

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0808	PERMIT ISSUED JUL - 5 2005	BL: 367 101 001
Owner Address: 39 Wendell St	Phone: 878-0278	
Contractor Address: 6 Nonesuch Cove	Phone: 207-8780278	
Permit Type:		Zone:

Location of Construction: 0 Wendell St	Owner Name: Fowler Donald A &
Business Name:	Contractor Name: Darrell Davis
Lessee/Buyer's Name	Phone:

Past Use: Single Family Residence	Proposed Use: Single Family Residence with new 12'x10' addition and new 10'x10' deck
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Permit Fee: \$183.00	Cost of Work: \$18,000.00	CEO District: 5
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group <i>23</i> Type <i>55</i> <i>7/1/05</i> Signature: <i>[Signature]</i>	
Signature	Signature	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____	

Proposed Project Description:
build a 12'x10' addition and a 10x10' deck on single family residence

Permit Taken By: jharris	Date Applied For: 06/17/2005
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Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>7/1/05</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0808	Date Applied For: 06/17/2005	CBL: 307 1011001
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Location of Construction: 39 Wendell St	Owner Name: Fowler Donald A &	Owner Address: 39 Wendell St	Phone: () 878-0278
Business Name:	Contractor Name: Darrell Davis	Contractor Address: 6 Nonesuch Cove Road Scarborough	Phone: (207) 878-0278
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

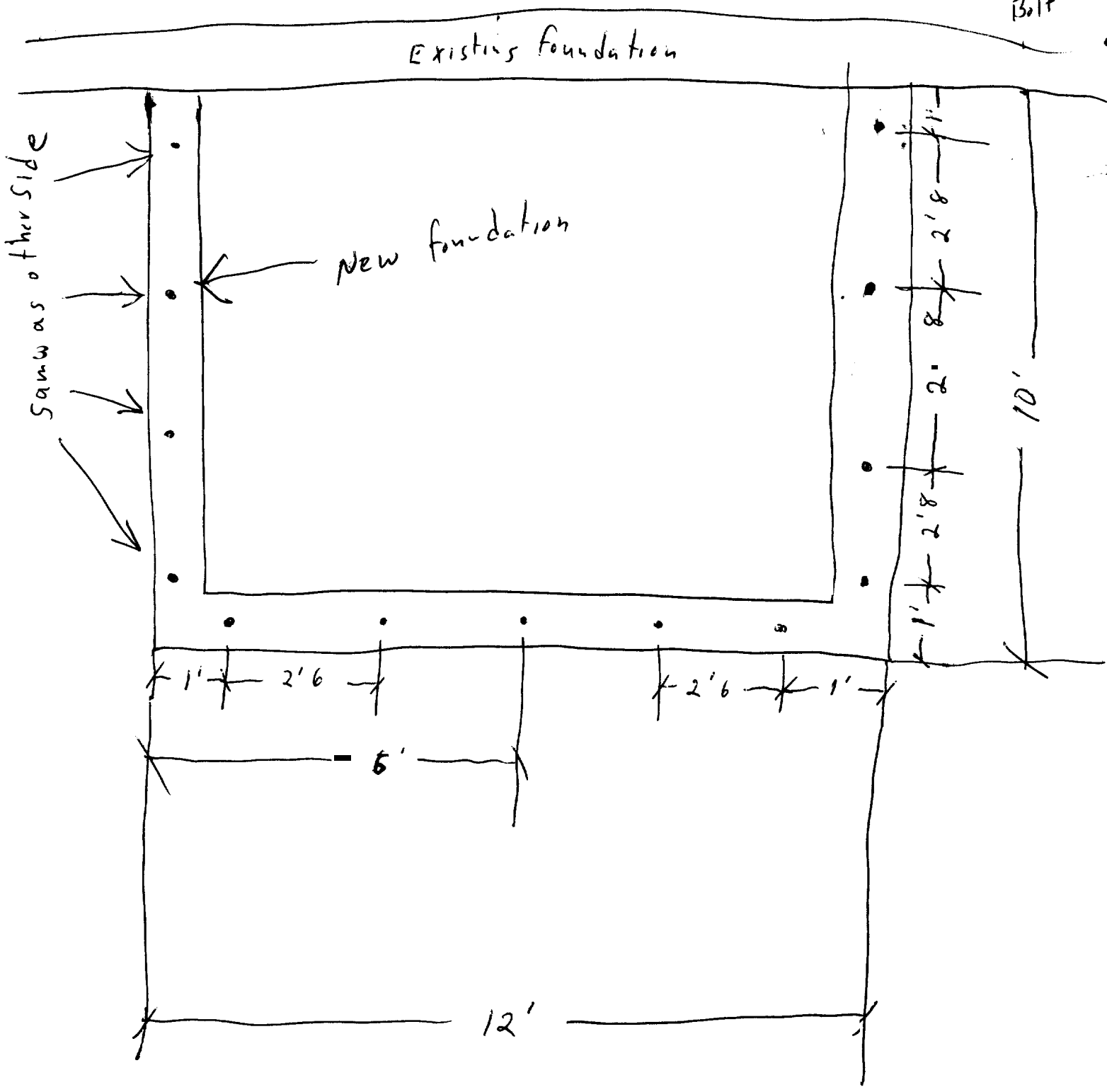
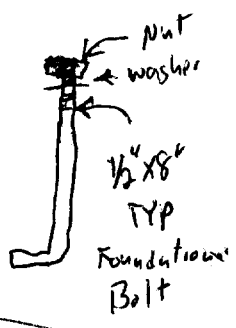
Single Family Residence with new 12'x10' addition and new 10'x10' deck | build a 12'x10' addition and a 10'x10' deck on single family residence

