



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant R.J. Grondin & Sons
11 Bartlett Rd Gorham, ME 04038

13 December 1996
Application Date

Applicant's Mailing Address
Ken Grondin 854-1147

61
62-07 Label Ave

Project Name/Description

Consultant/Agent
KENNETH GRONDIN

Address of Proposed Site

307-F-032

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

~~XXXXXX~~ 7,500 Sq Ft

Proposed Building Square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|----------------------------------------------------------|------------------------------------------------------|---------------------------------------------------------|--------------------------------------------------|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____ 100. Engineer Fee

Approval Status:

Reviewer JIM WENDEL

- Approved Approved w/Conditions listed below Denied

- _____
- SEE ATTACHED CONDITIONS.
- _____
- _____

Approval Date 6/24/97 Approval Expiration 6/24/98 Extension to _____ date _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---------------------------------------------------------|----------------------------|-------------------------------|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

Address: 63-67 Label Ave

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL**

APPLICANT: R. J. GROWDIN
 ADDRESS: 11 BARTLETT RD., GORHAM, ME 04038
 SITE ADDRESS/LOCATION: 61 LABEL AVE, LOT 86
 DATE: 6/24/97

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
3. Your new street address is now 61 LABEL AVE., the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
7. A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

8. ✓ As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
9. _____ The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
10. ✓ The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
11. ✓ A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FEE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
12. ✓ The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

13. ✓ IN GENERAL, THE GRADING SHALL SLOPE AWAY FROM THE HOUSE DIRECTING RUNOFF TO THE SWALES AT THE PROPERTY LINES AND TO THE C.B. WITHIN LOT 84
 Now C.B.

cc: Katherine Staples, P.E., City Engineer

14. ✓ THE CURB CUT SHALL CONFORM TO THE CITY OF PORTLAND STANDARDS.

15. ✓ EROSION CONTROL SHALL CONFORM TO BEST MANAGEMENT PRACTICE PER THE REFERENCED MANUAL. LABEL AVE SHALL BE KEPT CLEAN OF SOIL.

**CITY OF PORTLAND, MAINE
PUBLIC NOTICE**

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner
Tony Lombardo, Engineer

FROM: Jim Wendel, P.E., Development Review Coordinator *JW*

DATE: December 18, 1996

RE: House Site Plan Review
Lots 82-84, 86, 88 Wilkie St and Label Ave
Pine Tree Terrace Subdivision

As requested, below is a summary of findings with regard to drainage issues for the house site plans submitted.

1. The "site plans" submitted with the applications were a copy of the amended subdivision plan (no topography) with the five lots highlighted showing the houses within the building envelope, the sewer and storm drain services, short arrows pointing in which direction some of the existing ground slopes; also there are three notes commenting on density requirements, existing services and height of proposed sills. The plan was copied for each of the five applications and are identical.

2. A site visit was made December 18, 1996 to evaluate the sites. Rain had been the prevalent weather condition for that day and several days prior to the visit. The site is wooded and characterized as flat to very gently sloping in several different directions. Lots 82, 83, 84 and 86 seem to predominately drain toward the Maine Turnpike with lot 86 being slightly higher than lots 82-84. No clearly defined natural drainage course exists for the lots; however lot 88 has a 30" culvert inlet in the back corner of the lot and is generally higher than the abutting lots. Some ponded water was observed in several small and large natural and manmade depressions scattered throughout the site and in neighboring developed lots. The growth of the vegetation in lots 82 to 84 has produced a slightly hummock type of terrain due to the apparent high water table in the area.

3. The soil, identified from the SCS Medium Intensity Soil Survey, is a Scantic series and consists of deep, nearly level, poorly drained, medium-textured soils underlain by fine-textured material. This soil is a silty clay loam with the water table at a depth of 1' for most of the year; depth to bedrock is 5' or more .

