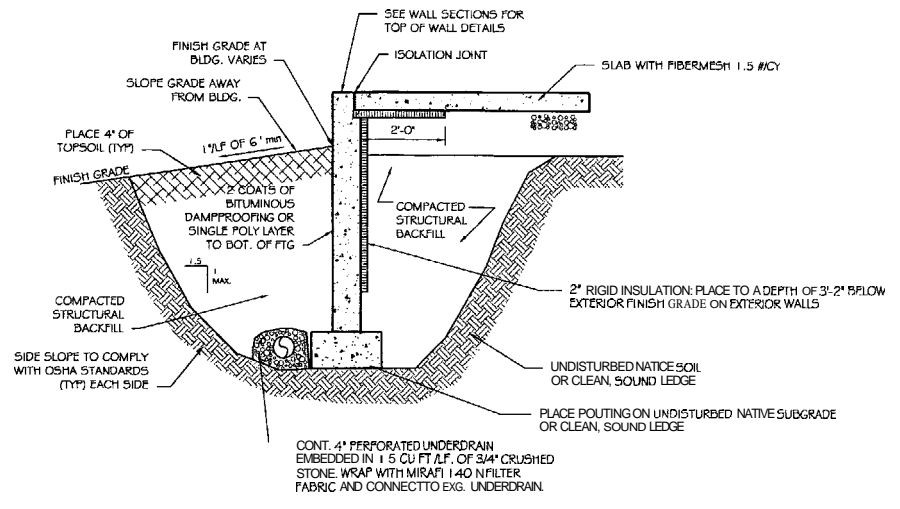
PROJECT: **JARITA COURT CONDO**
LANE AVENUE, PORTLAND
 FOR: LOU WOOD
 SHEET TITLE: **FOUNDATION DETAILS**
 ISSUED FOR CONSTRUCTION

NO.	BY	DATE	DESCRIPTION
1	JAT	01/04/05	FOR CONSTRUCTION

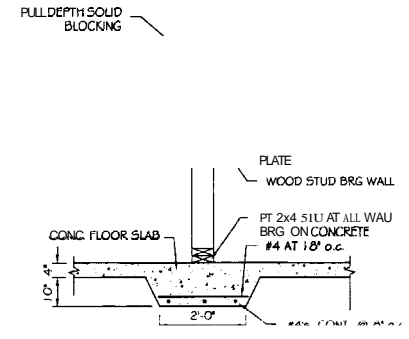
DATE: 01/04/05
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 DRAWN BY: AL
 FILE #: 02102.S301.DWG
 PROJECT NUMBER:
02102
 SHEET NO.
S301



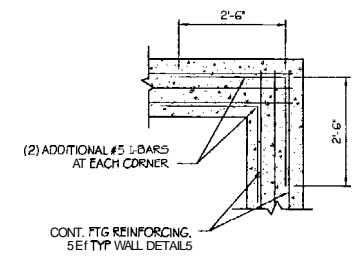
C3 TYPICAL 10" CONCRETE WALL @ GARAGE
 S101 SCALE: 1/2" = 1'-0"



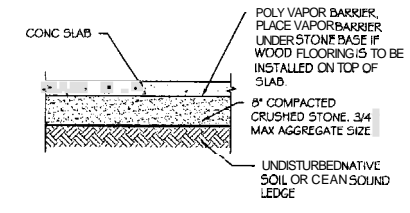
C2 TYPICAL EARTHWORK DETAIL
 S101 SCALE: 1/2" = 1'-0"



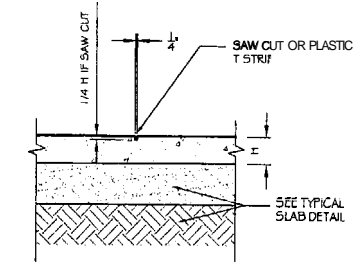
B4 THICKENED SLAB
 S101 SCALE: 1/2" = 1'-0"



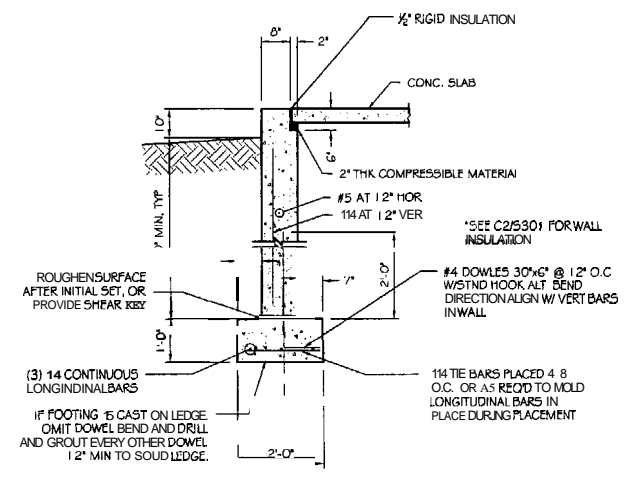
B3 CORNER REINFORCING IN FOOTING
 S101 SCALE: 1/2" = 1'-0"