Dept: Zoning **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

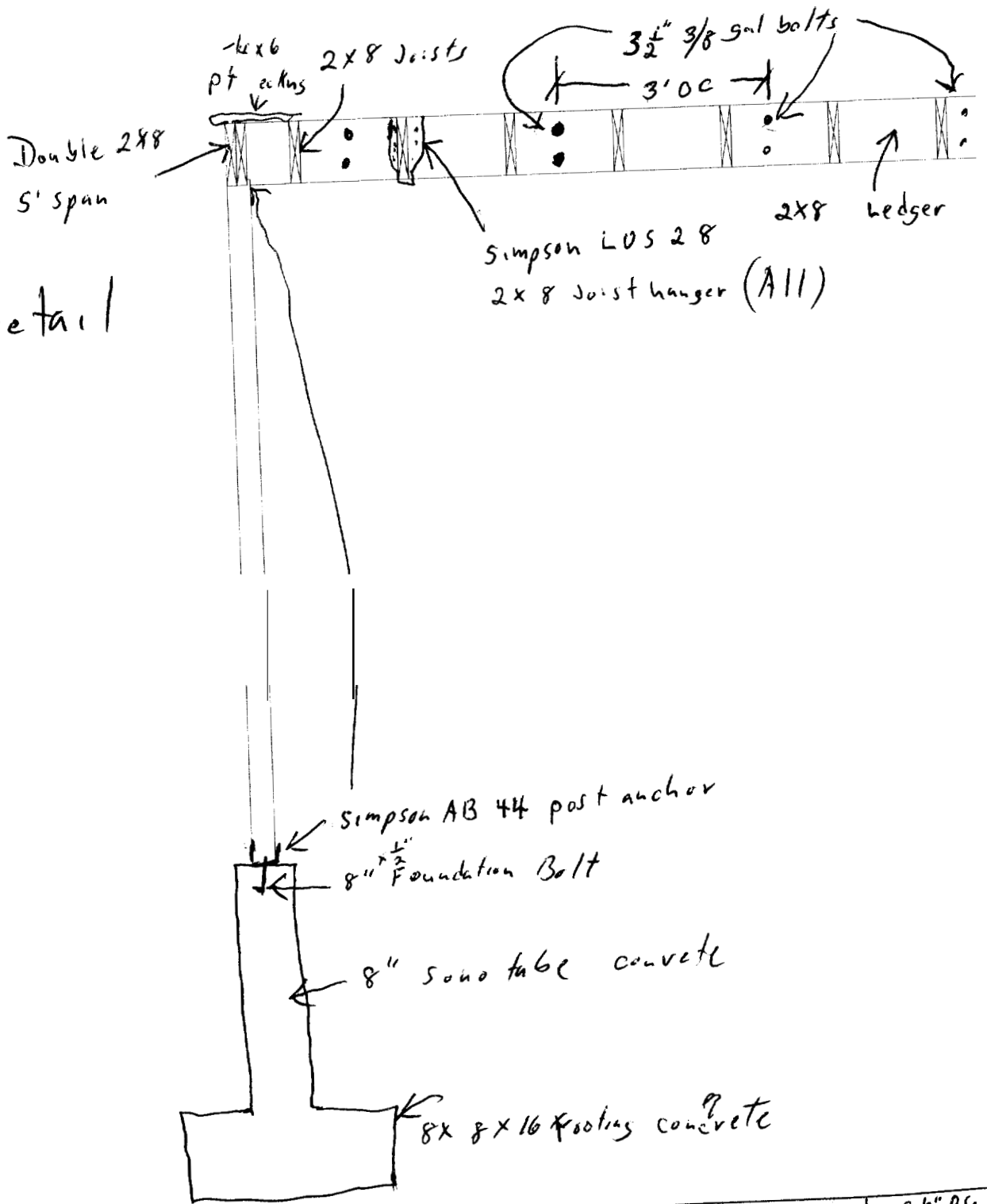
Comments:

6/30/2005-mjn: Need Guard details, joist hangers, rafter vent plan....Builder and owner notified DONE



~~Note~~ Note: all Bolts less than 60" apart

Deck Detail



Gaurd Rail Detail



INSPECTION OF PREMISES

I HEREBY CERTIFY TO ~~OWNERS LAND~~

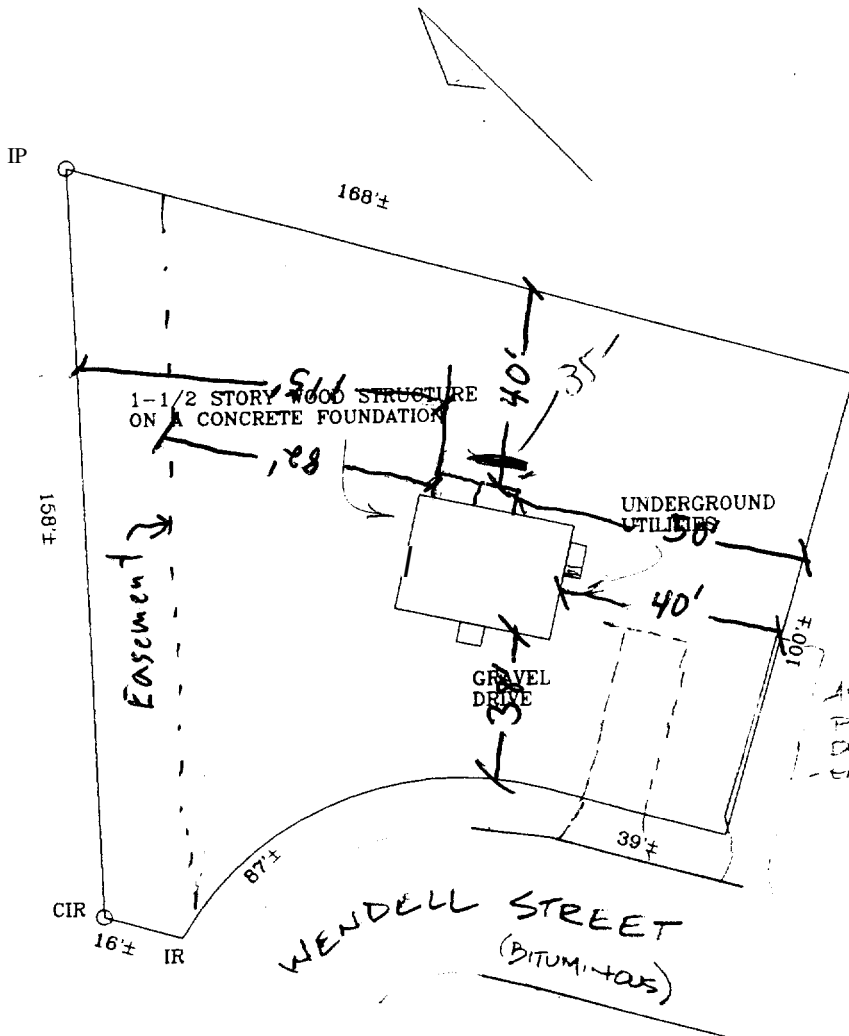
37 WENDELL ST
 PORTLAND MAINE

Job Number: 253-60
 Inspection Date: 04/26/95

Plot Plan

BUYER: DONALD A. & JANICE L. FOWLER

SELLER: DONATO G. APON



REG SHOW
 FRONT - 25' 30'
 SIDE - 8/14 75/6
 REAR - 25' 35'
 LOT % 35% 60%
 COVERAGE -
 HEIGHT - 35'
 SHORELAND FLOOD -

ABUTTING
 PAVED
 DRIVE -
 ENCROACHES -

= New construction

[Handwritten signature]

THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ADJUTING DEEDS.