4. Based on the site visit and a review of the submitted site plans, I have concluded that insufficient data has been presented to evaluate the proposal. A phone call was made to the applicant, Ken Grondin, and he was informed that the site plan was insufficient and that I will need an appropriate grading plan that clearly shows how the surface drainage will leave the site and that the plan shows existing topography. Where it is possible the existing topography should include abutting lots. If a well thought out grading scheme is not developed, than some of these surrounding drainage problems and the lots themselves will likely be negatively impacted by construction of these homes.

If you have any questions please call.

JN1350.10WilkLabl

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

July 3, 1997

Custom Built Homes of Maine
27 Main St.
Windham, Me. 04062

RE: 63-67 Label Ave.

Dear Sir,

Your application to construct a single family dwelling has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not excuse the applicant from meeting applicable State and Federal laws.

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL REQUIREMENTS OF THIS LETTER ARE MET.

Site Plan Review Requirements

Building Inspection: Approved with conditions : 1. Separate permits shall be required for future decks, pools, and/or garage. See attached Statement. M. Schmuckal
Development Review Coordinator: Approves with conditions : J. Wendel

Building Code Requirements

1. Please read and implement items 1,2,6,8,9,10,11,12, 16,21,25, and 26 of the attached building permit report.
2. All structural items must be designed to The BOCA National Building Code /1996. plans.

Sincerely,


P. Samuel Hoffses
Chief of Code Enforcement

c: M. Schmuckal
J. Wendel



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Applicant 11 Bartlett Rd Gorham, ME 04038

13 December 1996
Application Date

Applicant's Mailing Address
Ken Grondin 854-1147

Project Name/Description

Consultant/Agent
KENNETH GRONDIN
Applicant or Agent Daytime Telephone, Fax

63-67 Label Ave
Address of Proposed Site
307-F-032

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

XXXXXXXX 7,500 Sq Ft
Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required:

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| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____ 100. Engineer Fee

Approval Status: _____ Reviewer _____

- Approved Approved w/Conditions listed below Denied
1. _____
2. _____
3. _____
4. _____

Approval Date _____ Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

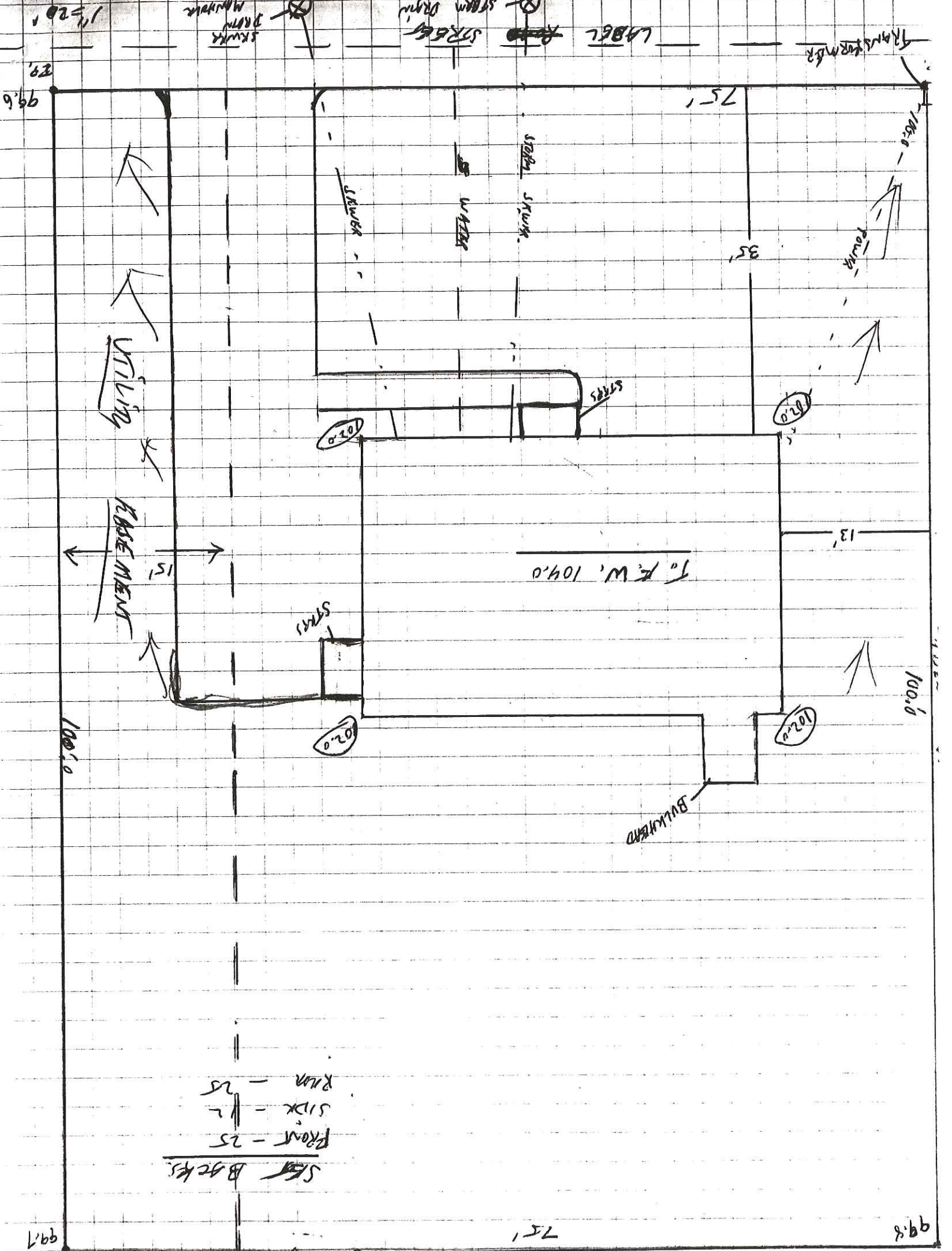
Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