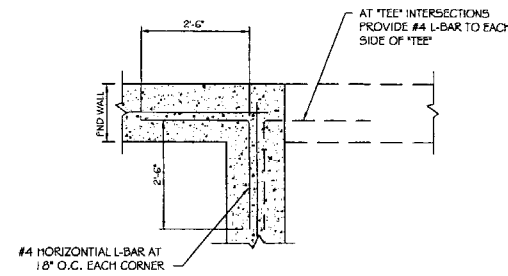
B2 TYPICAL SLAB DETAIL
 S101 SCALE: 1/2" = 1'-0"



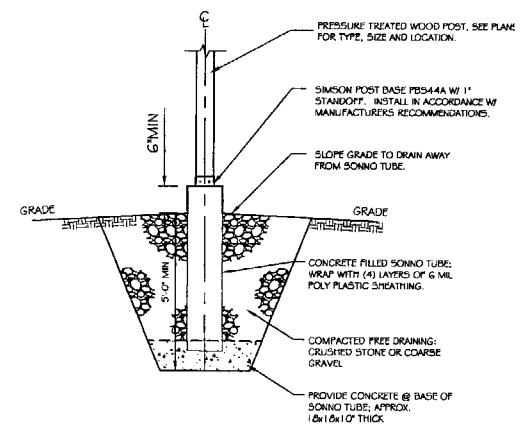
B1 TYPICAL SLAB CONTROL JOINT DETAIL
 S101 SCALE: 3/4" = 1'-0"



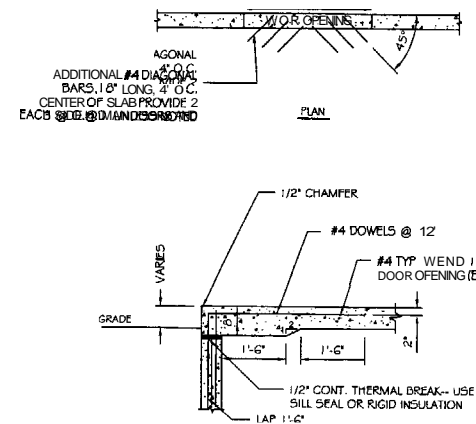
A4 TYPICAL 10" CONCRETE FOUNDATION WALL
 S101 SCALE: 1/2" = 1'-0"



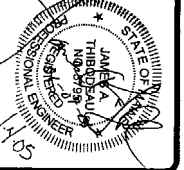
A3 CORNER REINFORCING IN FOUNDATION WALL
 S101 SCALE: 1/2" = 1'-0"



A2 CORNER REINFORCING IN FOUNDATION WALL
 S101 SCALE: 1/2" = 1'-0"



A1 TYPICAL SLAB DETAILS @ DOOR OPENINGS
 S101 SCALE: 1/2" = 1'-0"