BRUCE R. BOWMAN, INC.
 176 Gray Road
 Cumberland Maine 04021
 Phone (207)829-3959
 Fax (207)829-3522



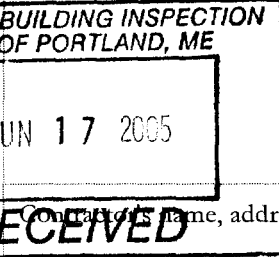
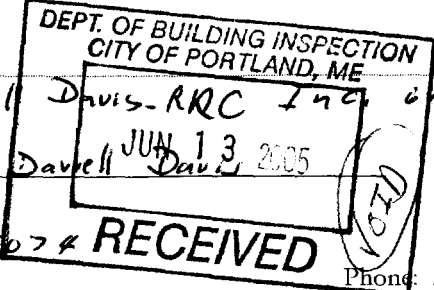
PLAN BOOK 106 PAGE 50 LOT _____
 DEED BOOK _____ PAGE _____ COUNTY CUMBERLAND

THIS PLAN IS NOT FOR RECORDING Drawn by: *[Signature]*



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>39 Wendell Street</u>		Total Square Footage of Proposed Structure <u>240 120 addition 120 Deck</u>		Square Footage of Lot <u>17,241 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>307</u> Block# <u>I</u> Lot# <u>11</u>		Owner: <u>Donald & Janice Fowler</u>		Telephone: <u>878-0278</u>	
Lessee/Buyer's Name (If Applicable) <u>N/A</u>		Applicant name, address & telephone: <u>Darrell Davis - RRC Inc.</u> <u>6 Nonesuch Cove Rd</u> <u>Scarborough, Maine 04074</u>		Cost Of Work: \$ <u>18000.00</u> Fee: \$ <u>183.00</u>	
Current Specific use: <u>Residential</u>					
Proposed Specific use: <u>Residential</u>					
Project description: <u>12'x10' Addition as per plans submitted, 10'x10' Deck as per plan</u>					
					
Contractor's name, address & telephone: <u>Darrell Davis - RRC Inc. 6 Nonesuch Cove Rd 329-3700</u>		Who should we contact when the permit is ready: <u>Darrell Davis</u>			
Mailing address: <u>6 Nonesuch Cove Rd Scarborough, Maine 04074</u>		Phone: <u>329-3700</u>			

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Darrell Davis Date: 6/13/05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information **stop** by the Building Inspections office, room 315 City Hall or call 874 8703

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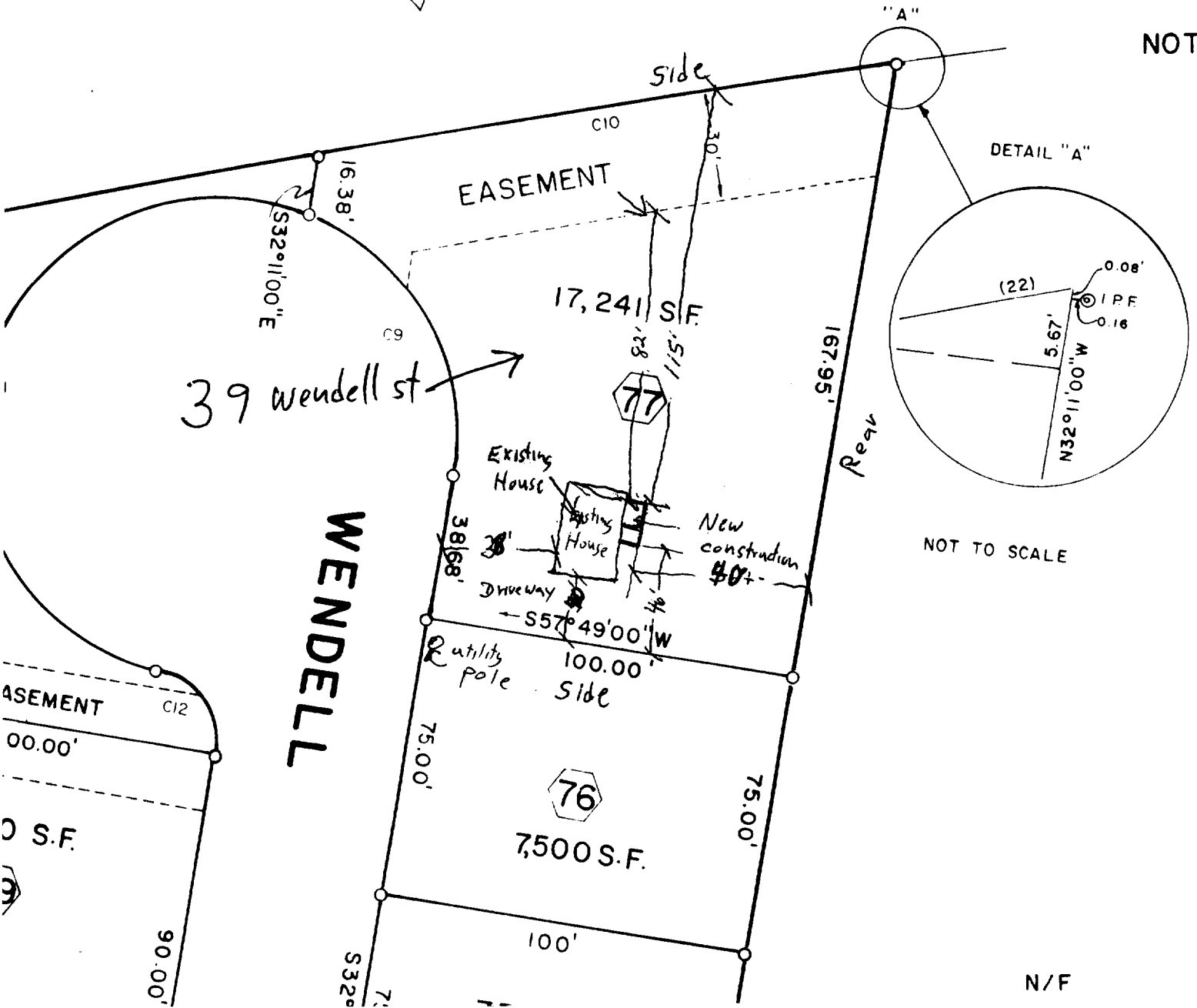
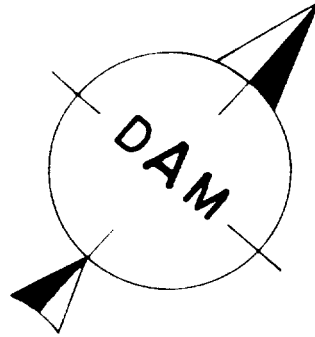
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Plot Plan & Setbacks

