

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMITS

PERMIT ISSUED
Permit Number: 100426
MAY 19 2010
CITY OF PORTLAND

This is to certify that Lavoie Sarah L./Peter Symans
has permission to Build new 16' x 12 deck
AT 22 Epping St

307-D012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Handwritten Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 10-0426 | Issue Date: | CBL: 307 D012001 |
|-----------------------|-------------|---------------------|

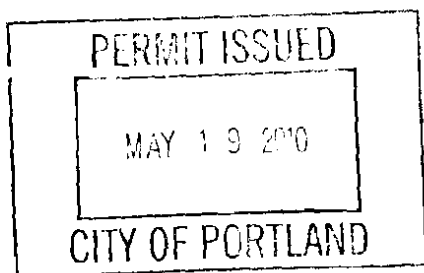
| | | | |
|---|-----------------------------------|--|------------------------|
| Location of Construction: 22 Epping St | Owner Name: Lavoie Sarah L | Owner Address: 22 Epping St | Phone: 207-899-4747 |
| Business Name: | Contractor Name: Peter Symansk | Contractor Address: 22 Epping Street Portland | Phone: 2078994747 |
| Lessee/Buyer's Name | Phone: | Permit Type: Additions - Dwellings | Zone: R-3 |

| | | | | | |
|---|---|---|---|--------------------|-------|
| Past Use: Single Family | Proposed Use: Single Family / Build new 16' x 12 deck. | Permit Fee: \$30.00 | Cost of Work: \$888.30 | CEO District: 5 | 8105P |
| Proposed Project Description: Build new 16' x 12 deck. | | FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i> | INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i> | | |
| | | Signature: | Signature: | | |

| | |
|---|------------------------------|
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied | Signature: _____ Date: _____ |

| | | | |
|------------------------|---------------------------------|------------------------|--|
| Permit Taken By: gg | Date Applied For: 04/28/2010 | Zoning Approval | |
|------------------------|---------------------------------|------------------------|--|

| | | | |
|---|---|--|---|
| <ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/3/10</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date: _____ | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Date: _____ |
|---|---|--|---|



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|---------------------------------|---------------------|
| Permit No: 10-0426 | Date Applied For: 04/28/2010 | CBL: 307 D012001 |
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| | | | |
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| Location of Construction: 22 Epping St | Owner Name: Lavoie Sarah L | Owner Address: 22 Epping St | Phone: 207-899-4747 |
| Business Name: | Contractor Name: Peter Symansk | Contractor Address: 22 Epping Street Portland | Phone: (207) 899-4747 |
| Lessee/Buyer's Name | Phone: | Permit Type: Additions - Dwellings | |

| | |
|---|---|
| Proposed Use: Single Family / Build new 16' x 12 deck. | Proposed Project Description: Build new 16' x 12 deck. |
|---|---|

| | | | |
|--|---|--|----------------------------------|
| Dept: Zoning | Status: Approved with Conditions | Reviewer: Marge Schmuckal | Approval Date: 05/03/2010 |
| Note: | Ok to Issue: ✓ | | |
| <p>1) Separate permits shall be required for future decks, sheds, pools, and/or garages.</p> <p>2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</p> <p>3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. Approval is also based upon a phone call from the applicant giving a rear setback of 39' from the deck to the rear property line.</p> | | | |
| Dept: Building | Status: Approved | Reviewer: Residential Plan Review | Approval Date: |
| Note: | Ok to Issue: | | |

Comments:

4/30/2010-mes: left message with owner - no rear setback shown on the plans - I need to know the rear setback

5/3/2010-mes: At 8:50 am today, the owner called to tell me that there is 39' from the new deck to the rear property line. I am passing on the permit for further review.

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing inspection required. This can be done at the final if the framing is visible from below.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

April 25 2010

Received from Rita J. [unclear]

Location of Work As applicable.