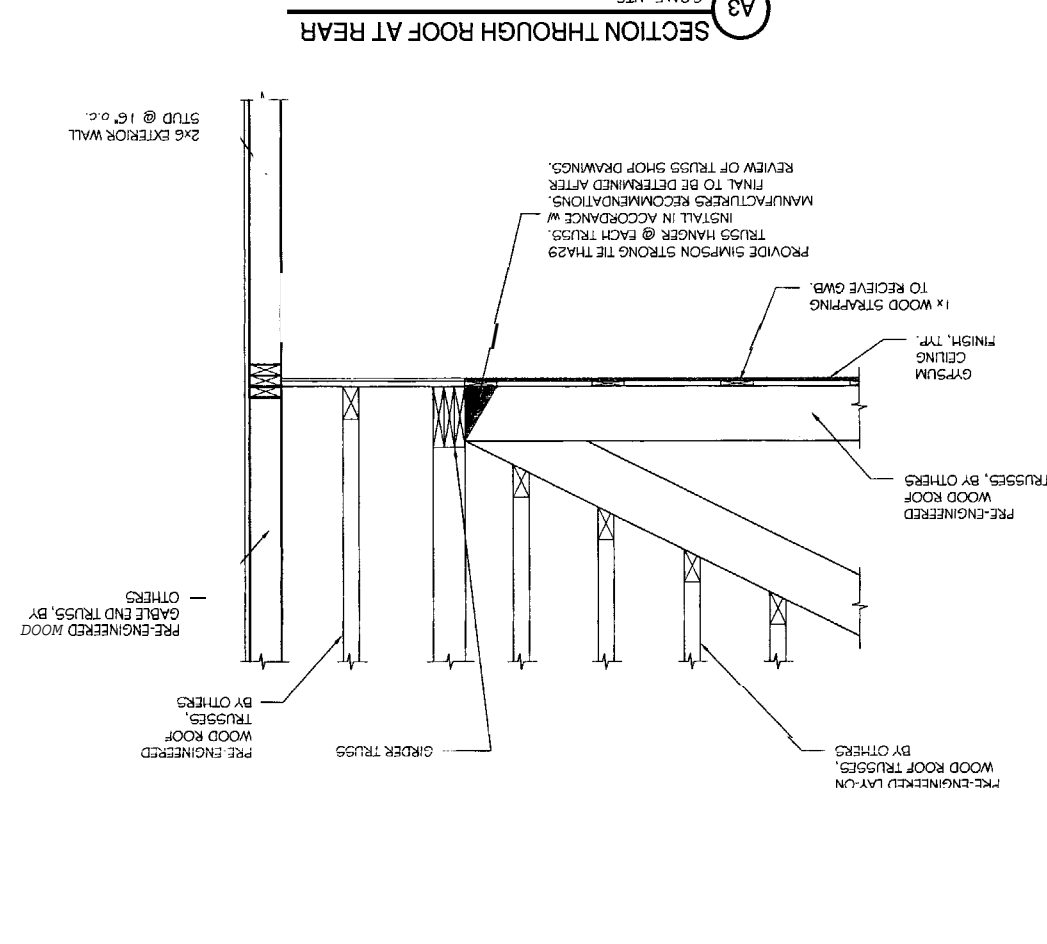
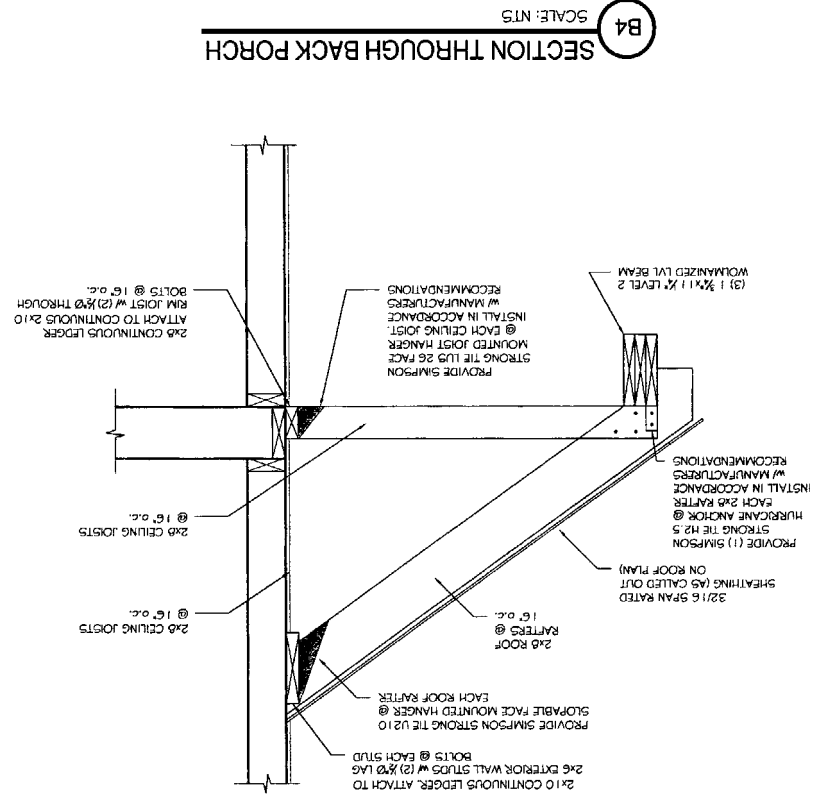
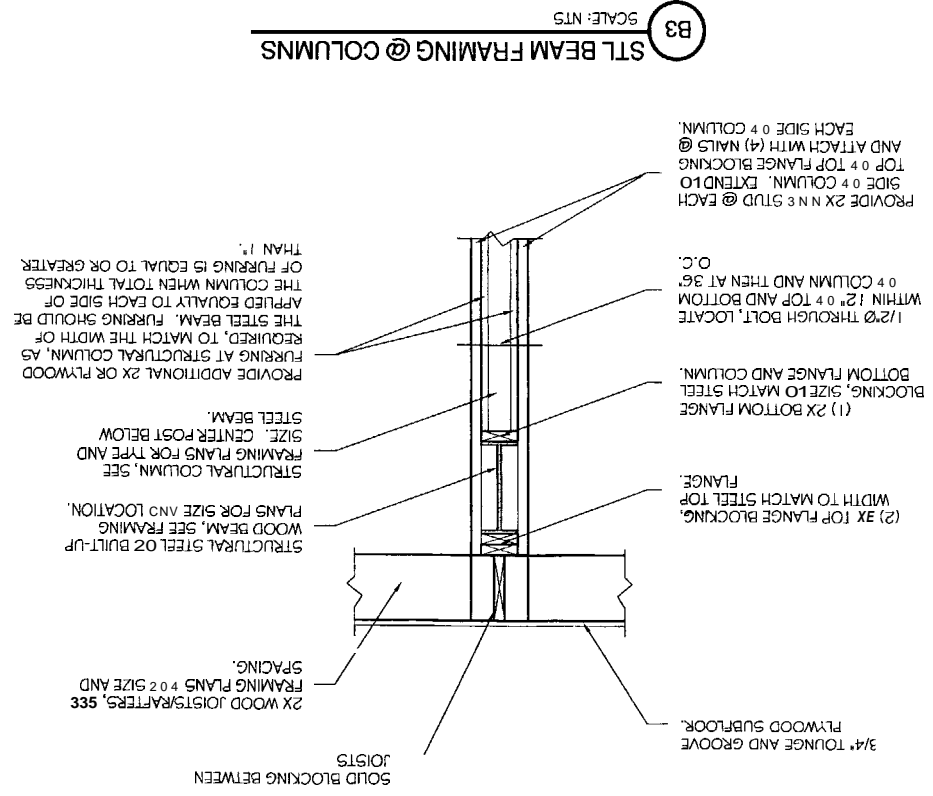
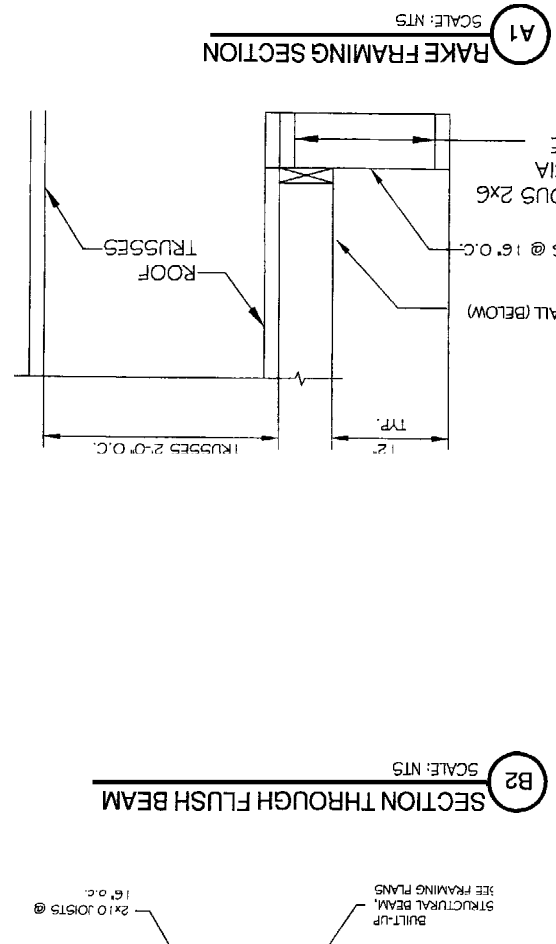
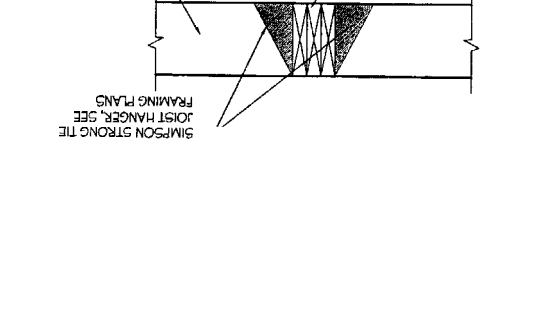
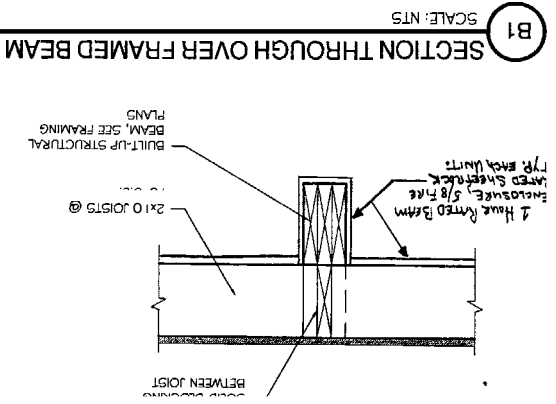
ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road
 Falmouth, Maine 04105
 Office: (207) 878-1751
 Fax: (207) 878-1758
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PROJECT: JARITA COURT CONDO
LANE AVENUE, PORTLAND
 FOR LOU WOOD
FRAMING DETAILS
ISSUED FOR CONSTRUCTION