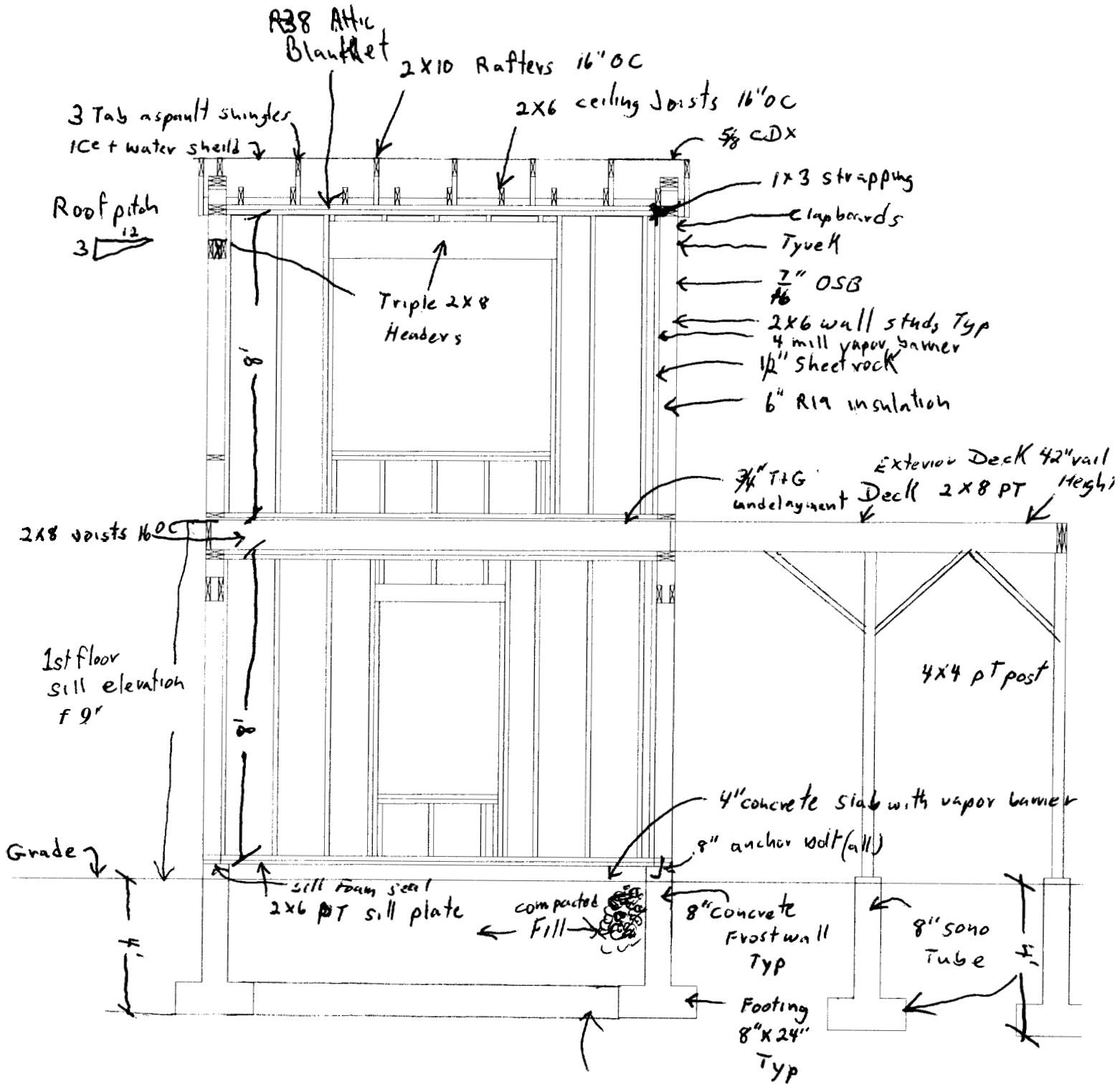
RTH DERIVED FROM ORIGINAL
 VE TREE TERRACE PLAN
 CORDED C.C.R.D. PB 30 PG 29

OWNER

NOTES

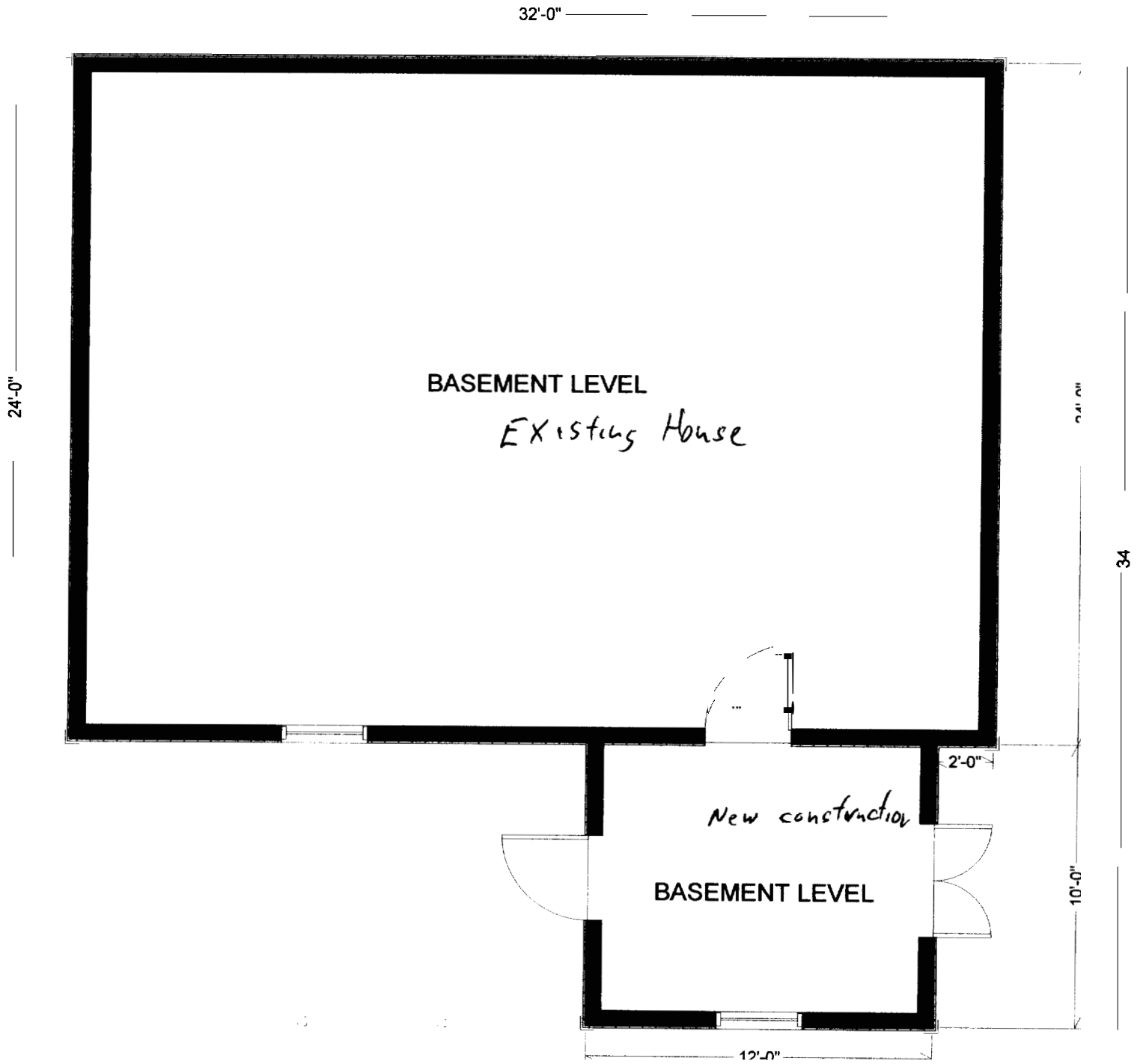


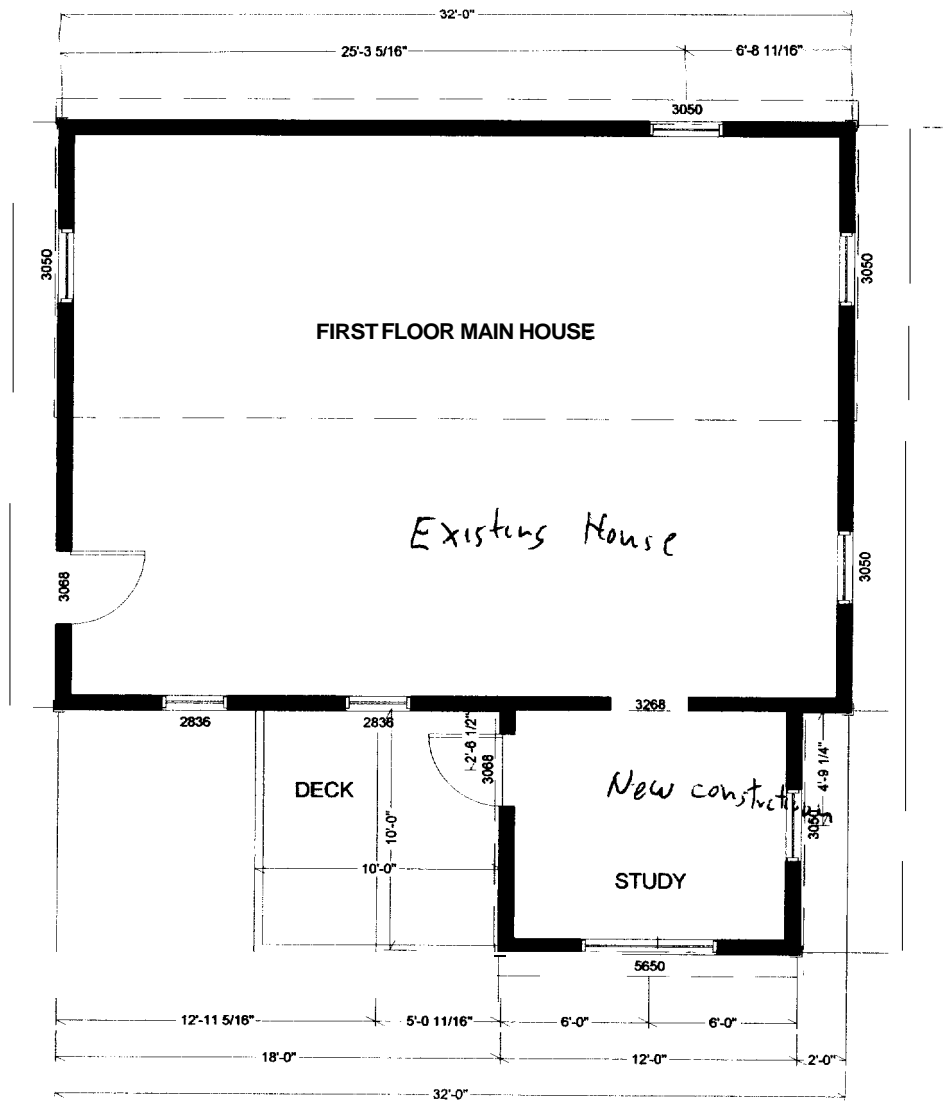