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 20.00

Building (IL) _____ Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 2071 2012

Check #: 2010 Total Collected \$ 20.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|--|---|--|
| Location/Address of Construction: <u>22 Epping St Portland</u> | | |
| Total Square Footage of Proposed Structure/Area <u>192</u> | | Square Footage of Lot <u>8219</u> |
| Tax Assessor's Chart, Block & Lot Chart# <u>307</u> Block# <u>192</u> Lot# <u>1</u> | Applicant *must be owner, Lessee or Buyer* Name <u>Sarah Lavoie</u> Address <u>22 Epping St</u> City, State & Zip <u>Portland ME 04103</u> | Telephone: <u>207-899-4747</u> |
| RECEIVED APR 28 2010 Dept. of Building Inspections City of Portland Maine | Lessee/DBA (If Applicant) _____ Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____ | Cost Of Work: \$ <u>888.30</u> C of O Fee: \$ _____ Total Fee: \$ <u>30.00</u> |
| | Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>16x12 Deck</u> | Contractor's name: <u>Peter Symanski</u> XX <u>Call, then meet</u> Address: <u>22 Epping St.</u> City, State & Zip <u>Portland ME 04103</u> Telephone: <u>899-4747</u> Who should we contact when the permit is ready: <u>Peter Symanski</u> Telephone: <u>415-8357 cell</u> Mailing address: <u>Same</u> |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