NO.	BY	DESCRIPTION	DATE
1	SHD	For Construction	2/14/11

DATE: 01/04/05
 SCALE: AS NOTED
 DESIGN BY: JAT
 DRAWN BY: AL
 FILE #: 02102.S01.DWG
 PROJECT NUMBER:
02102
 SHEET NO:
S401



CONCRETE NOTES

- 1. COMPLY WITH THE FOLLOWING LATEST EDITIONS AND CURRENT AMENDMENTS:
1.1. ACI 308: PREPARATION FOR STRUCTURAL CONCRETE
1.2. ACI 310: MIXING AND PLACING CONCRETE
1.3. ACI 318: STRUCTURAL CONCRETE DESIGN AND CONSTRUCTION

CONCRETE NOTES CONT.

- 6.3 CHAIRS: CHAIRS SHALL BE PLACED AT 18" MAXIMUM SPACING OR CENTER TO CENTER FOR ALL REINFORCING BARS EXCEPT WHERE NOTED OTHERWISE.
6.4 JOINTS:
6.4.1. CONSTRUCTION JOINTS SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING:
6.4.2. REINFORCING BARS AND CHAIRS SHALL BE PLACED THROUGH JOINTS AND SHALL BE SPACED TO REMAIN IN PLACE THROUGHOUT THE LIFE OF THE STRUCTURE.

STRUCTURAL STEEL NOTES, CONT.

- 6.1.1. REINFORCING BARS SHALL BE PLACED THROUGHOUT THE LIFE OF THE STRUCTURE.
6.1.2. REINFORCING BARS SHALL BE SPACED TO REMAIN IN PLACE THROUGHOUT THE LIFE OF THE STRUCTURE.
6.1.3. REINFORCING BARS SHALL BE PLACED THROUGHOUT THE LIFE OF THE STRUCTURE.

WOOD FRAMING NOTES

- 1. STRUCTURAL LUMBER: NO. 2 SPLY. RED PINE OR WHITE PINE.
2. WALL SHEATHING: 7/8" APA RATED SHEATHING.
3. FLOOR SHEATHING: 5/8" APA RATED SHEATHING.

GENERAL STRUCTURAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
1.1. IBC INTERNATIONAL RESIDENTIAL CODE BOOK
1.2. IBC INTERNATIONAL BUILDING CODE
1.3. IBC INTERNATIONAL CONCRETE CODE
1.4. ALL OTHER APPLICABLE CODES AND REGULATIONS.

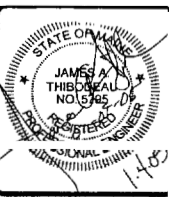
STRUCTURAL STEEL NOTES

- 6.1.1. REINFORCING BARS SHALL BE PLACED THROUGHOUT THE LIFE OF THE STRUCTURE.
6.1.2. REINFORCING BARS SHALL BE SPACED TO REMAIN IN PLACE THROUGHOUT THE LIFE OF THE STRUCTURE.
6.1.3. REINFORCING BARS SHALL BE PLACED THROUGHOUT THE LIFE OF THE STRUCTURE.

EARTHWORK NOTES

- 1. SITE WORK AND CONCRETE CONTRACTORS ARE REQUIRED TO REMOVE THE EXISTING EXPOSED SOIL EXPOSED TO THE CONSTRUCTION OF THE FOUNDATION.
2. THE EXISTING EXPOSED SOIL SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE FINISHED GRADE.
3. THE EXISTING EXPOSED SOIL SHALL BE REPLACED WITH 18" OF FILL.

Table with columns: DEVELOPMENT, LENGTH, AREA, etc. showing various values and calculations.