Cross Section



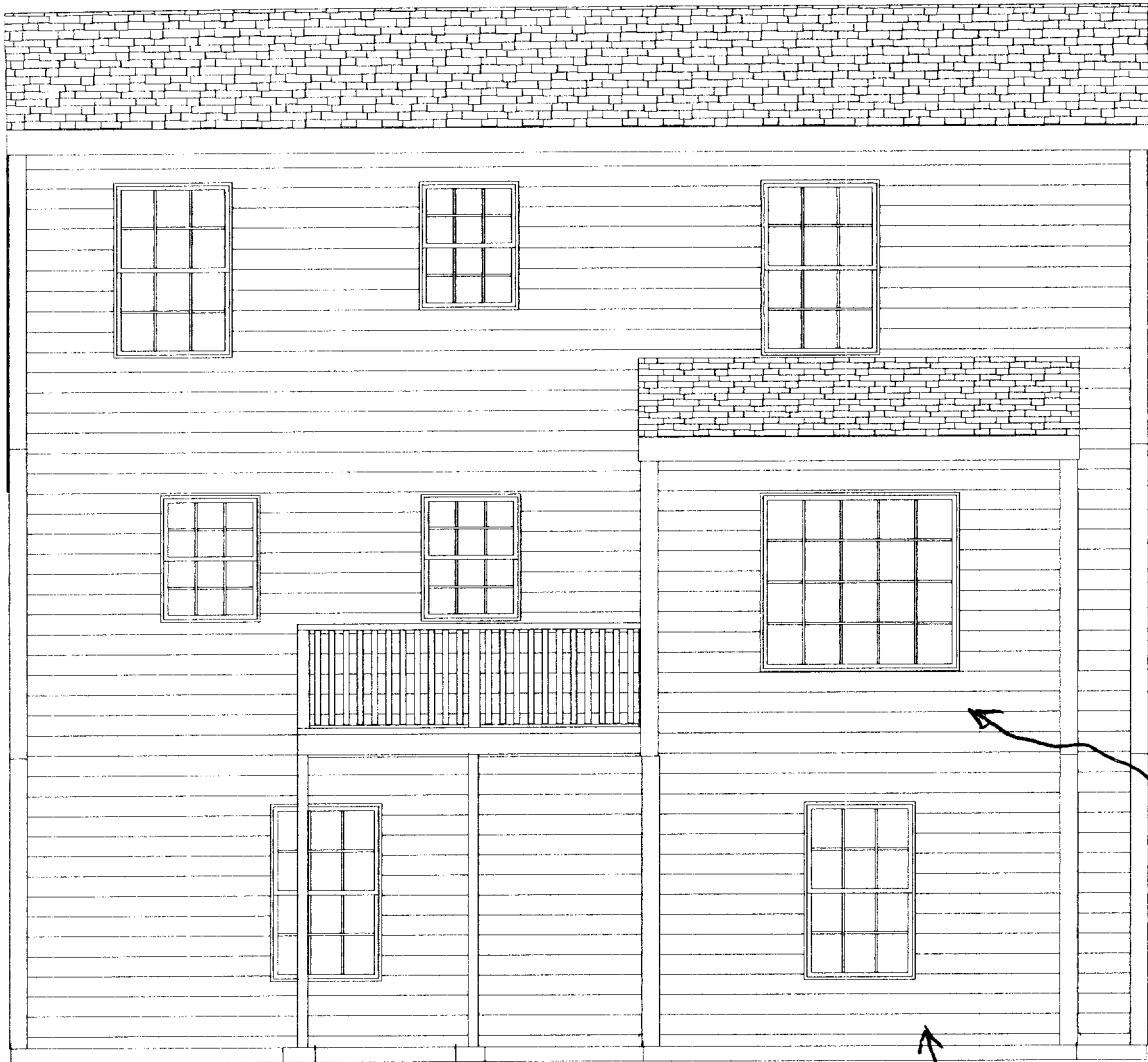
No drainage
Needed
for footings

Floor Plan Basement





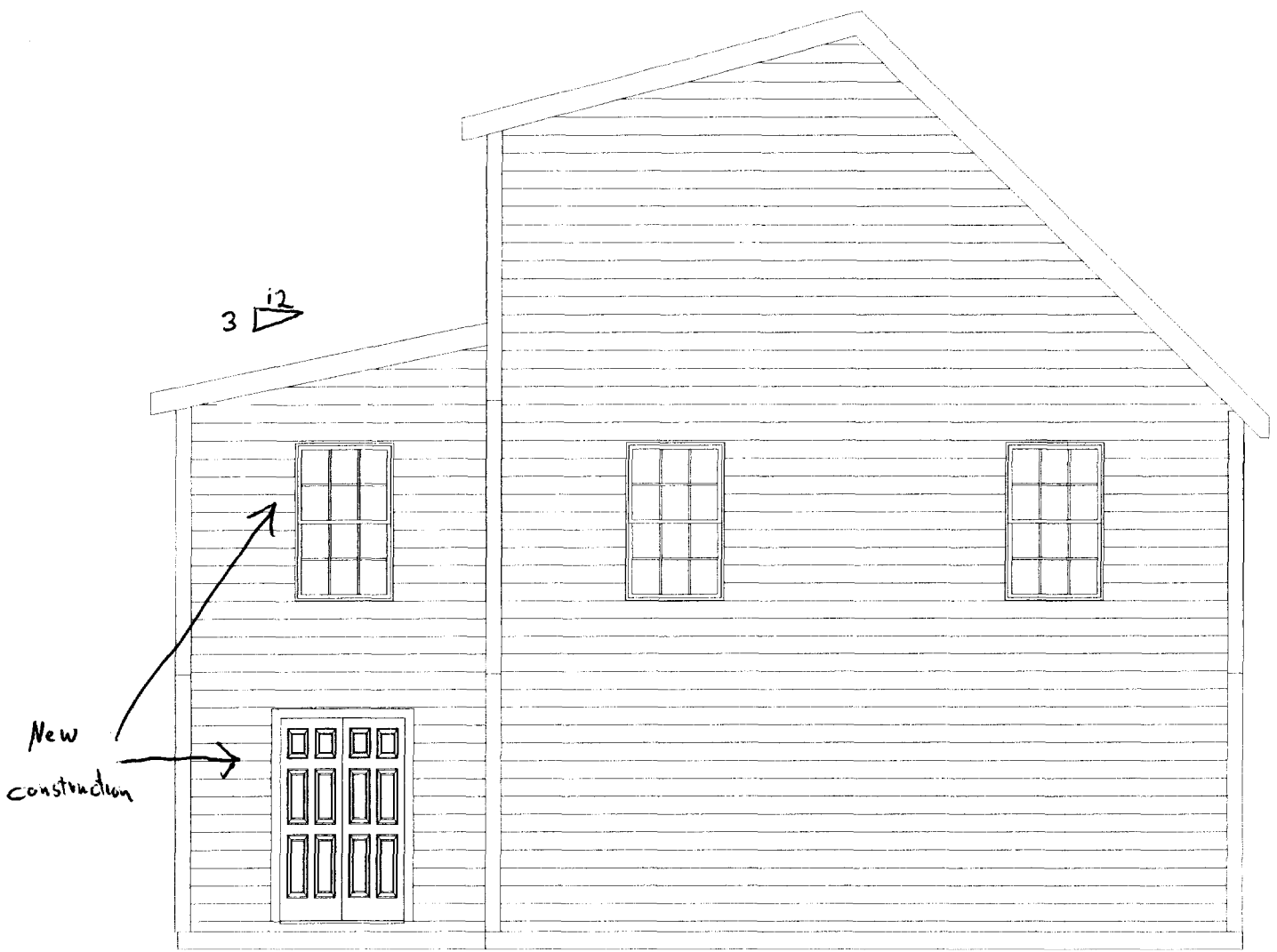
Floor Plan First Floor



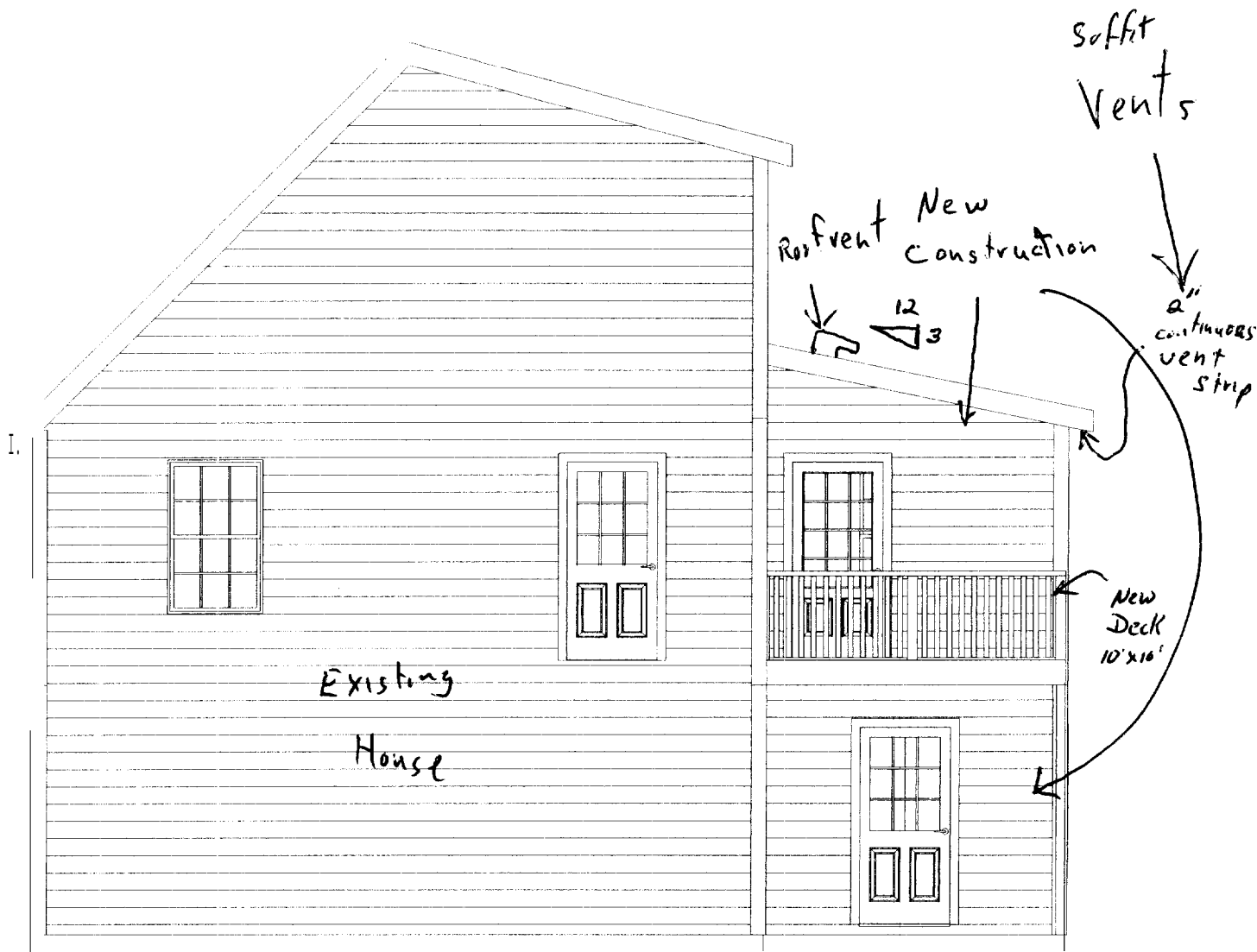
New Deck
10' x 10'

New construction

Front Elevation



Right Elevation



Left Elevation

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 050808
JUL - 5 2005
CITY OF PORTLAND

This is to certify that Fowler Donald A &/Darrell is
has permission to build a 12'x10' addition and 10'x10' deck family residence
AT 0 Wendell St 307 1011001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. **YOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