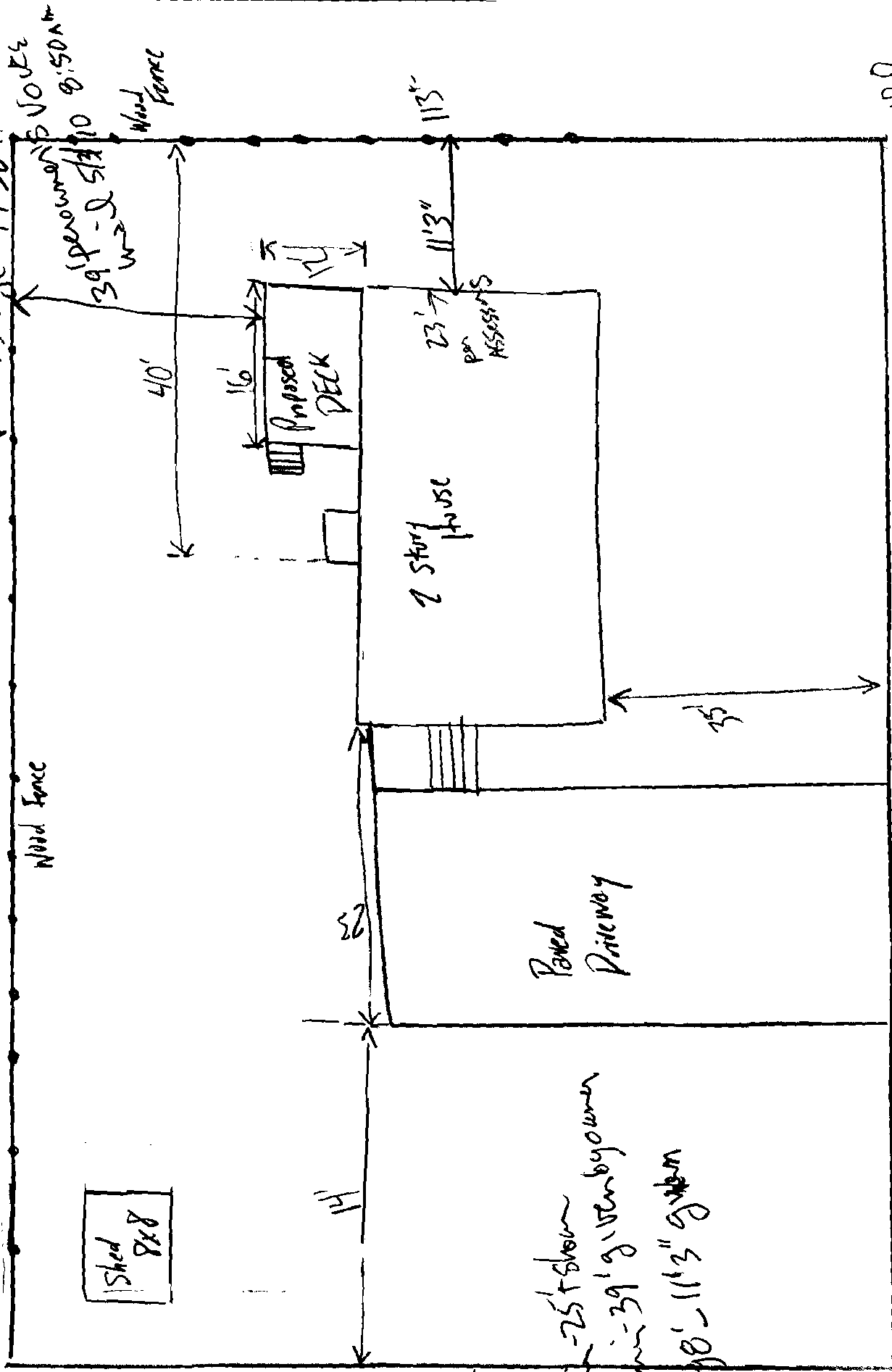
Signature: Sarah Lavoie Date: 4/27/10

This is not a permit; you may not commence ANY work until the permit is issue

22 Eppmyst ZONE R-4

1.

WHAT IS REAR PROPERTY LINE?
MIGHT HAVE ~ 30'
LOT MESSAGE 4/30/10.



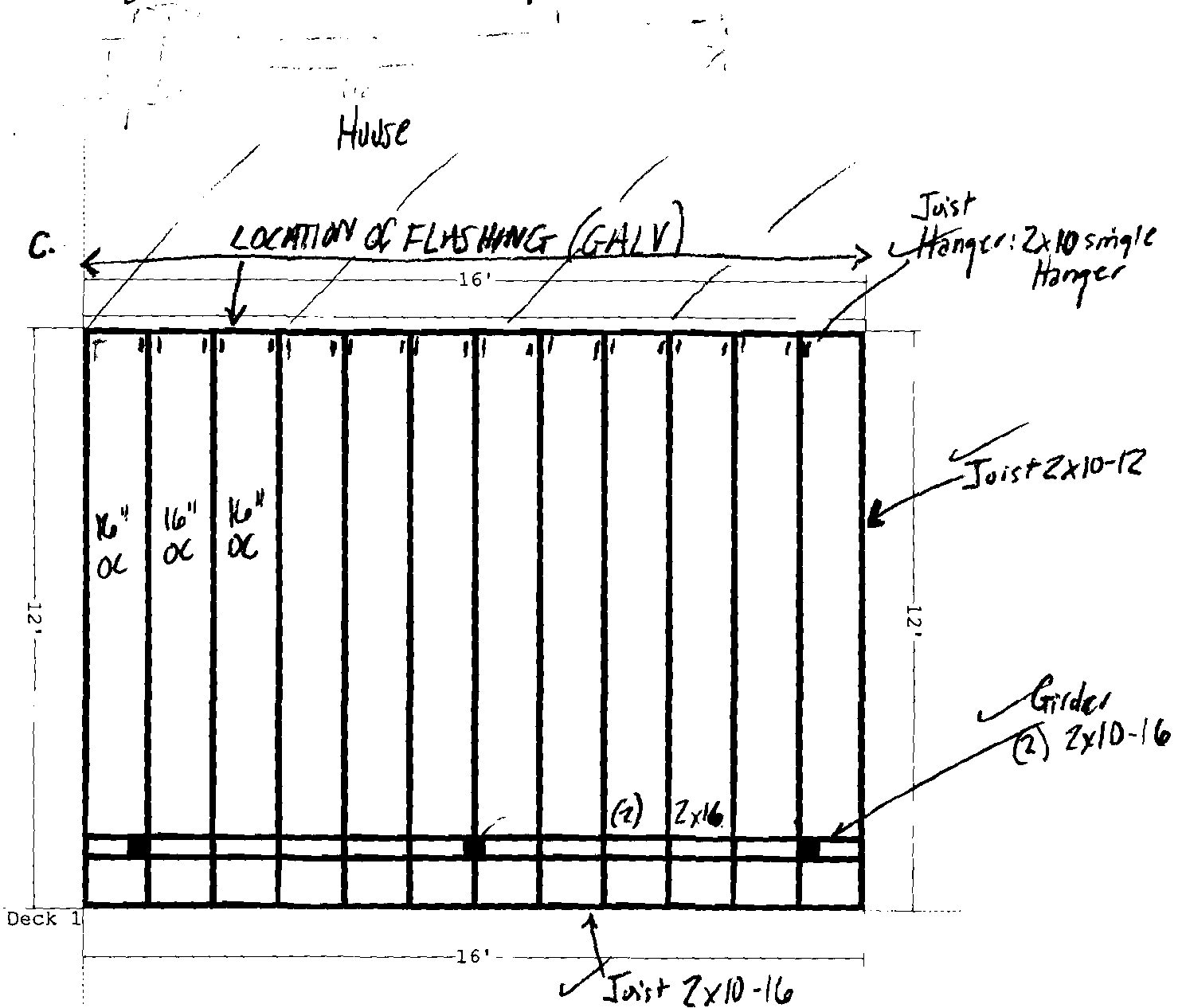
R-3
 Front 25' min - 25' shown
 Rear 25' min - 39' given by owner
 Side 1 story 8' - 11'3" given