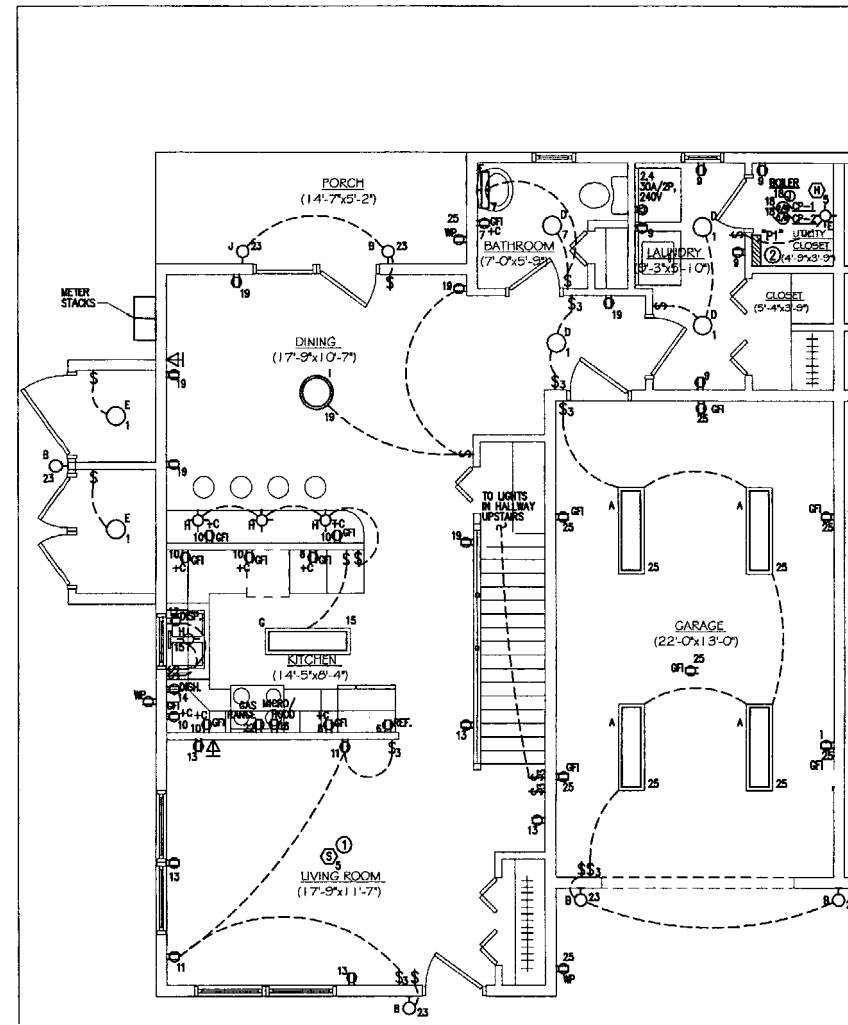


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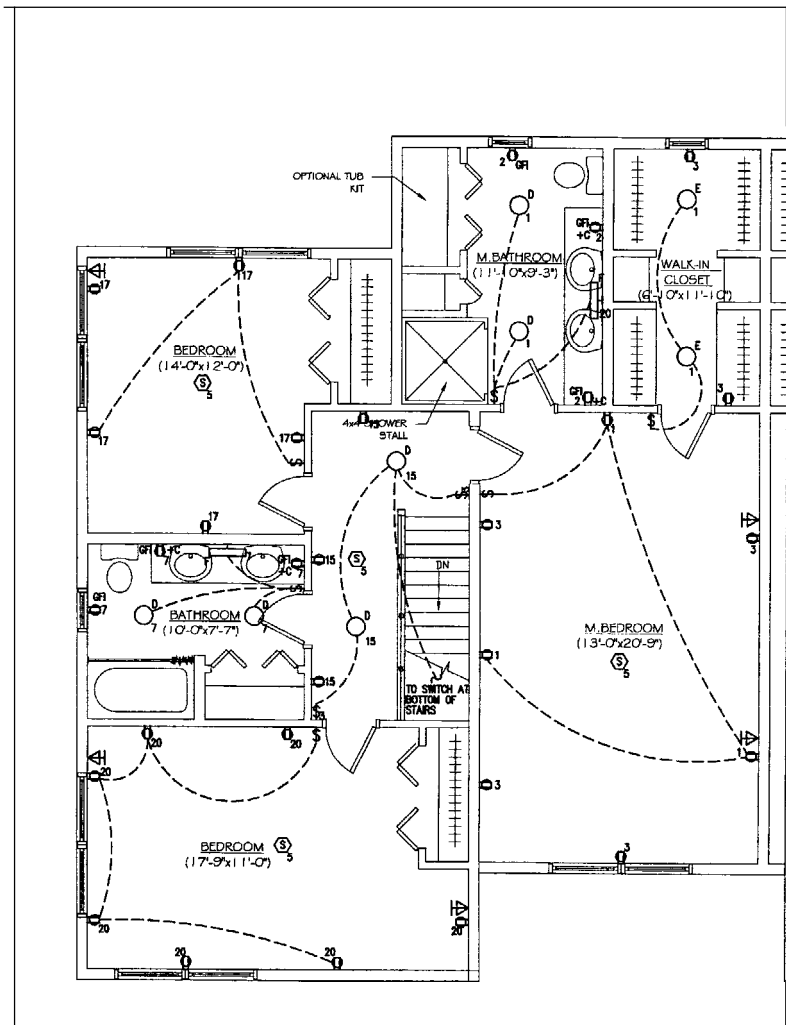
PROJECT: JARITA COURT CONDO LANE AVENUE, PORTLAND FOR: LOU WOOD. SHEET TITLE: GENERAL NOTES ISSUED FOR CONSTRUCTION.