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| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: 63-67 Label Ave



SEW BACKS
 FRONT - 25
 SIDE - 12
 RUM - 25

99.6

75'

99.8

THIS PERMIT EXPIRES THIRTY DAYS FROM DATE OF ISSUE

DATE: _____, 19____

PERMISSION IS HEREBY GIVEN TO _____
NAME ADDRESS

TO OPEN _____ STREET/AVENUE

FOR THE PURPOSE OF storm drain connect also, SAID WORK SHALL BE PROPERLY

DONE ACCORDING TO The Excavation Ordinance, Chapter 712 of the Municipal Code, "EXCAVATIONS IN PUBLIC PLACES." and abide by all provisions of Chapter 308, Plumbing Code and Chapter 309, Sewer Use Ordinance, of the Municipal Code of the City of Portland, Maine.

THE WORK IS BEING DONE BY:

CONTRACTOR: _____
NAME ADDRESS

PLUMBER: _____
NAME ADDRESS

THE PROPERTY OWNER IS _____
NAME ADDRESS

STREET EXCAVATION PERMIT \$20.00
SEWER CONNECTION PERMIT \$25.00*
COMBINATION PERMIT \$45.00

George A. Flaherty
GEORGE A. FLAHERTY,
Director of Public Works

This permit does not create in the applicant any permission for him to enter or use the land of another property owner, either temporarily or permanently, for the purpose of connection with the City sewer line. Questions concerning such permission should be referred to Applicant's attorney.

KIND OF PAVEMENTS:

STREETS _____

SIDEWALKS _____

STREET MEASURED:

_____ SQ. YDS. @ \$ _____ \$ _____
_____ SQ. YDS. @ \$ _____ \$ _____

SIDEWALK MEASURED:

_____ SQ. YDS. @ \$ _____ \$ _____
_____ SQ. YDS. @ \$ _____ \$ _____

OTHER CHARGES: _____ \$ _____

TOTAL AMOUNT TO BE PAID \$ _____

*CHARGE INCLUDES INSPECTION AND CONNECTION FEE
045610