135 min / 1024'

The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Mon Apr 26 16:45:33 2010
The materials for this project will cost \$1319.77

PETER SYMANSKI
DECK
182381
Deck Dimensions for Deck 1

- 4.
- ✓ a. LEDGER (2x10-16 #2 PT)
 - ✓ b. Lag Bolt: 12: 3/8 x 5 GALV, washer 3/8 Loose GALV Screws
 - ✓ c. Bolt 2x10 Band through House @ 20" OC



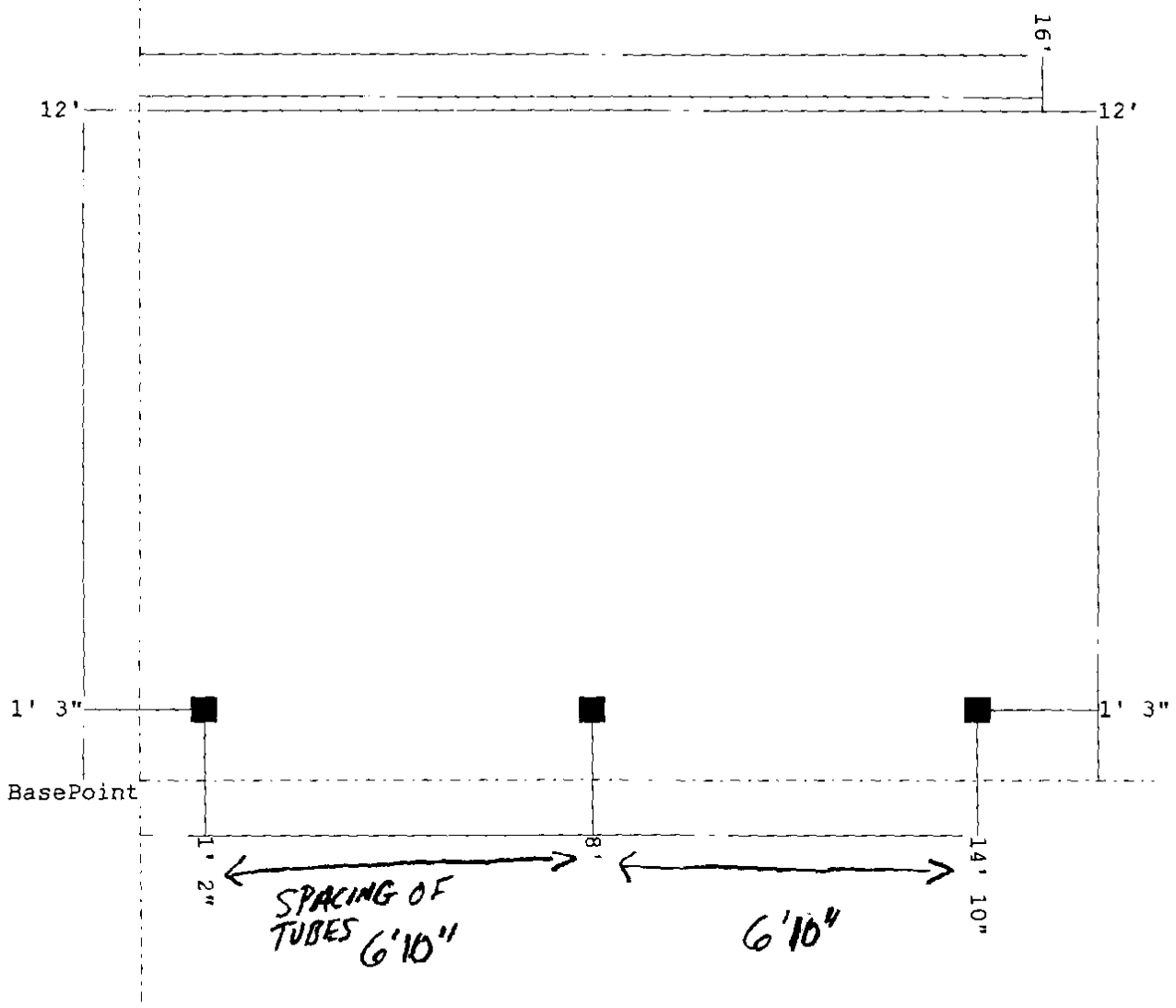
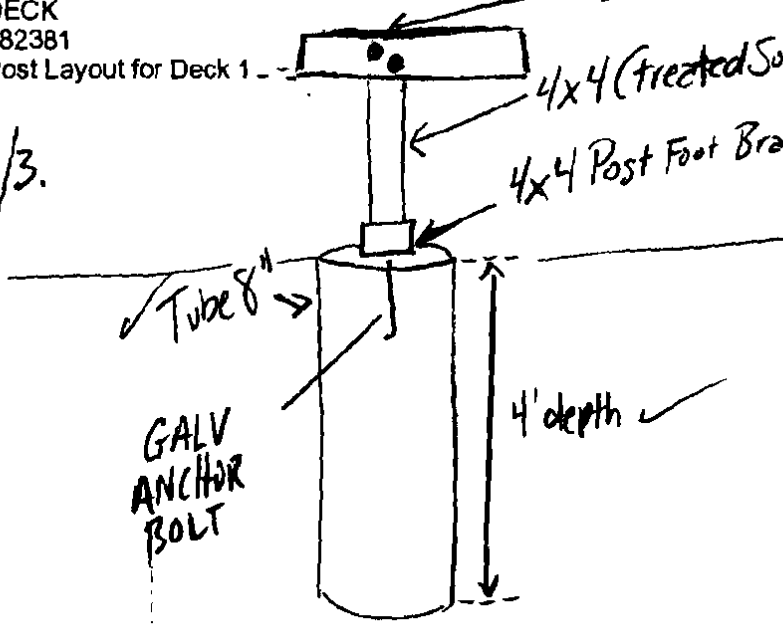
Joist Spacing = 16 in. o.c.
Baluster Spacing = 3 3/4"
Toe Spacing = 3 3/4"
Railing Height = 36"

The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Mon Apr 26 16:45:33 2010
The materials for this project will cost \$~~150.00~~7

PETER SYMANSKI
DECK
182381
Post Layout for Deck 1

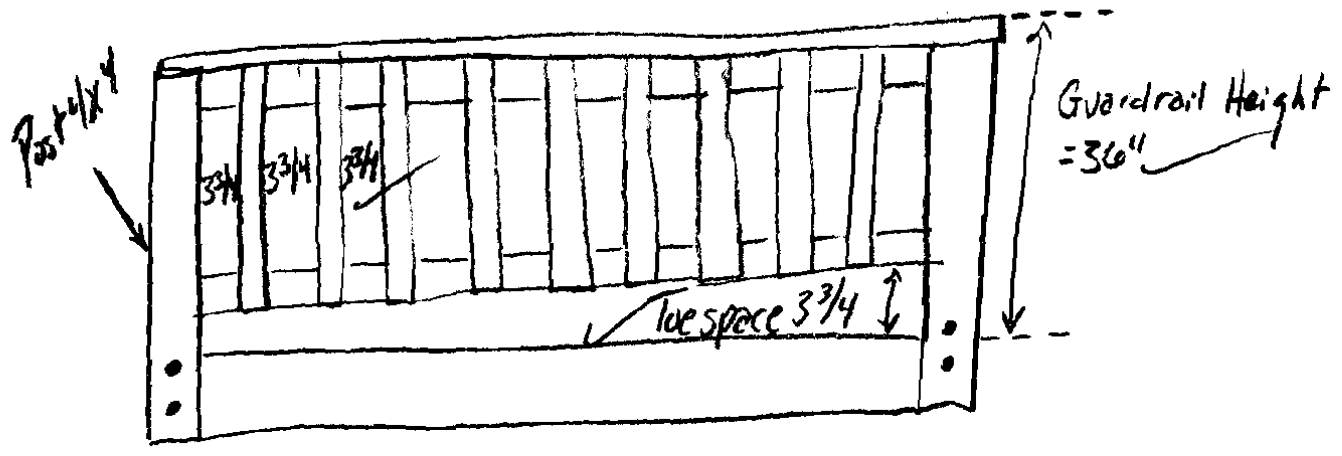
BEAM to side of post (Beam Bolt 4x4, carriage bolt GALV 1/2 x 8)

2/3.



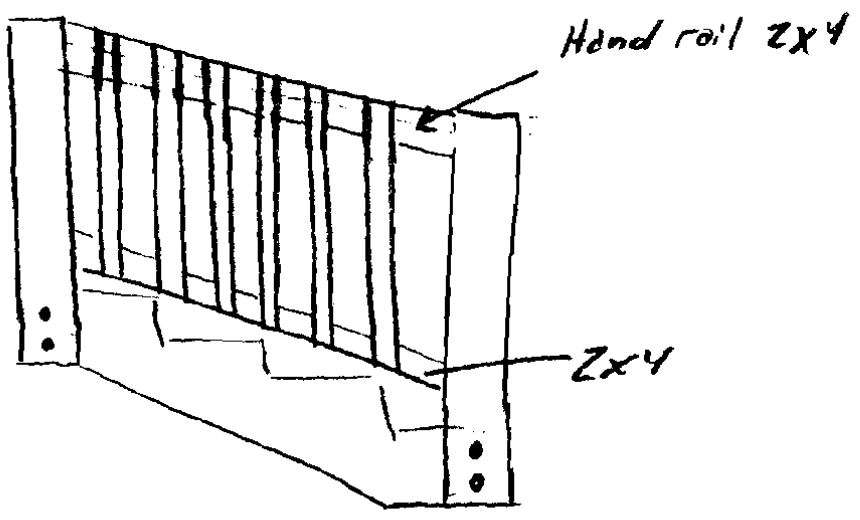
5.

Railing



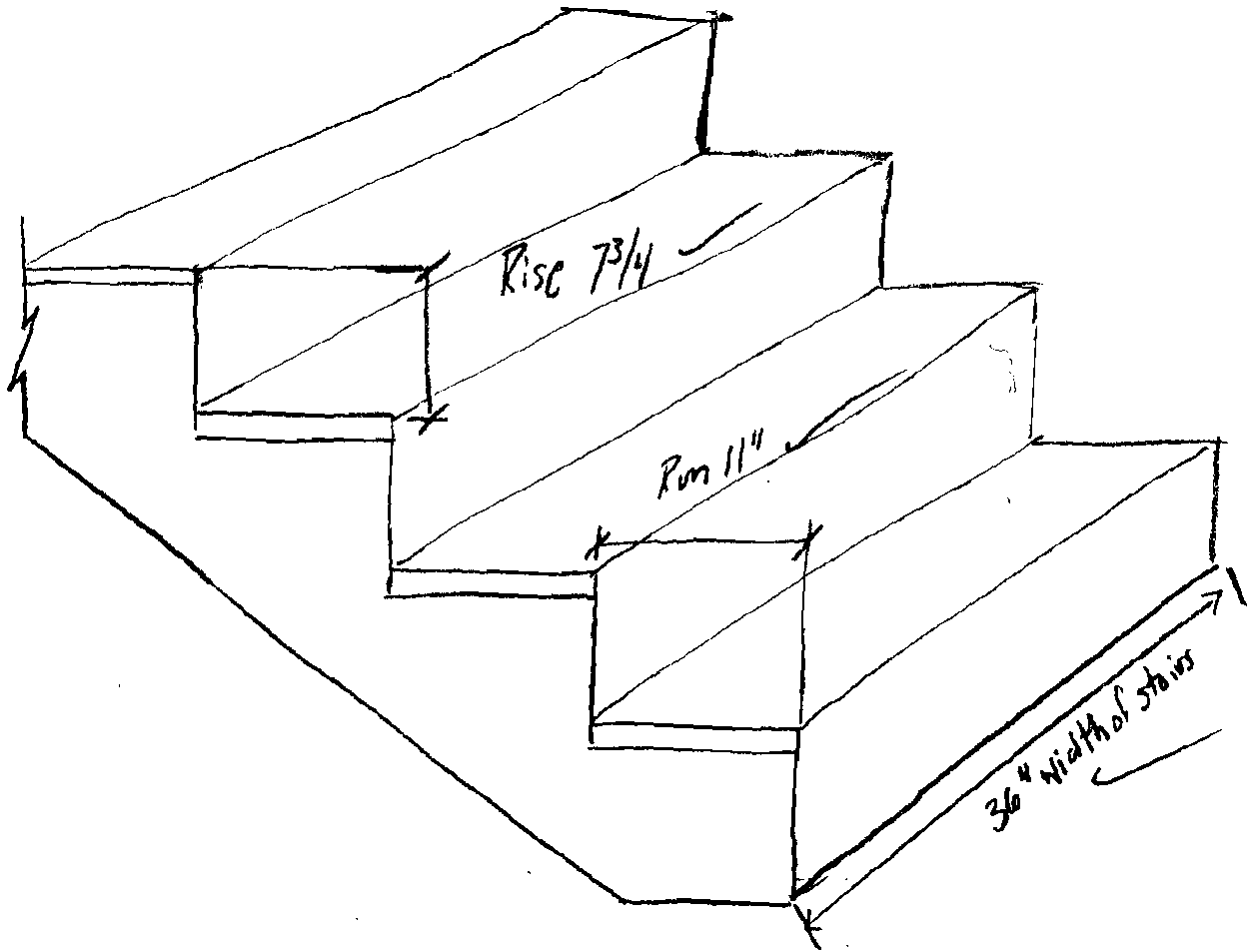
Baluster spacing = $3\frac{3}{4}$

Stair Rail



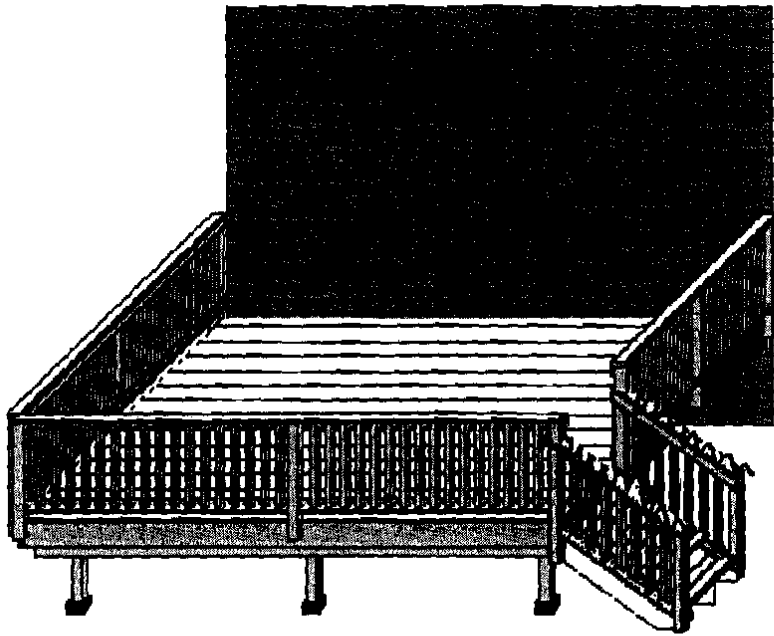
6.

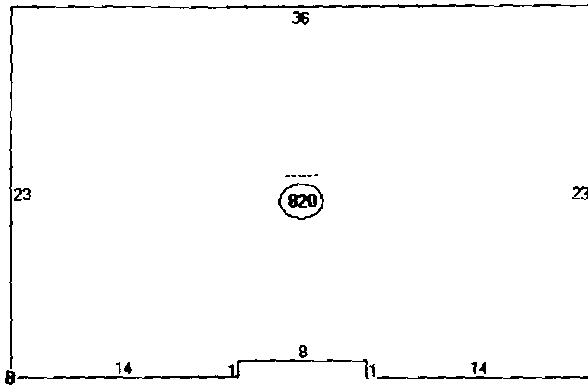
stairs



The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Mon Apr 26 16:45:33 2010
The materials for this project will cost \$~~1200.00~~

PETER SYMANSKI
DECK
182381
3D View





Descriptor/Area

A: ---
820 sqft
B: RS1
64 sqft

820
64

884 count
192 12 x 16

1076 #

$$8105 \# \times 35\% = 2836.75 \# \text{ max lot cov.}$$