REVISIONS table with columns: No., BY, DESCRIPTION, DATE. Shows revisions for construction.

DATE: 01/04/05, SCALE: NTS, DESIGN BY: CLB, DRAWN BY: AL, FILE #: 02102, PROJECT NUMBER: 02102, SHEET NO.: S501.



TYPICAL UNIT FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



TYPICAL UNIT SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

KEY NOTES

- 1 PROVIDE 120V SINGLE STATION SMOKE DETECTOR. INTERCONNECT ALL DEVICES WITHIN THE UNIT FOR SIMULTANEOUS OPERATION.
- 2 UNIT LOADCENTER LOCATION. PROVIDE FLUSH MOUNTING KIT AND COORDINATE INSTALLATION WITH ALL TRADES.

UNIT LOAD CALCULATIONS
120/240V, 1Ø, 3W

	UNIT TYPE
SQUARE FOOTAGE	2000
GENERAL LIGHTING	5985
SMALL APPLIANCE CIRCUITS	3000
WASHER	1500
DRYER	5000
DISHWASHER	1200
SINK DISPOSAL	865
MICROWAVE/HOOD	1000
SUBTOTAL	18550
1ST 10KVA @100%	10000
REMAINDER @40%	3440
BOILER & CIRC. PUMPS	200
(3) AC WINDOW UNITS	4500
TOTAL UNIT DEMAND VA	18140
AMPS @ 120/240V, 1Ø	75

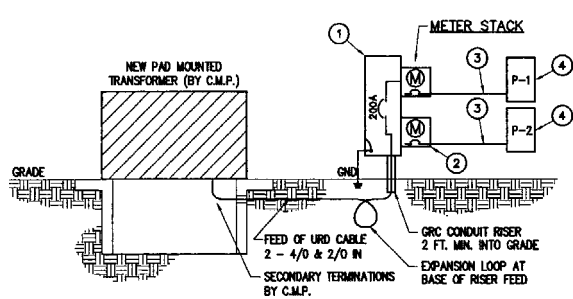
LOAD SUMMARY - METER STACK
120/240V, 1Ø, 3W

	TOTALS
GENERAL LIGHTING	11970
SMALL APPLIANCE CIRCUITS	6000
WASHER	3000
DRYER (2) - 5000 @50%	5000
DISHWASHER	2400
SINK DISPOSAL	1730
MICROWAVE/HOOD	2000
BOILER & CIRC. PUMPS	400
(6) AC WINDOW UNITS	9000
RESIDENTIAL SUBTOTAL	42500
SUBTOTAL	42500
TOTAL METER STACK DEMAND VA	42500
DEMAND AMPS @ 120/240V, 1Ø	177

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	VOLTAGE	SPECIFICATION	LAMPING
1	MOTION SENSING SPOTLIGHT	120	BY OWNER	PAR36
2	KEYLESS PORCELAIN LAMP HOLDER	120	BY OWNER	CFL OR A10
A	2 LAMP W/ WRAP AROUND LENS	120	BY OWNER	T8
B	WYRENDREGERE PROTOBELL	120	BY OWNER	CFL
C	NOT USED			
D	UNIT HALLWAY FIXTURE	120	BY OWNER	CFL OR A10
E	UNIT CLOSET FIXTURE	120	BY OWNER	CFL OR A10
F	UNIT VANITY FIXTURE	120	BY OWNER	CFL OR A10
G	UNIT KITCHEN FIXTURE	120	BY OWNER	CFL OR T8
H	KITCHEN PENDANT LIGHTING	120	BY OWNER	MR16
I	UNIT DINING FIXTURE	120	BY OWNER	CFL OR A10
J	UNIT PORCH LIGHT	120	BY OWNER	CFL OR A10

- LEGEND**
- POWER DISTRIBUTION**
- PANELBOARD OR LOADCENTER
 - TEL/DATA AND CABLE TV PATCH PANE
 - ⊞ HEAVY D U M FUSED DISCONNECT SWITCH
 - ⊞ HEAVY D U M NON-FUSED DISCONNECT SWITCH
 - ⊞ MOTOR (NUMERAL INDICATES HP)
 - ⊞ JUNCTION BOX
 - WRING UNDERGROUND OR UNDERSLAB
 - HOMERUN-2#12, 1#12G UNLESS GREATER THAN 75' THEN PROVIDE 2#10, 1#12G UNLESS NOTED OTHERWISE
 - MULTIPHASE HOMERUN OR MULTIPLE HOMERUNS
- RECEPTACLES**
- MOUNT WITH CENTERLINE 18" AFF UNO
 - MOUNT EXTERIOR WITH CENTERLINE 24" AFF UNO
 - ⊞ DUPLEX RECEPTACLE - 20A, 125V
 - ⊞+C DUPLEX RECEPTACLE - 20A, 125V - MOUNT WITH CENTERLINE AT 8" ABOVE CABINET TOP.
 - ⊞ GFCI TYPE DUPLEX RECEPTACLE
 - ⊞ GFCI RECEPTACLE WITH WEATHERPROOF COVER
 - ⊞+C+GFCI DUPLEX RECEPTACLE 20A, 125V
- COMMUNICATIONS SYSTEM**
- MOUNT 18" AFF UNLESS NOTED OTHERWISE.
 - ⊞ COMBINATION VOICE, DATA, AND CABLE TV RECEPT.
- FIRE ALARM SYSTEM**
- ⊞ FIRE ALARM SMOKE DETECTORS
 - ⊞ HEAT DETECTOR - 135' UNO
- LIGHTING FIXTURES:**
- NEW:
- 1 - FIXTURE TYPE
 - 2 - CIRCUIT
 - WALL MOUNTED
 - CEILING MOUNTED
- SWITCHES**
- ⊞ SINGLE POLE
 - ⊞ THREE WAY
 - ⊞ ELECTRONIC TIMER SWITCH - MAX 60 MIN.



KEY NOTES

- 1 200 AMP, 22KVA, 120/240 VOLT 3W, 1 PHASE NEMA-3R METER ASSEMBLY.
- 2 PROVIDE (2) 120/240 3W, 1 PHASE RESIDENTIAL METER STACK WITH 3 METER SOCKETS. ALL METER SOCKETS SHALL BE 100 AMP, 3W, 1 PHASE WITH 100 AMP BREAKERS.
- 3 3 #2 AND #8G SER-CU.
- 4 UNIT LOAD CENTER 100 AMP MLO, 1Ø, 3W, 10KVA, 3Ø POLE.

ELECTRICAL RISER DIAGRAM
NTS

UNIT LOAD CENTER (TYPICAL OF 2)
100AMP 120/208V, 1Ø, 3W

INTERRUPTING CAPACITY: 10K AIC RMS SYM
MAIN: 100 AMP M.L.O. NORMAL BRANCH MOUNTING, RECESSED

LOAD DESCRIPTION	CB RATIO	CIR. NO.	PHASE	CIR. NO.	CB RATIO	LOAD DESCRIPTION
* MASTER BEDROOM	20/1	1	A	2	30	ELECTRIC DRYER
* MASTER BEDROOM	20/1	3	B	4	2	
* SMOKE DETECTORS	20/1	5	A	6	20/1	REFRIGERATOR RECEPTACLE
* BATHROOM	20/1	7	B	8	20/1	KITCHEN RECEPTACLE
* LAUNDRY	20/1	9	A	10	20/1	KITCHEN RECEPTACLE
* LIVING RECEPTACLE	20/1	11	B	12	20/1	KITCHEN DISPOSAL
* LIVING RECEPTACLE	20/1	13	A	14	20/1	DISHWASHER RECEPTACLE
* GENERAL LIGHTING/RECEPT.	20/1	15	B	16	20/1	HOOD/MICROWAVE
* BEDROOM	20/1	17	A	18	20/1	BOILER-
* DINING ROOM	20/1	19	B	20	20/1	BEDROOM
* BATH ROOM - MASTER	20/1	21	A	22	20/1	GAS RANGE
* OUTSIDE LIGHT	20/1	23	B	24	20/1	SPARE
* GARAGE AND OUTSIDE	20/1	25	C	26	20/1	SPARE

* AIR FAULT CIRCUIT INTERRUPTING BREAKERS

SHARP MANAGEMENT INC.
Office: (207) 874-6959
Fax: (207) 874-6988
120 EXCHANGE STREET
Portland, Maine 04101



PROJECT: JARITA COURT CONDO
LANE AVE. PORTLAND, ME 04101
FOR: LOU WOOD
SHEET TITLE: TYPICAL UNIT 1st & 2nd FLOOR ELECTRICAL PLANS, DETAILS, LEGEND, NOTES, AND SCHEDULES

REVISIONS	DATE



FOR CONSTRUCTION
12-20-04

DATE: 12-20-04
SCALE: AS NOTED
DRAWN: CLC
PROJECT NUMBER: 02102
SHEET NO: E101