WINDOW AND DOOR SCHEDULE

BASEMENT LEVEL

WINDOW SCHEDULE

1 - 36" x 60" dbl hung

DOOR SCHEDULE

1 - 36" x 6'8" 9 lite entrance door
1 - 5' x 6'8" 6 panel dbl utility door

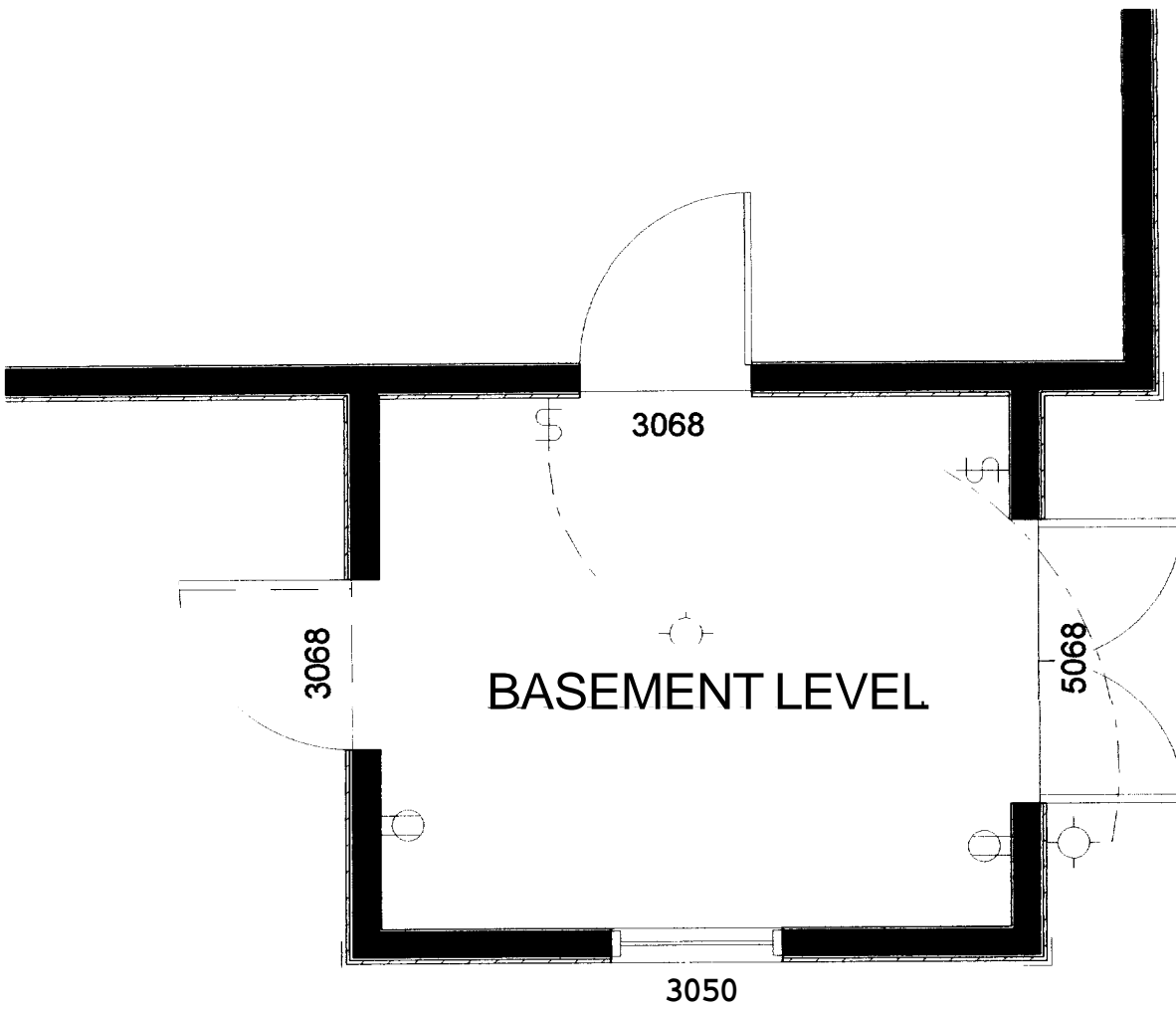
FIRST FLOOR LEVEL

WINDOW SCHEDULE

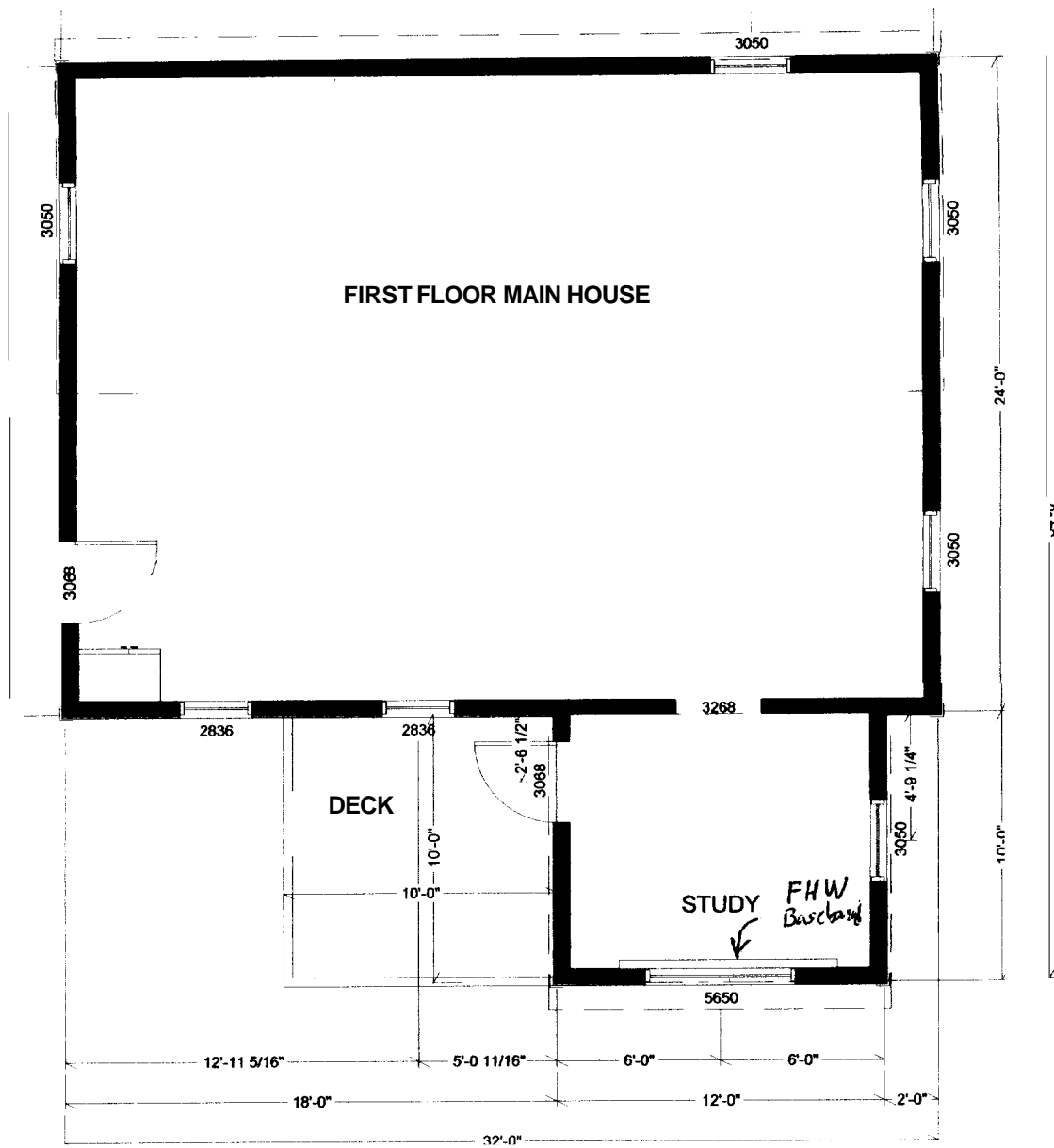
1 - 36" x 60" dbl hung
1 - 66" x 60" fixed picture window

DOOR SCHEDULE

1 - 36" x 6'8" 9 lite entrance door
1 - 30" x 6'8" pass through door



*Electrical Plan Layout
Basement Level*



H V A C Layout

7/8/05 - Setbacks/Footings Pour OK

7/12/05 - Backfill OK

8/3/05 - Framing on addition only OK

8/11/05 - Elec Chest OK



CITY OF PORTLAND, MAINE
 Department of Building Inspections

June 17 2005

Received from Daniel Davis

Location of Work 39 Westall St

Cost of Construction \$ 18000.00

Permit Fee \$ 183.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 307 J CII

Check #: 2672

Total Collected \$ 183.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

[Signature]
 WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy