

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 557 Riverside St		Owner: Riverside Welders, LLC		Phone: 797-5832		Permit No: 981009	
Owner Address: SAA 04103		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Phoenix Welding		Address: 557 Riverside St Pctd, ME 04103		Phone: 797-5832		Permit Issued: SEP - 9 1998	
Past Use: Commercial		Proposed Use: Same w/ fabrication shop		COST OF WORK: \$ 27,028.00		PERMIT FEE: \$ 155.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
Proposed Project Description: Construct Fabrication Shop (60 x 120)				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
Permit Taken By: UB		Date Applied For: 31 August 1998		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
				Signature: _____ Date: _____		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

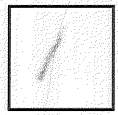
SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: 02 September 1998 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED WITH REQUIREMENTS

CEO DISTRICT



COMMENTS

9/9/98 - Talked w/ Johnson in pro/Con - They will review cost figures & re-submit #. footing forms and Re-Rod being done today - will be ready for footing pour on 9/11/AM - Bldg has been moved approx 6' in N/E direction, but remains in footprint - Change to be noted on "As built" (R)

9/11/98 - Checked footing & slab for pour OK (R)

11/18/98 Foundation walls ok OK 12/4/98 Front Foundation OK (R)

9/14/99 Nearly finished. Electric, doors, site work still to be done. (R)

4/9/01 work completed to plans OK for CO CO (R)

4/10/01 - DID final walk thru for CO - no issues - called Condi Talbot and she says DeLuca Hoffman ok'd the cite work - Mike Collins OK - LT Mc Dougal - OK - OK to issue Permanent CO

Close out

permit # 981009
CBL # 306-B-007

Inspection Record

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 557 Riverside Street CBL: 306-B-007

Issued to Riverside Welders, LLC

Date of Issue April 12, 2001

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 981009, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Premises

APPROVED OCCUPANCY

Use Group F2
Type 2C
Commercial Fabrication
Boca 1996

Limiting Conditions:

None

This certificate supersedes
certificate issued

Approved:

4/12/01
(Date)

Thomas M. ...
Inspector

J. Samuel ...
Inspector of Buildings

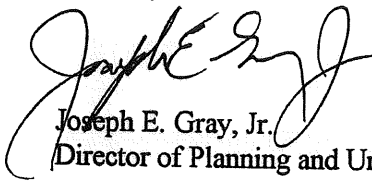
04/12/01
12000

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

- cc:
- Alexander Jaegerman, Chief Planner
 - Kandice Talbot, Planner
 - P. Samuel Hoffses, Building Inspector
 - Marge Schmuckal, Zoning Administrator
 - Tony Lombardo, Project Engineer
 - Development Review Coordinator
 - William Bray, Deputy Director/City Traffic Engineer
 - Jeff Tarling, City Arborist
 - Associate Corporation Counsel
 - Lt. Gaylen McDougall, Fire Prevention
 - Mary Gresik, Building Permit Secretary
 - Kathleen Brown, Director of Economic Development
 - Susan Doughty, Assessor's Office
 - Approval Letter File



CITY OF PORTLAND

June 17, 1998

306-B-007

Don Johnson
Phoenix Welding
557 Riverside Street
Portland, ME 04103

Re: 557 Riverside Street, Fabrication Building

Dear Mr. Johnson:

On June 12, 1998 the Portland Planning Authority granted minor site plan approval for a fabrication shop located at 557 Riverside Street.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.

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not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

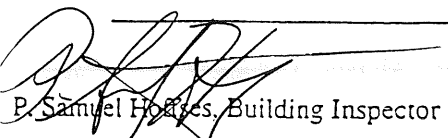
- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- X20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- X24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- X25. All requirements must be met before a final Certificate of Occupancy is issued.
- 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 28. Please read and implement the attached Land Use-Zoning report requirements.

X29. Your building application shows The cost of work To be \$27,028.00 -
Please, review These figures and adjust The cost of construction,
accordingly -

X30. AN electrical plan must be submitted For review before
work begins.


P. Samuel Hoffes, Building Inspector

cc: Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator

BUILDING PERMIT REPORT

CBL

8 Sept. 98

ADDRESS: 557 Riverside St. 306-B-007

WORK FOR PERMIT: To Construct 60'x120' Fabrication Shop -

BUILDING OWNER: Riverside Welders LLC

CONTRACTOR: Phoenix Welding

PERMIT APPLICANT: 1

USE GROUP F-2 BOCA 1996 CONSTRUCTION TYPE 2C

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *3, *4, *5, *6, *7, *8, *9, *10, *11, *12, *13, *14, *15, *16, *17, *18, *19, *20, *21, *22, *23, *24, *25, *26, *27, *28, *29, *30

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6'o.c. between bolts. (Section 2305.17)
- 3. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- 8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0)
- 9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4
- 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height



SUNWARD CORPORATION

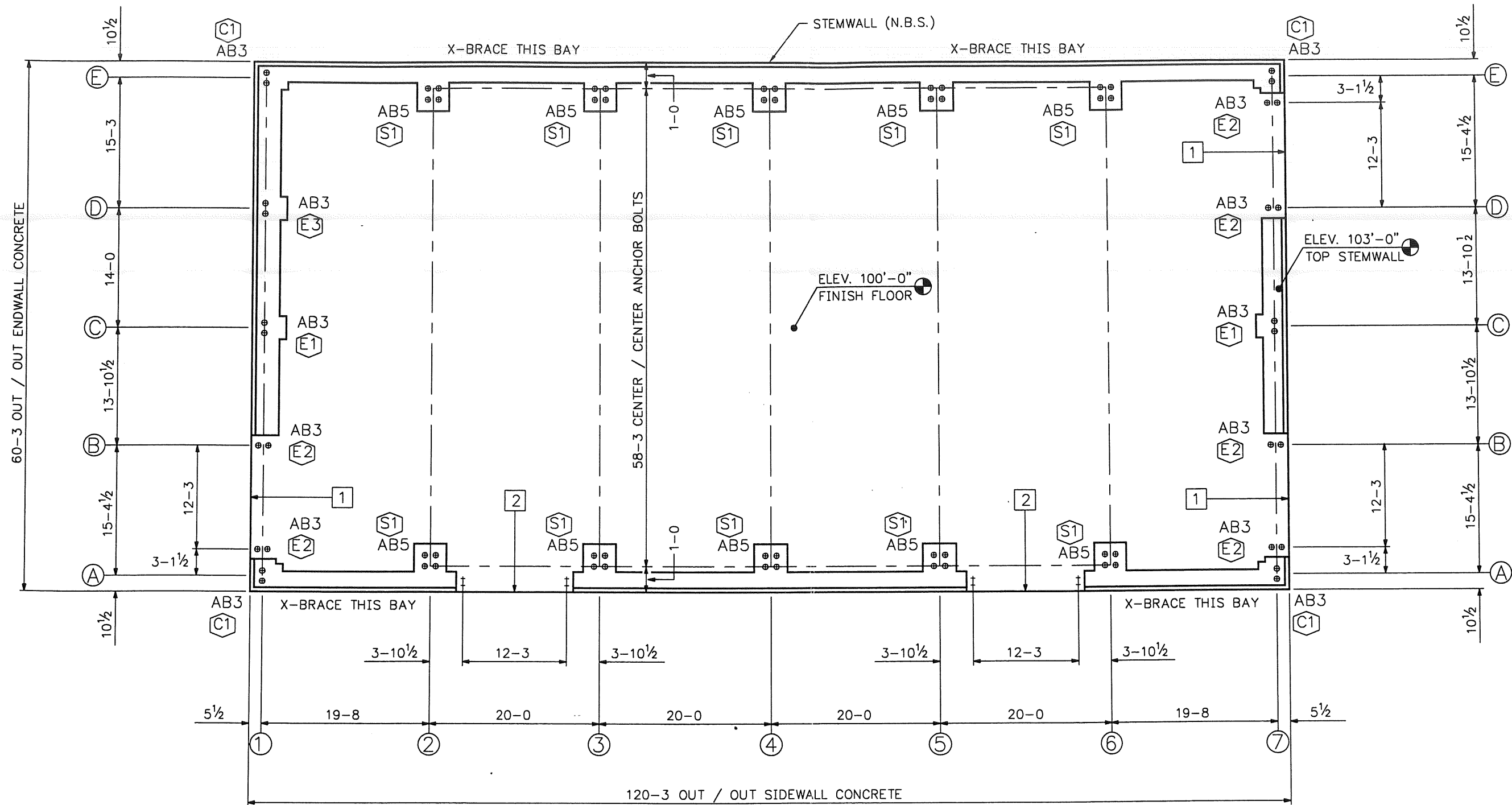
700 13th Avenue, S.E. • Jamestown, ND 58401
(701) 252-7390

PERMIT DRAWINGS

NOTE: THESE PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF THIS BUILDING ARE NOT TO BE USED FOR ERECTION PURPOSES. THESE PLANS ARE FOR BUILDING DEPARTMENT PERMIT PURPOSES ONLY. THE ANCHOR BOLT PLAN PORTION IS FOR CONSTRUCTION.

NOTICE TO BUYER

SUNWARD CORPORATION ONLY SUPPLIES BUILDING MATERIALS MANUFACTURED BY SUNWARD CORPORATION. YOUR DEALER IS INDEPENDENT AND NOT A CONTRACTOR OR AGENT OF SUNWARD CORPORATION. INSULATION, ERECTION, OVERHEAD DOORS, ETC., ARE NOT THE RESPONSIBILITY OF SUNWARD CORPORATION.



ANCHOR BOLT SETTING PLAN

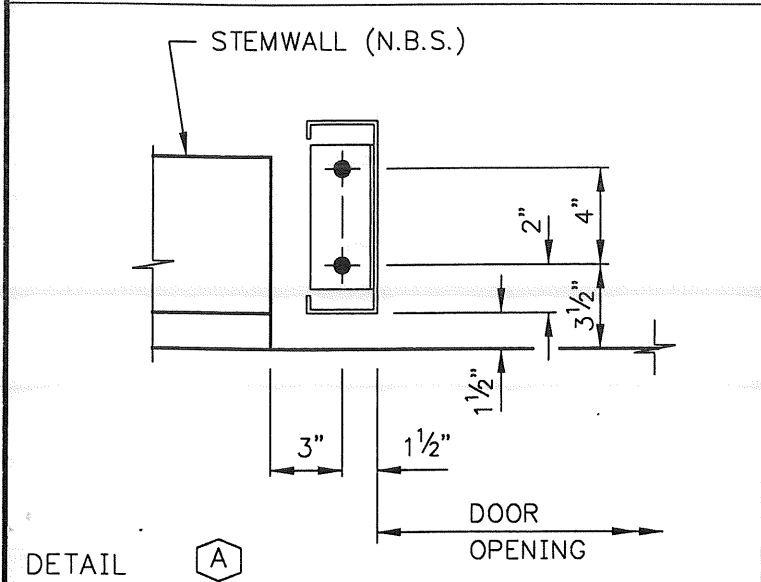
(FOR REACTIONS AND DETAILS SEE A2 AND A3 OF 3)

AB_ DENOTES ANCHOR BOLT SIZE, DENOTES ANCHOR BOLT DETAIL

SUNWARD CORPORATION	
Buyer : WRIGHT-RYAN CONST.	Drawn By: <u>JW</u>
Cust. : PHOENIX WELDING	<u>6-25-98</u>
Descr. : 60X120X16 1.00 :12	Check By: <u>PS</u>
Site : PORTLAND, ME	<u>6-26-98</u>
Scale : NONE	
P.O. : G20167	SHEET NO. A1 OF 3

FRAMED OPENING ANCHOR BOLT DETAIL

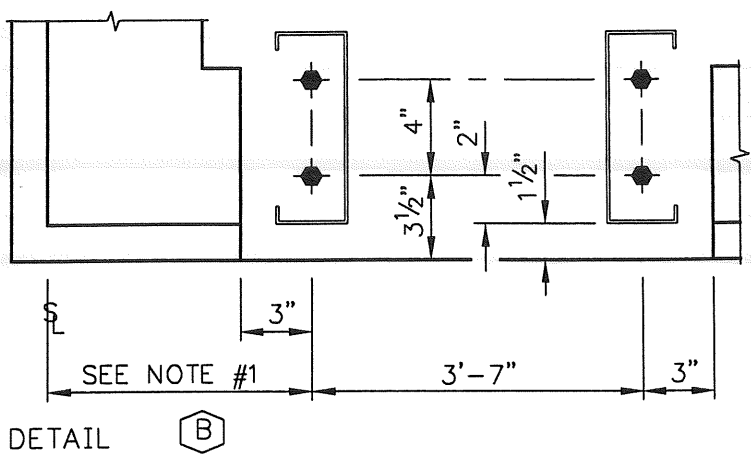
- 1) SEE ANCHOR BOLT SETTING PLAN FOR LOCATION.
- 2) USE 1/2" ϕ ANCHOR BOLTS.



DETAIL **A**

WALKDOOR ANCHOR BOLT DETAIL

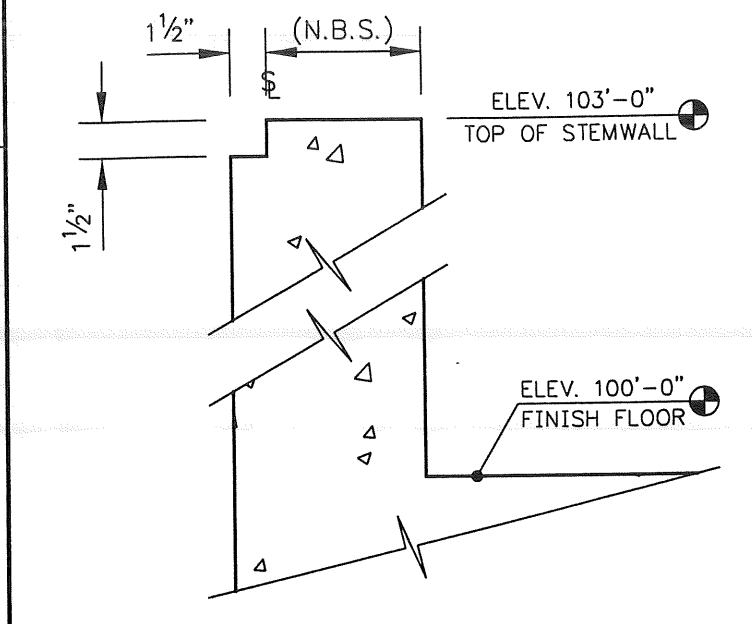
- 1) WHEN FIELD LOCATING WALKDOOR DO SO IN ONE FOOT INCREMENTS STARTING AT STEEL LINE. EXAMPLE: 1'-8 1/2", 2'-8 1/2", 3'-8 1/2", ETC.
- 2) USE 1/2" ϕ x 3-3/4" EXPANDED ANCHORS OR EQUAL, MINIMUM EMBEDMENT 2-1/4".



DETAIL **B**

STEMWALL SECTION

OMIT AT DOOR OPENING AND AS SHOWN ON ANCHOR BOLT SETTING PLAN.



DETAIL **C**

ACCESSORY SCHEDULE

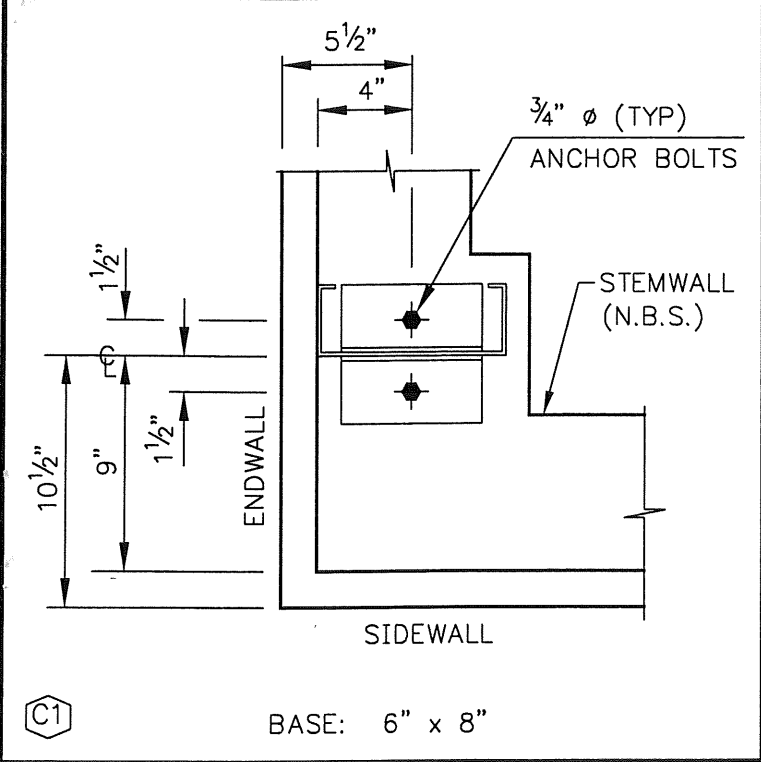
MARK	DESCRIPTION	DETAIL	QTY.
	3070 WALKDOOR F/O	B	3
1	12-0 X 11-0 FRAMED OPENING	A	3
2	12-0 X 11-0 FRAMED OPENING	A	2

GENERAL NOTES

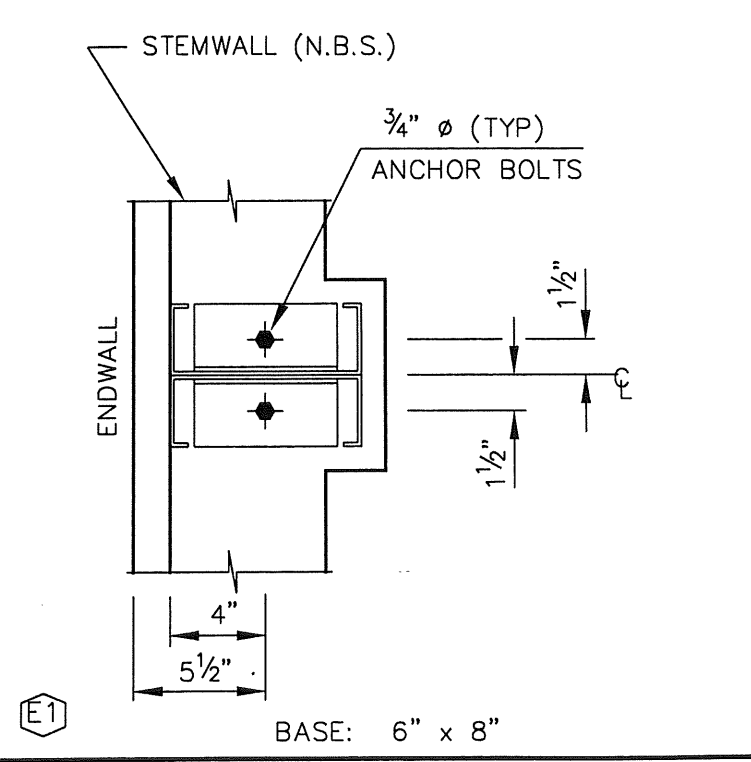
- THIS BUILDING IS DESIGNED FOR THE FOLLOWING LOADS IN ACCORDANCE WITH THE BOCA BUILDING CODE.
 ROOF LL = 60.00 psf
 WIND LOAD = 85.00 mph or psf EXPOSURE B
 COLLATERAL LOAD = 0.00 psf
 SEISMIC ZONE = 3
 CRANE = N/A TYPE N/A
 MEZZANINE LOAD:
 LL = N/A psf
 DL = N/A psf
- ANCHOR BOLTS AND ANY OTHER ITEMS EMBEDDED IN CONCRETE, INCLUDING ALL MASONRY FASTENERS AND ANCHORS, ARE NOT BY SUNWARD.
- FOUNDATION DESIGN OR ANY OTHER CONCRETE DESIGN WORK IS NOT BY SUNWARD (CONSULT A LOCAL ENGINEER FOR THE DESIGN OF FOUNDATION AND CONCRETE WORK).
- BASE PLATES ARE DESIGNED ASSUMING CONCRETE HAS A MINIMUM STRENGTH OF 2500 psi AT 28 DAYS.
- BASE PLATES SIZES ARE 3" x 8" UNLESS NOTED.
- ALL REACTIONS ARE GIVEN IN KIPS (1000 LBS).

MATERIAL SPECIFICATIONS

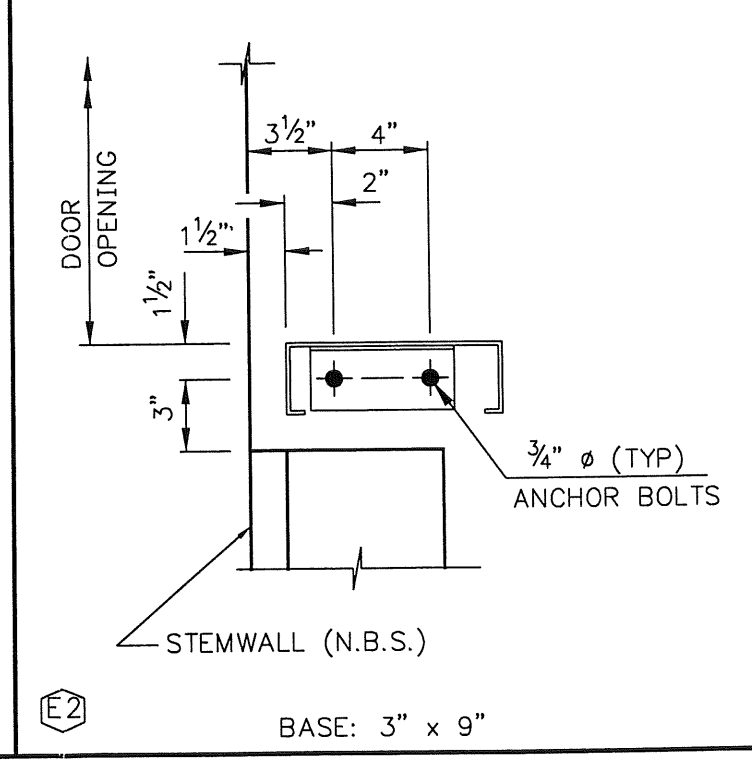
- GIRTS, PURLINS, AND EAVE STRUTS: ASTM A570, GRADE 55.
- 11 GA. AND 7 GA. WEB PLATE: ASTM A570, GRADE 50.
- 0.25 AND GREATER WEB PLATE: ASTM A572, GRADE 50.
- BAR STOCK: ASTM A529, GRADE 50.
- SHEETING: ASTM A446, GRADE "E" 80,000 psi.
- TRIM: ASTM A446, GRADE "D" 50,000 psi.
- BRACING: EHS ZINC COATED STEEL WIRE STRAND CONFORMING TO: ASTM A475-72a.
- ANCHOR BOLT: ASTM A307 OR A36 ROD MATERIAL.
- HIGH STRENGTH BOLTS: ASTM A325 (USED WHERE SPECIFIED ON DRAWINGS). ASTM A325-BOLTS ARE DESIGNED AS BEARING TYPE CONNECTIONS AND THREADS ARE INCLUDED IN THE SHEAR PLANE IN THE DESIGN OF THESE BOLTS.



DETAIL **D**



DETAIL **E1**



DETAIL **E2**

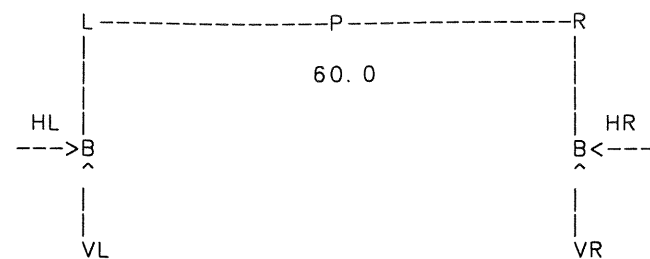
VERIFY LENGTH AND WIDTH DIMENSIONS
 CHECK YOUR ANCHOR BOLT SETTING PLANS TO MAKE CERTAIN THAT THE DIMENSIONS LISTED AGREE WITH THE DIMENSIONS ON YOUR CONTRACT

[Handwritten signature]

SUNWARD CORPORATION
 Buyer: WRIGHT-RYAN CONST. Drawn By: JW
 Cust.: PHOENIX WELDING 6-25-98
 Descr.: 60X120X16 1.00 :12 Check By: PS
 Site: PORTLAND, ME 6-26-98
 Scale: NONE
 P.O.: G20167 SHEET NO. A2 OF 3

FRAME REACTIONS

LEFT EH= 16.000 (FT) LEFT RS: 1.000 /12
 RIGHT EH= 16.000 (FT) RIGHT RS: 1.000 /12
 DISTANCE TO PEAK FROM LEFT SIDE: 30.000 (FT)



FRAME LINES (G20167 #1): 2 3 4 5 6

BUILDING LOADS	COLUMN REACTIONS (KIPS)			
	HL	VL	HR	VR
DL	1.43	2.73	1.43	2.73
SL	22.93	36.00	22.93	36.00
WLL	-7.14	-3.72	0.58	-4.04
WLR	0.58	-4.04	-7.14	-3.72
UBL	17.20	31.67	17.20	22.33
WLL1	-10.33	-11.78	-3.08	-9.22
WLR1	-3.08	-9.22	-10.33	-11.78
WLL2	-4.14	-9.96	-4.03	-9.93
WLR2	-4.03	-9.93	-4.14	-9.96
SEIL	-1.17	-0.61	1.17	0.61
SEIR	1.17	0.61	-1.17	-0.61
COMB # 1	24.36	38.73	24.36	38.73
COMB # 2	18.62	34.40	18.62	25.06
COMB # 3	-5.72	-0.98	2.00	-1.31
COMB # 6	-8.91	-9.04	-1.65	-6.49
COMB # 9	-2.71	-7.22	-2.60	-7.19
COMB #16	12.45	20.91	14.20	21.82
COMB #17	14.20	21.82	12.45	20.91
COMB #18	-0.02	1.58	2.31	2.79
COMB #19	2.31	2.79	-0.02	1.58
COMB #20	-0.72	0.82	2.43	2.46
COMB #21	2.43	2.46	-0.72	0.82

NOTE: LOAD COMBINATIONS LISTED ARE NOT COMPLETE FOR FOUNDATION DESIGN. IT MAY CONTROL BY DOING ADDITIONAL COMBINATIONS OTHER THAN LISTED.

LOAD COMBINATIONS:

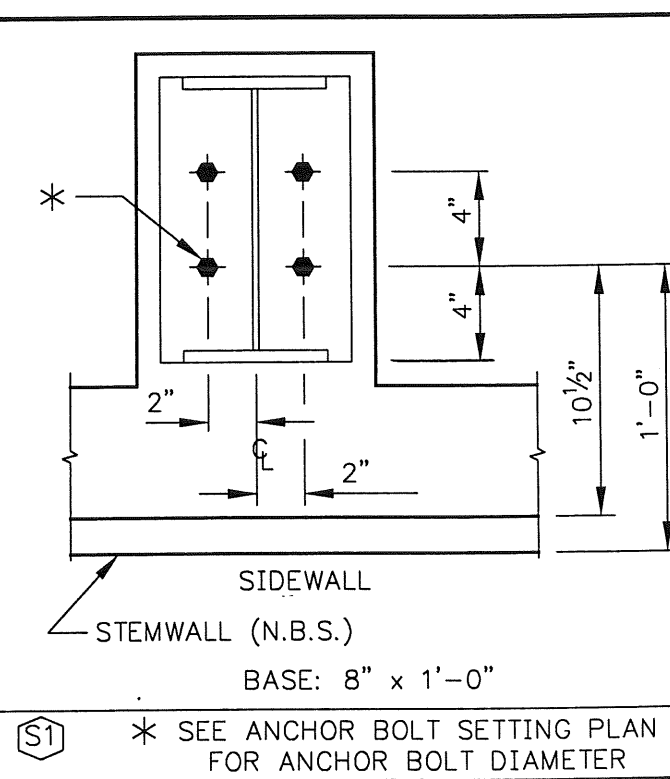
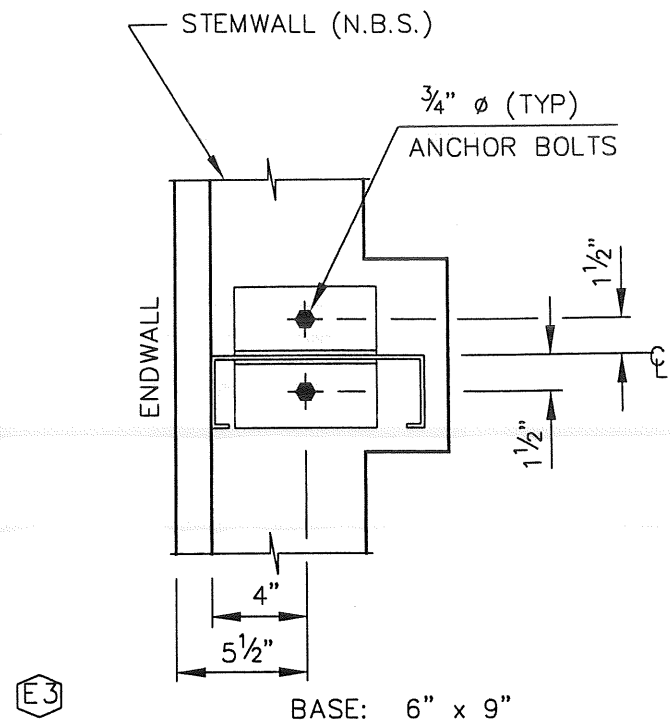
- COMB # 1--> 1.00 X(DL+ SL)
- COMB # 2--> 1.00 X(DL+ UBL)
- COMB # 3--> 1.00 X(DL+ WLL)
- COMB # 6--> 1.00 X(DL+ WLL1)
- COMB # 9--> 1.00 X(DL+ WLL2)
- COMB #16--> 0.75 X((1.1+0.5AV)X DL+ 0.7SL+ SEIL)
- COMB #17--> 0.75 X((1.1+0.5AV)X DL+ 0.7SL+ SEIR)
- COMB #18--> 1.00 X((0.9-0.5AV)X DL+ SEIL)
- COMB #19--> 1.00 X((0.9-0.5AV)X DL+ SEIR)
- COMB #20--> 0.75 X((0.9-0.5AV)X DL+ (2R/5)X SEIL)
- COMB #21--> 0.75 X((0.9-0.5AV)X DL+ (2R/5)X SEIR)
- UBL--> 1.00X SNOW LOAD ON LEFT SLOPE ROOF+
0.50X SNOW LOAD ON RIGHT SLOPE ROOF

BASE PLATE SUMMARY:

L. COL: 8.00 X 12.00 X 3/8" (4) 1" Ø A.B.'S
 R. COL: 8.00 X 12.00 X 3/8" (4) 1" Ø A.B.'S

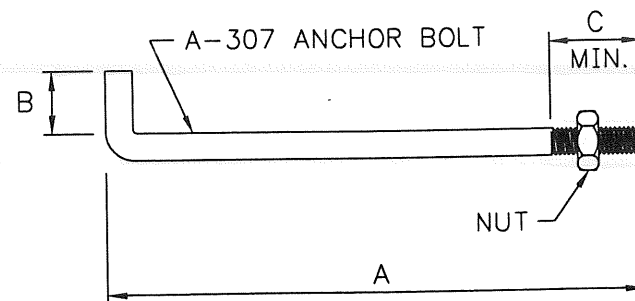
NOTES:

- THE POSITIVE DIRECTIONS FOR THE FRAME COLUMN REACTIONS ARE :
 HORIZONTAL - INWARD DIRECTION TO THE BUILDING.
 VERTICAL - UPWARD DIRECTION.
- FORCES ON FOUNDATION WILL ACT IN THE OPPOSITE DIRECTION TO THE DIRECTION OF THE COLUMN REACTIONS.



ANCHOR BOLT SCHEDULE

MARK	QTY.	DIA.	LEN.	A	B	C	PROJ.
AB1	8	1/2"	11 1/2"	10"	1 1/2"	1 1/2"	1 1/2"
AB3	26	3/4"	1'-5 1/2"	1'-3"	2 1/2"	2 1/2"	2"
AB5	40	1"	2'-0"	1'-9"	3"	2 1/2"	2 1/4"
	12	1/2"	3 3/4"	EXPANDED ANCHOR OR EQUAL			



ENDWALL COLUMN REACTIONS

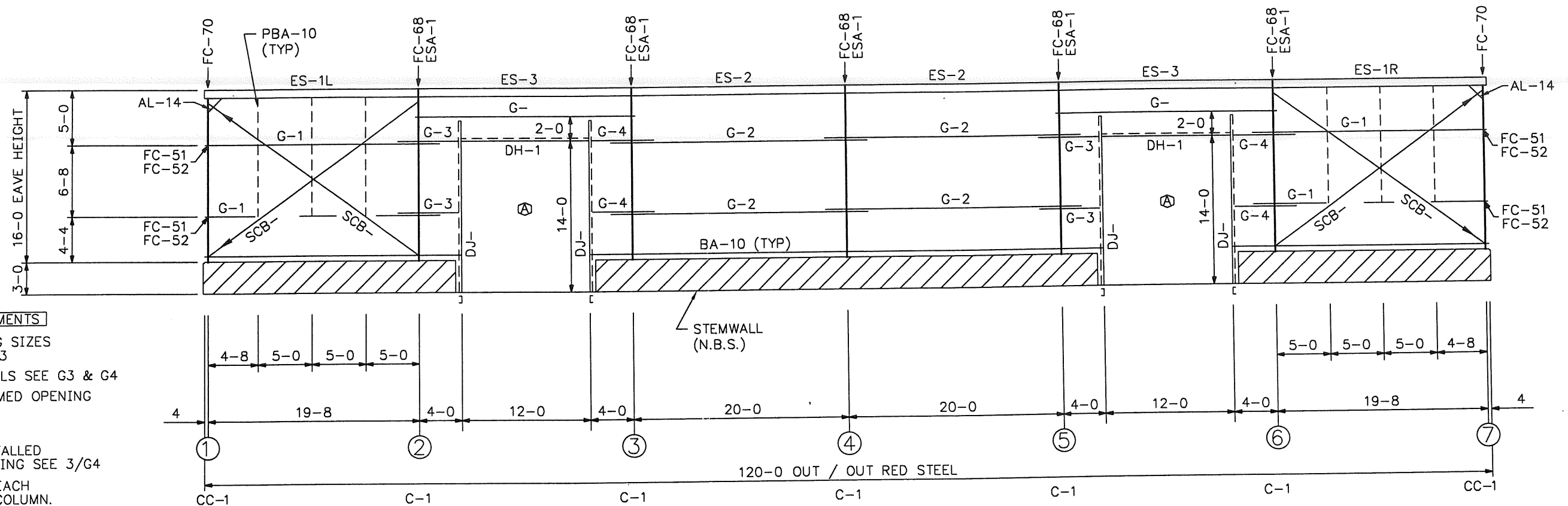
COL. LINE	FRAME LINE ① & ⑦		
	DL + LL	DL + WL	
	V	H	V
Ⓐ	4.04	0.64	-0.66
Ⓑ	11.14	1.30	-1.82
Ⓒ	7.57	1.30	-1.24
Ⓓ	11.14	1.30	-1.82
Ⓔ	4.04	0.64	-0.66

REACTIONS FOR WIND LOAD (DUE TO X-BRACING)

COL. LINE(S)	FRAME LINES	H (+-)	V (+-)
Ⓔ	② ③ ⑤ & ⑥	1.6	4.6
Ⓐ	② & ⑥	1.6	4.6
Ⓐ	① & ⑦	1.6	1.7

SUNWARD CORPORATION

Buyer : WRIGHT-RYAN CONST. Drawn By: JW
 Cust. : PHOENIX WELDING 6-25-98
 Descr.: 60X120X16 1.00 :12 Check By: PS
 Site : PORTLAND, ME 6-26-98
 Scale : NONE
 P.O. : G20167 SHEET NO. A3 OF 3



ELEVATION AT COL. LINE A

ERECTION REQUIREMENTS

FOR CABLE BRACING SIZES AND DETAILS SEE G3

FOR FRAMING DETAILS SEE G3 & G4

FOR OVERHEAD FRAMED OPENING DETAILS SEE G5

4-0 GIRT LAP.

PBA-10 TO BE INSTALLED BEFORE WALL SHEETING SEE 3/G4

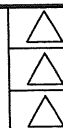
FC-94 AT END OF EACH CABLE TO CORNER COLUMN.

FC-167 AT TOP OF RIGHT DOOR JAMB TO GIRT.

FC-168 AT TOP OF LEFT DOOR JAMB TO GIRT.

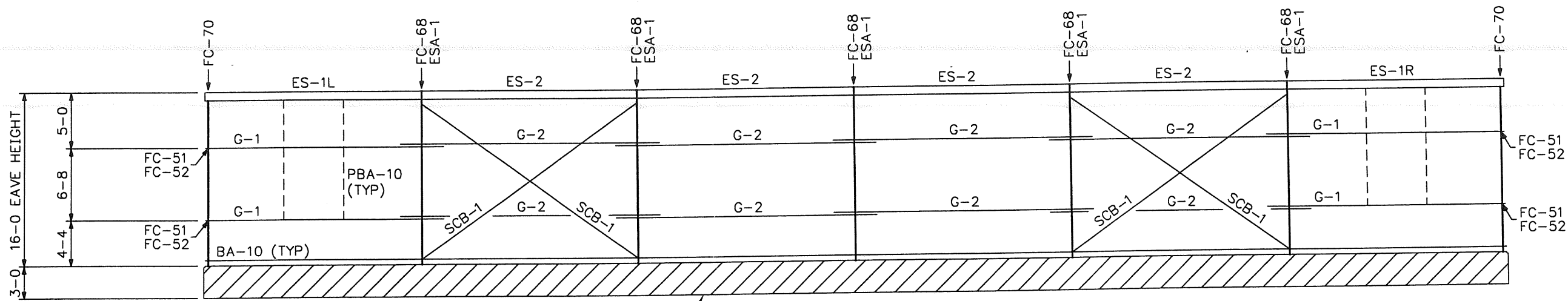
LEGEND

C-	MAIN FRAME COLUMN	CL-	SPECIAL CLIP	F.S.	FAR SIDE
RB-	MAIN FRAME RAFTER	RC-	RIDGE CAP	N.S.	NEAR SIDE
PFC-	PORTAL COLUMN	RS-	ROOF SHEET	N.B.S.	NOT BY SUNWARD
PFR-	PORTAL RAFTER	SW-	SIDEWALL SHEET	O.C.	ON CENTER
CC-	CORNER COLUMN	EW-	ENDWALL SHEET	SL	STEEL LINE
EC-	ENDWALL COLUMN	FTC-	FRAMING CLOSURE	A.S.	AS SHOWN
ER-	ENDWALL RAFTER	T-	TRIM	O.H.	OPPOSITE HAND
DJ-	DOOR JAMB	TR-	SPECIAL TRIM	TYP.	TYPICAL
DH-	DOOR HEADER	AL-	ANGLE	U.N.	UNLESS NOTED
G-	GIRT	A-	SPECIAL ANGLE	SCB-	SIDEWALL CABLE
P-	PURLIN	FB-	FLANGE BRACE	ECB-	ENDWALL CABLE
ES-	EAVE STRUT	CL	CENTER LINE	RCB-	ROOF CABLE
FC-	FRAMING CLIP	N.A.	NOT APPLICABLE		



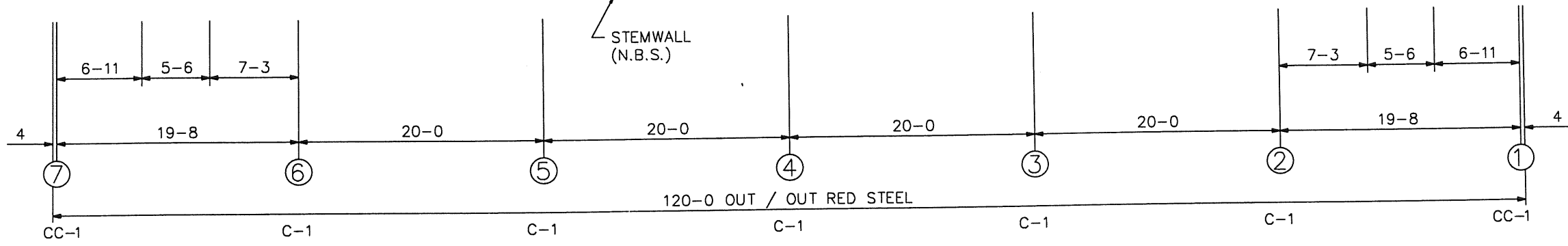
SUNWARD CORPORATION

Buyer : WRIGHT-RYAN CONST. Drawn By: RS
 Cust. : PHOENIX WELDING 7-1-98
 Descr. : 60X120X16 1.00 :12 Check By: _____
 Site : PORTLAND, ME
 Scale : NONE
 P.O. : G20167 SHEET NO. E1 OF 9




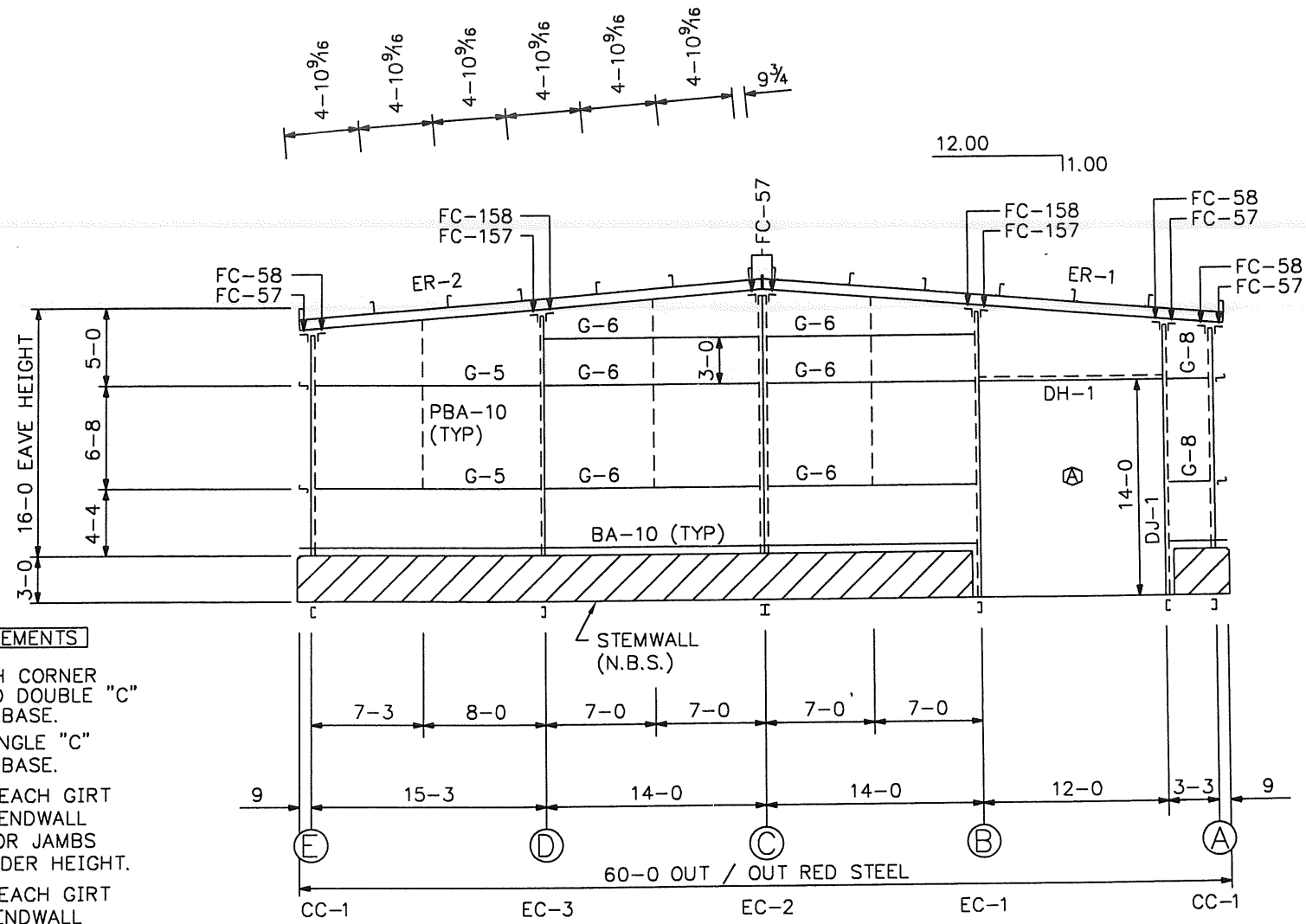
ERECTION REQUIREMENTS

FOR CABLE BRACING SIZES
AND DETAILS SEE G3
FOR FRAMING DETAILS SEE G4
4'-0" GIRT LAP.
PBA-10 TO BE INSTALLED
BEFORE WALL SHEETING SEE 3/G4



ELEVATION AT COL. LINE E

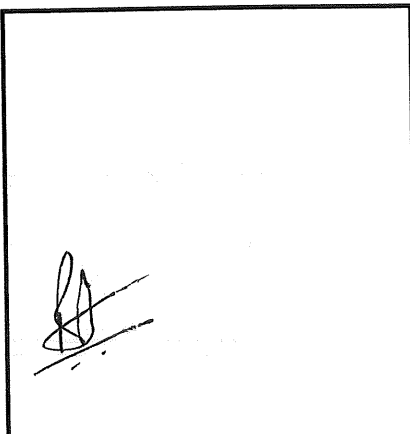
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	▲	
	▲	
<p>SUNWARD CORPORATION</p>		
Buyer :	WRIGHT-RYAN CONST.	Drawn By: <u>RS</u>
Cust. :	PHOENIX WELDING	<u>7-1-98</u>
Descr. :	60X120 X16 1.00 :12	Check By: _____
Site :	PORTLAND, ME	
Scale :	NONE	
P.O. :	G20167	SHEET NO. E2 OF 9



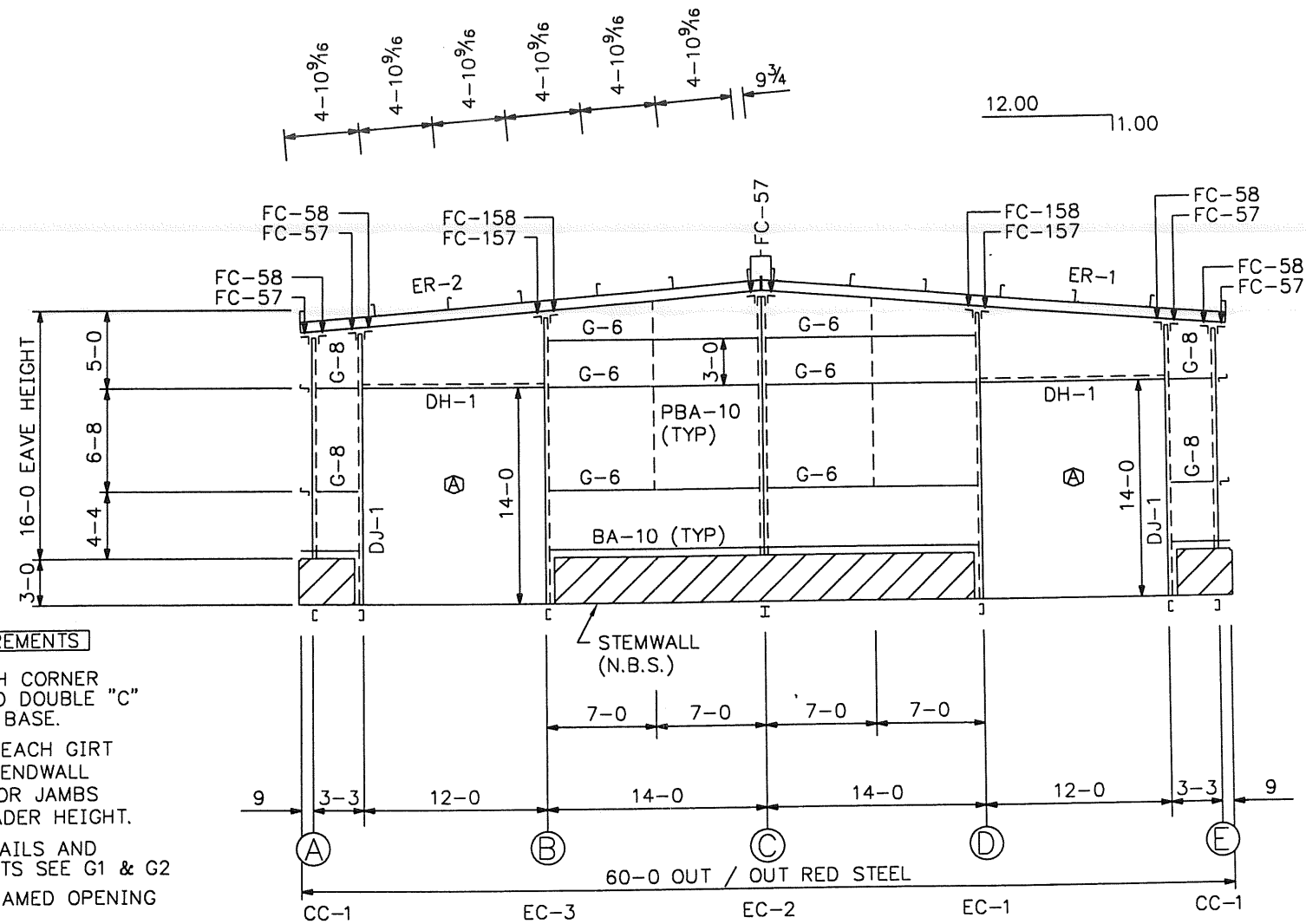
ERECTION REQUIREMENTS

- (2) FC-50 AT EACH CORNER COLUMN BASE AND DOUBLE "C" ENDWALL COLUMN BASE.
- (2) FC-159 AT SINGLE "C" ENDWALL COLUMN BASE.
- FC-4 AT END OF EACH GIRT TO OPEN END OF ENDWALL COLUMNS AND DOOR JAMBS AT OR ABOVE HEADER HEIGHT.
- FC-7 AT END OF EACH GIRT TO WEB SIDE OF ENDWALL COLUMN.
- FOR ENDWALL DETAILS AND BOLT REQUIREMENTS SEE G1 & G2
- FOR OVERHEAD FRAMED OPENING DETAILS SEE G5
- PBA-10 TO BE INSTALLED BEFORE WALL SHEETING SEE 6/G2

**ELEVATION AT
FRAME LINE 1**



△	
△	
△	
SUNWARD CORPORATION	
Buyer :	WRIGHT-RYAN CONST. Drawn By: <u>RS</u>
Cust. :	PHOENIX WELDING <u>7-1-98</u>
Descr. :	60X120X16 1.00 :12 Check By: _____
Site :	PORTLAND, ME
Scale :	NONE
P.O. :	G20167
SHEET NO. E3 OF 9	



ERECTION REQUIREMENTS

(2)FC-50 AT EACH CORNER COLUMN BASE AND DOUBLE "C" ENDWALL COLUMN BASE.

FC-4 AT END OF EACH GIRT TO OPEN END OF ENDWALL COLUMNS AND DOOR JAMBS AT OR ABOVE HEADER HEIGHT.

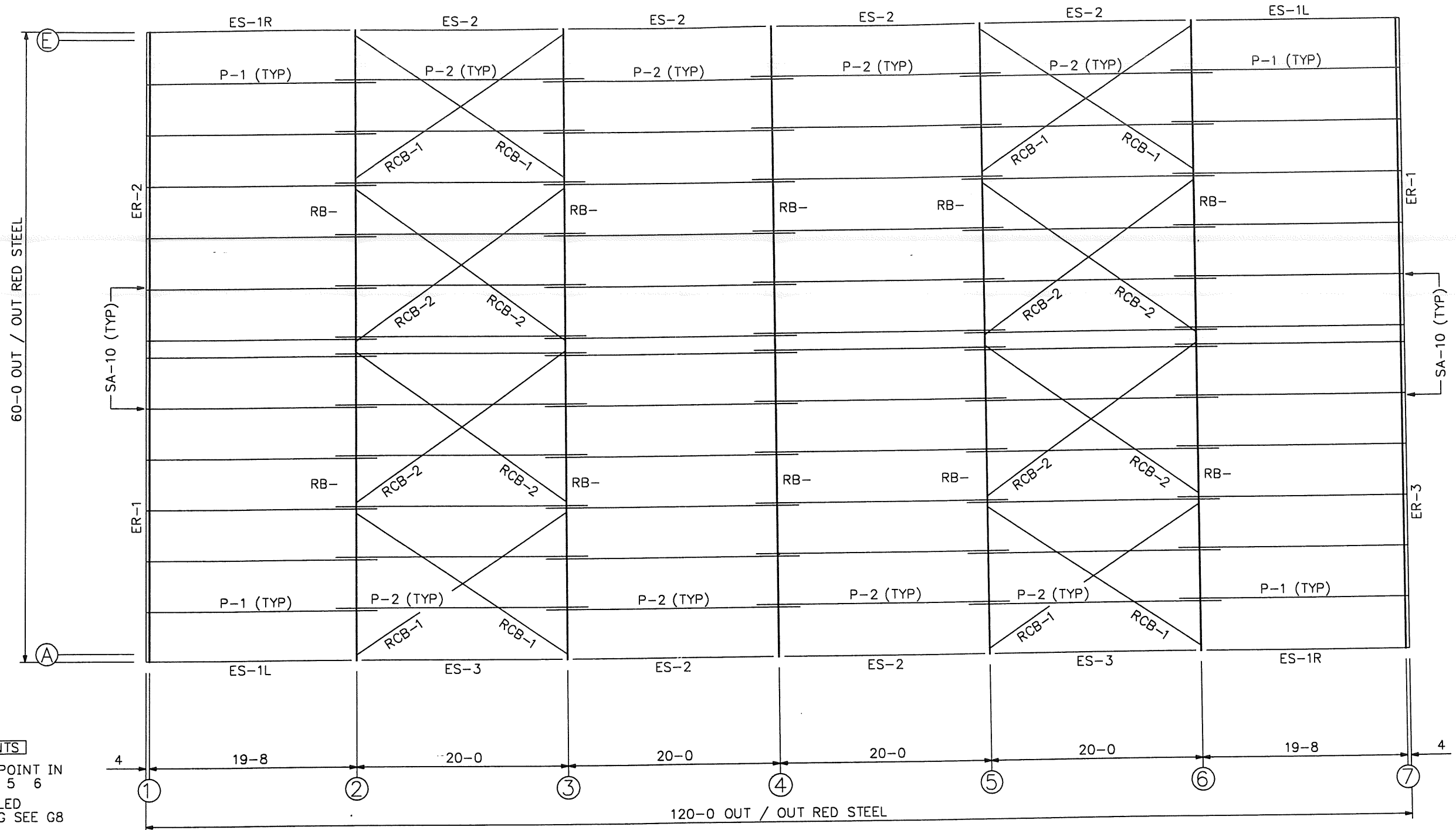
FOR ENDWALL DETAILS AND BOLT REQUIREMENTS SEE G1 & G2

FOR OVERHEAD FRAMED OPENING DETAILS SEE G5

PBA-10 TO BE INSTALLED BEFORE WALL SHEETING SEE 6/G2

**ELEVATION AT
FRAME LINE 7**

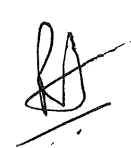
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SUNWARD CORPORATION Buyer : WRIGHT-RYAN CONST. Drawn By: <u>RS</u> Cust. : PHOENIX WELDING <u>7-1-98</u> Descr.: 60X120X16 1.00 :12 Check By: _____ Site : PORTLAND, ME _____ Scale : NONE P.O. : G20167 SHEET NO. E4 OF 9	



ERECTION REQUIREMENTS

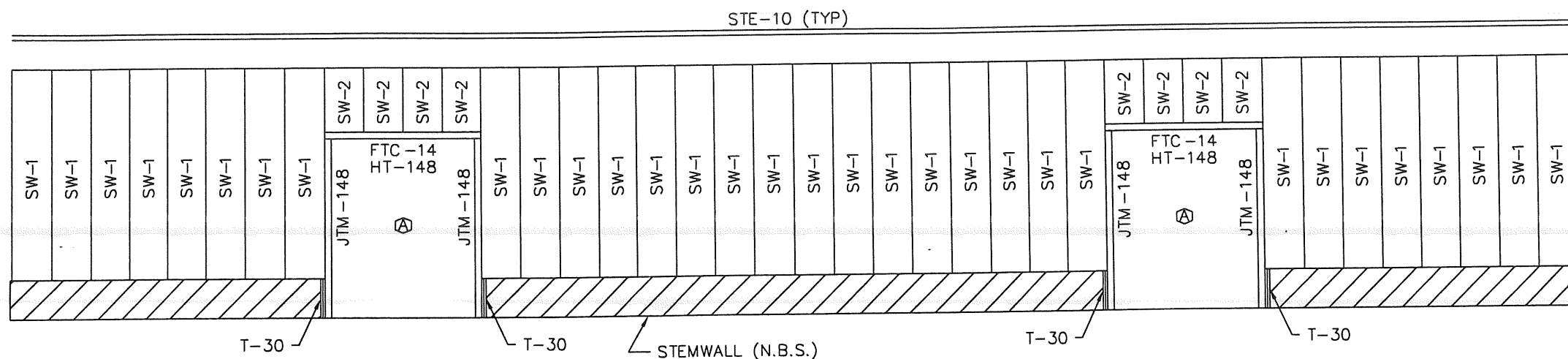
(1) ROW PBA-10 @ MIDPOINT IN BAYS 1 2 3 4 5 6
 PBA-10 TO BE INSTALLED BEFORE ROOF SHEETING SEE G8
 FC-28 UNDER EVERY PURLIN AT ENDWALLS.
 FOR CABLE BRACING SIZES AND DETAILS SEE G3
 FOR FRAMING DETAILS SEE G4
 4'-0" PURLIN LAP.

ROOF FRAMING PLAN

	△
	△
	△
	△
SUNWARD CORPORATION Buyer : WRIGHT-RYAN CONST. Drawn By: <u>RS</u> Cust. : PHOENIX WELDING <u>7-1-98</u> Descr.: 60X120 X16 1.00 :12 Check By: _____ Site : PORTLAND, ME _____ Scale : NONE P.O. : G20167 SHEET NO. E5 OF 9	

ERECTION REQUIREMENTS

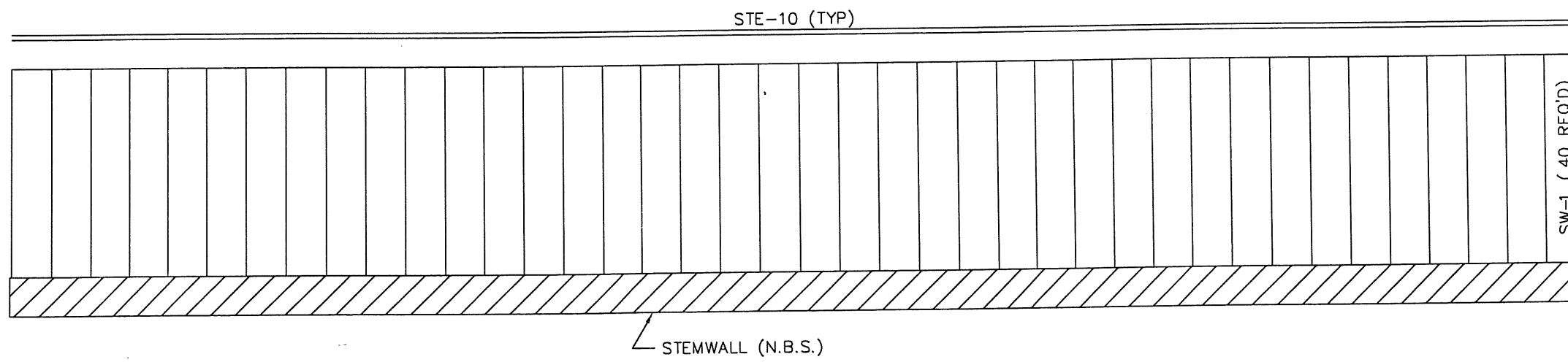
BEGIN SHEETING STARTING CENTERLINE OF HI-RIB AT STEEL LINE.
FOR TRIM DETAILS SEE G6
FOR SCREW PATTERNS SEE G8



ELEVATION AT COL. LINE A

ERECTION REQUIREMENTS

BEGIN SHEETING STARTING CENTERLINE OF HI-RIB AT STEEL LINE.
FOR TRIM DETAILS SEE G6
FOR SCREW PATTERNS SEE G8



ELEVATION AT COL. LINE E

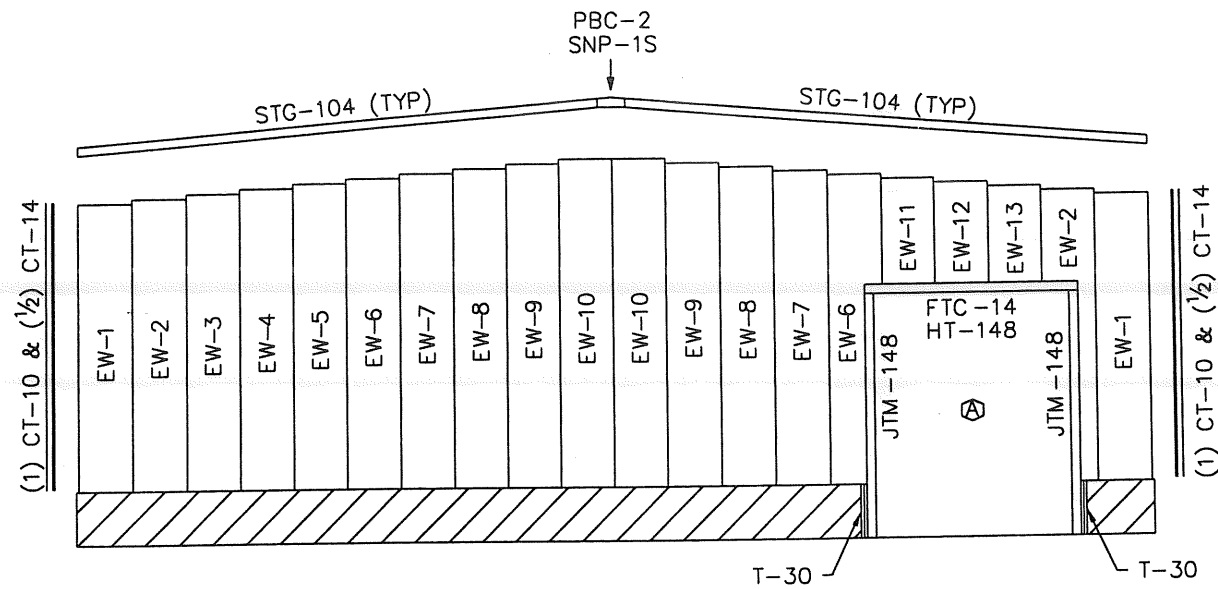
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	△
	△
SUNWARD CORPORATION	
Buyer : WRIGHT-RYAN CONST. Drawn By: <u>RS</u>	
Cust. : PHOENIX WELDING <u>7-1-98</u>	Check By: _____
Descr. : 60X120X16 1.00 :12	
Site : PORTLAND, ME	
Scale : NONE	
P.O. : G20167	SHEET NO. E6 OF 9

SCHEDULE OF ACCESSORIES

NO. REQD	DESCRIPTION	LOCATION
3	3- 4 X 7- 2 FRAMED OPENING FOR 3070 WALKDOOR	FIELD
5	12- 0 X 14- 0 FRAMED OPENING W/ FULL TRIM	Ⓐ

ERECTION REQUIREMENTS

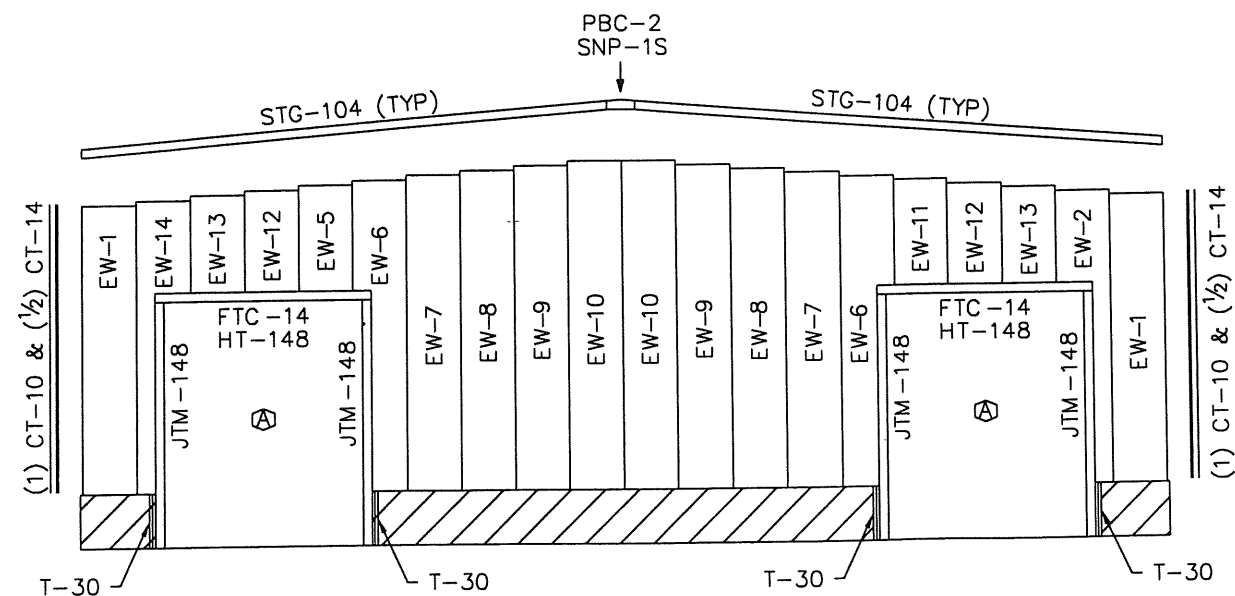
BEGIN SHEETING STARTING CENTERLINE OF HI-RIB AT STEEL LINE.
 FIELD CUT PANELS AS REQ'D AT FRAMED OPENING(S).
 FOR TRIM DETAILS SEE G6
 FOR SCREW PATTERNS SEE G8



ELEVATION AT
FRAME LINE 1

ERECTION REQUIREMENTS

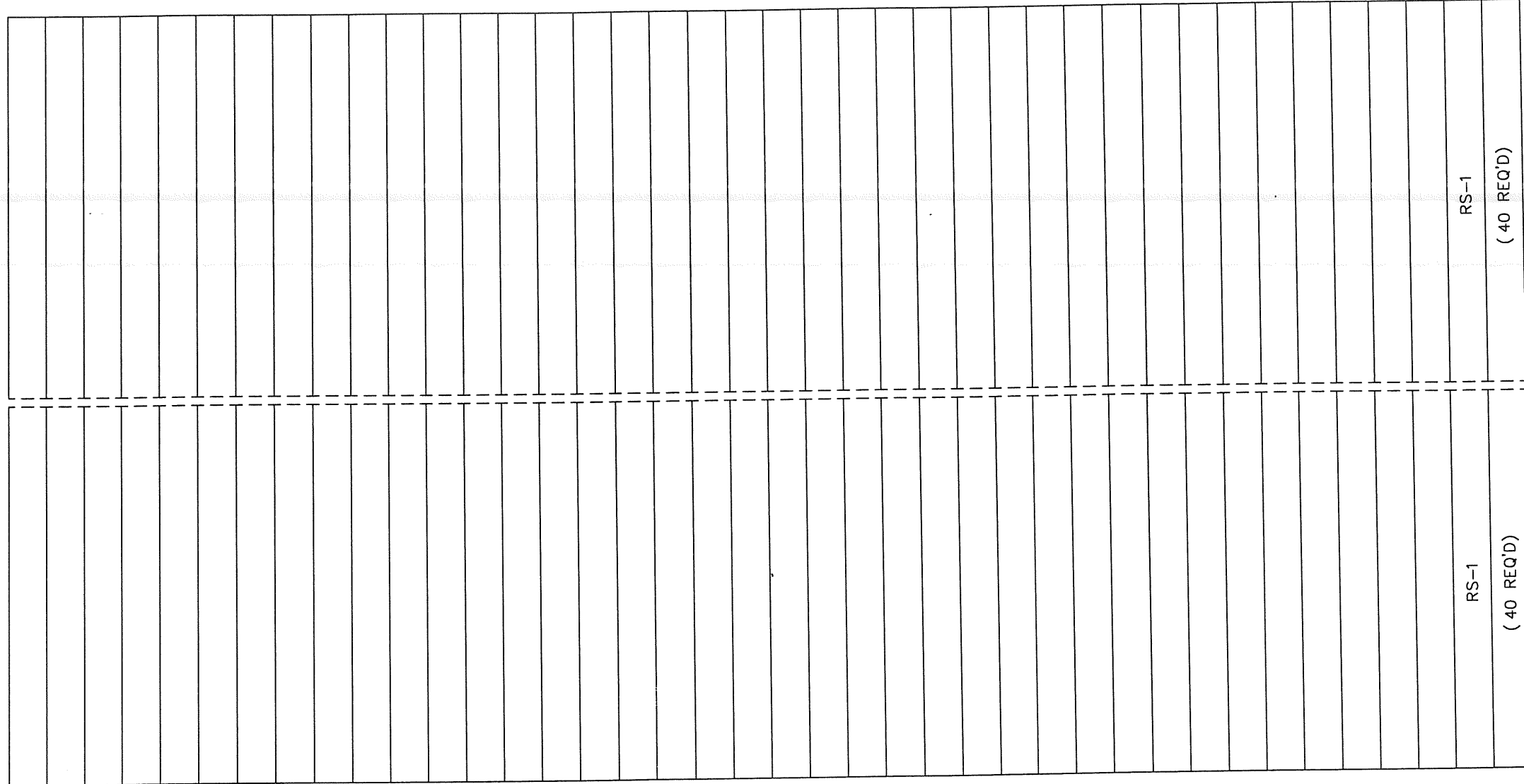
BEGIN SHEETING STARTING CENTERLINE OF HI-RIB AT STEEL LINE.
 FIELD CUT PANELS AS REQ'D AT FRAMED OPENING(S).
 FOR TRIM DETAILS SEE G6
 FOR SCREW PATTERNS SEE G8



ELEVATION AT
FRAME LINE 7

RS

SUNWARD CORPORATION	
Buyer : WRIGHT-RYAN CONST.	Drawn By: <u>RS</u>
Cust. : PHOENIX WELDING	<u>7-1-98</u>
Descr. : 60X120X16 1.00 :12	Check By: _____
Site : PORTLAND, ME	_____
Scale : NONE	_____
P.O. : G20167	SHEET NO. E7 OF 9

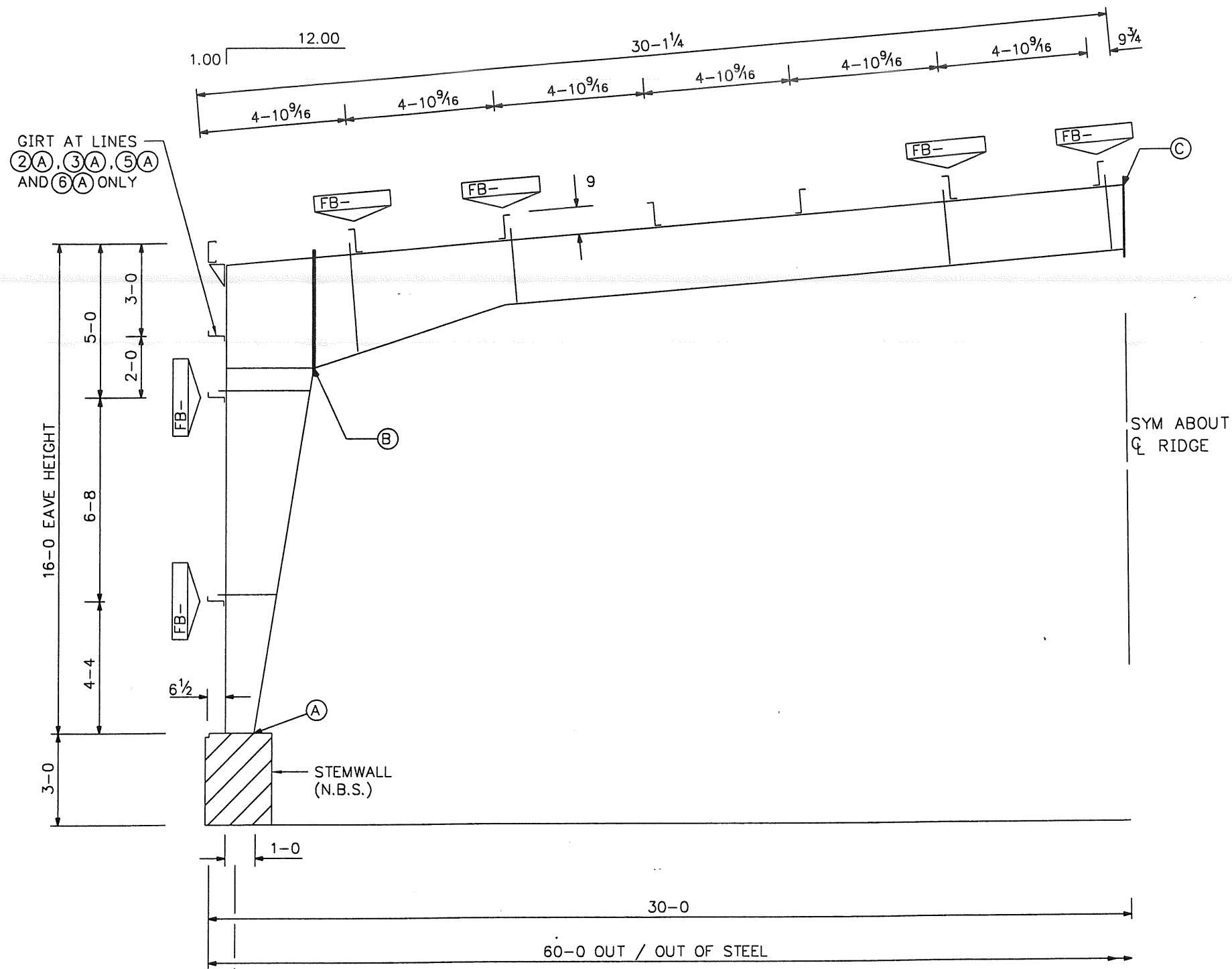


ERECTION REQUIREMENTS

BEGIN SHEETING STARTING
 CENTERLINE OF HI-RIB
 AT STEEL LINE.
 40 RIDGE CAPS (RC-1) AT PEAK.
 FOR SCREW PATTERNS SEE G8

ROOF SHEETING PLAN

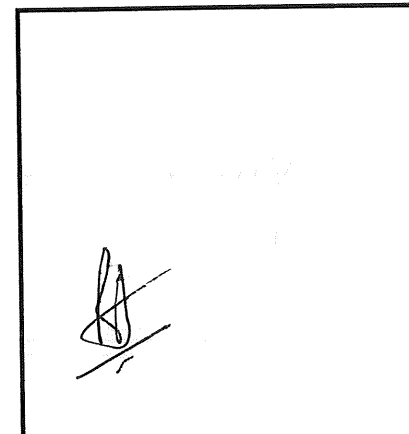
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	△
SUNWARD CORPORATION Buyer : WRIGHT-RYAN CONST. Drawn By: <u>RS</u> Cust. : PHOENIX WELDING <u>7-1-98</u> Descr.: 60X120 X16 1.00 :12 Check By: _____ Site : PORTLAND, ME _____ Scale : NONE P.O. : G20167 SHEET NO. E8 OF 9	



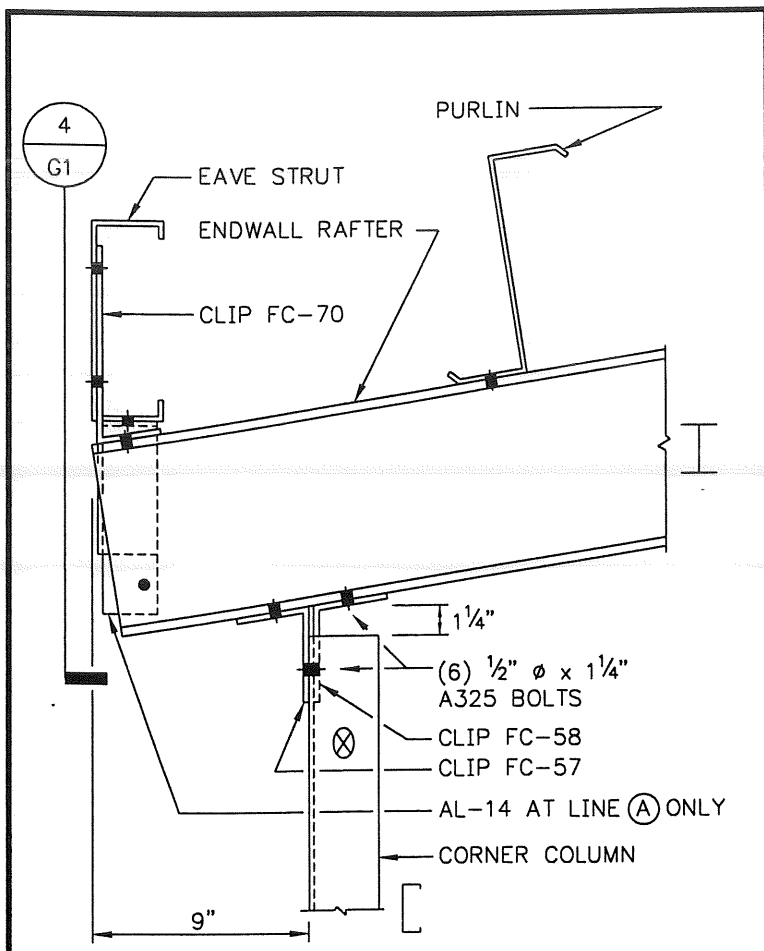
CROSS SECTION AT FRAME LINES 2, 3, 4, 5, & 6

PLATE SIZE TABLE			SPLICE BOLT TABLE			
CONN.	LEFT SIDE	RIGHT SIDE	SPLICE	QTY	SIZE	TYPE
A	8 X 3/8 X 1-0	N/A	A	4	1 X 2-0	A307 B&N
B	6 X 1/2 X 4-1 1/16	6 X 1/2 X 4-1 1/16	B	16	3/4 X 2	A325 B&N
C	6 X 1/2 X 2-3/8	N/A	C	10	3/4 X 2	A325 B&N

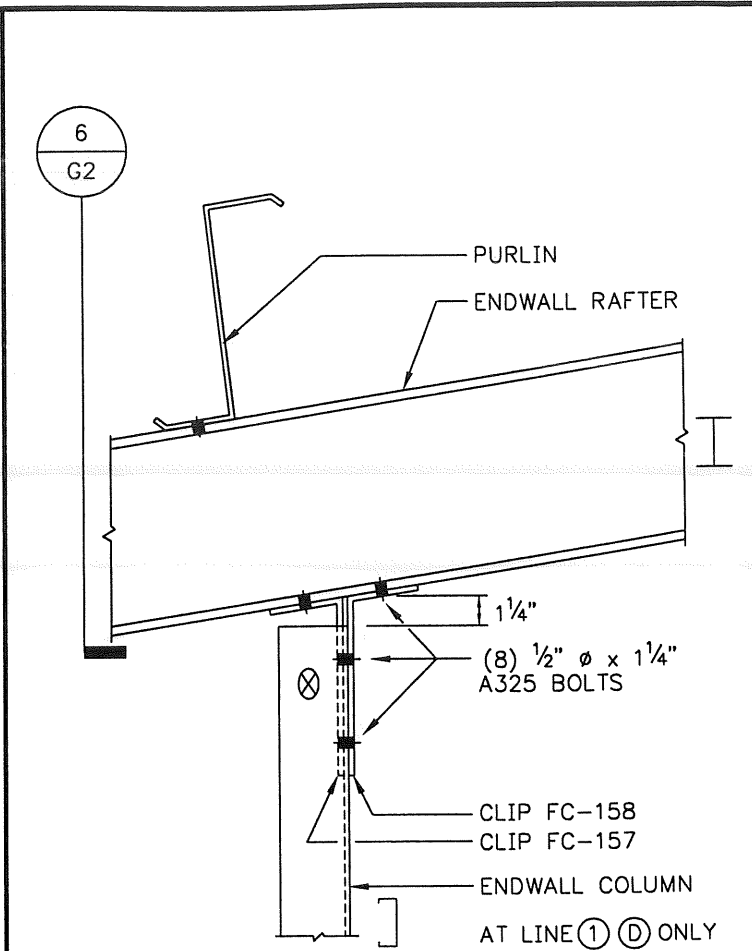
VERTICAL CLEARANCE AT LEFT HAUNCH TO FINISH FLOOR = 14-11 3/16
 VERTICAL CLEARANCE AT PEAK TO FINISH FLOOR = 18-4 3/8
 HORIZONTAL CLEARANCE HAUNCH TO PEAK = 26-5 1/4



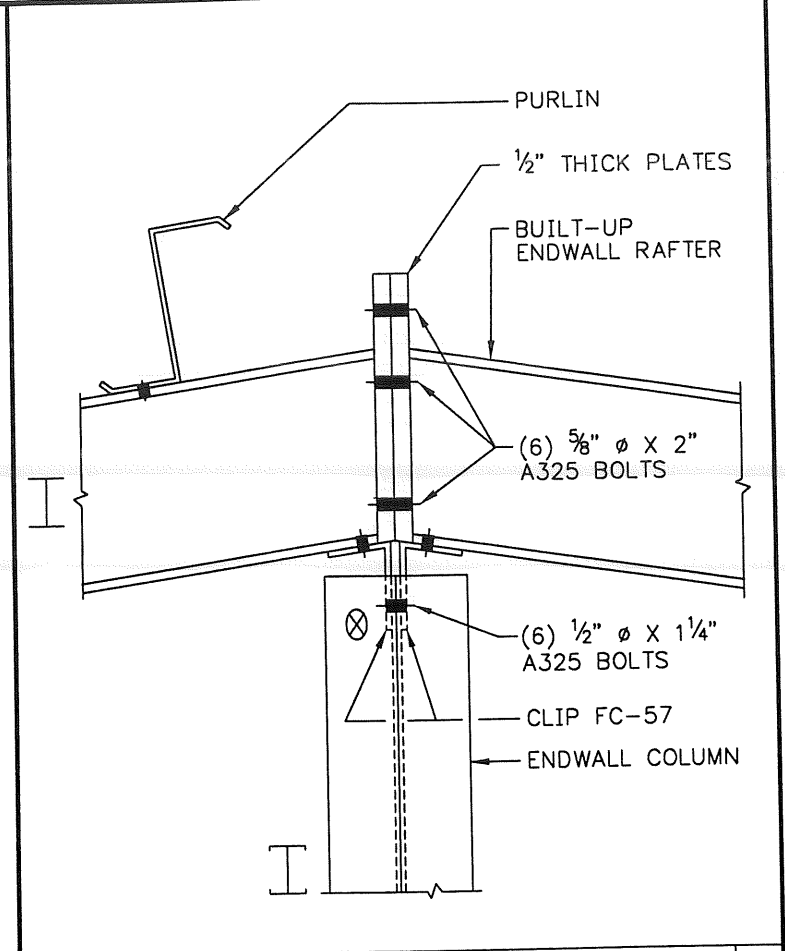
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SUNWARD CORPORATION	
Buyer :	WRIGHT-RYAN CONST. Drawn By: <u>RS</u>
Cust. :	PHOENIX WELDING <u>7-1-98</u>
Descr. :	60X120 X16 1.00 :12 Check By: _____
Site :	PORTLAND, ME
Scale :	NONE
P.O. :	G20167
SHEET NO. E9 OF 9	



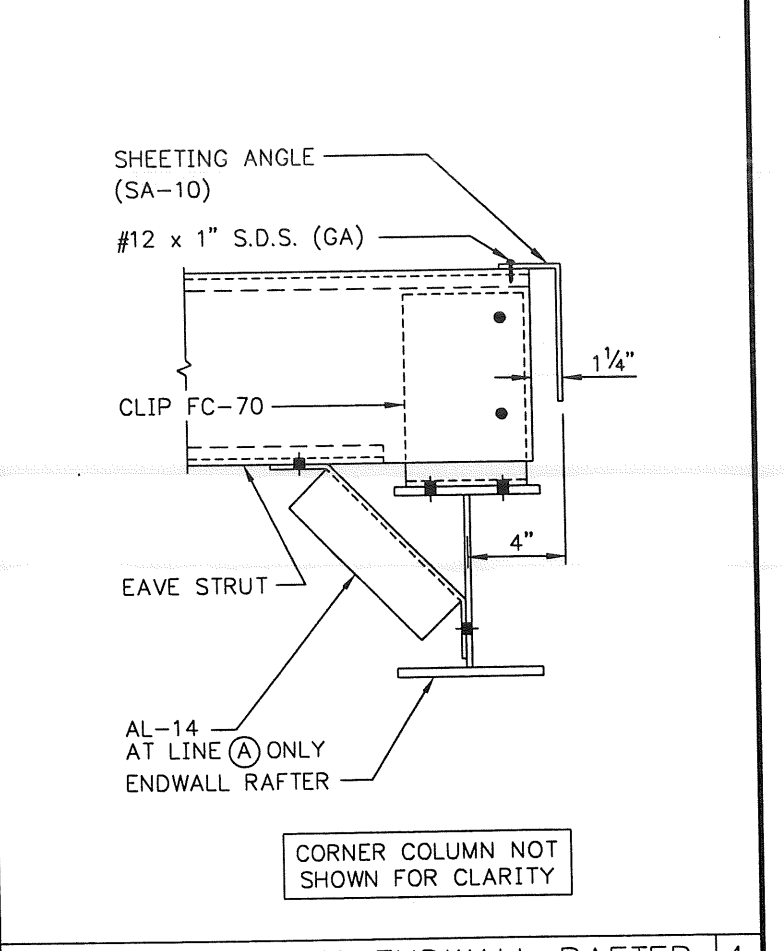
CORNER COL. TO ENDWALL RAFTER 1



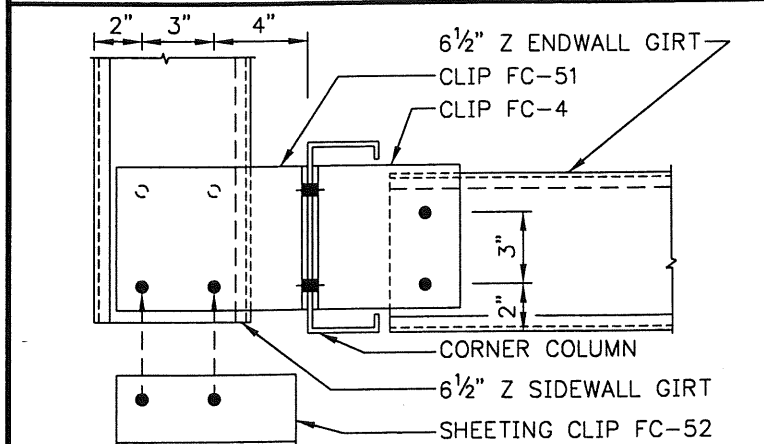
ENDWALL COL. TO ENDWALL RAFTER 2



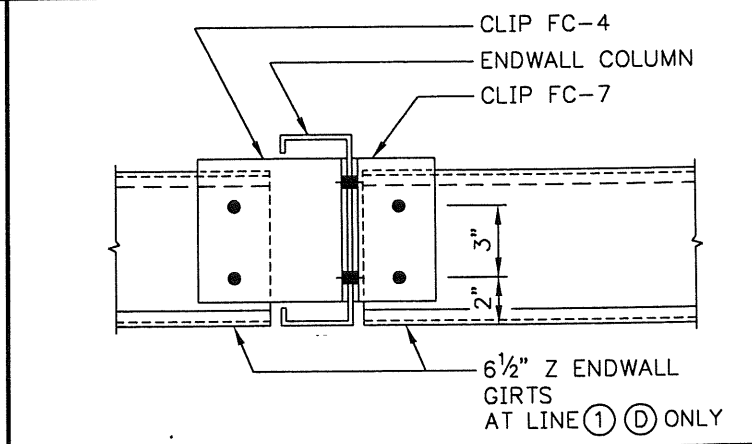
PEAK DETAIL W/ CENTER COLUMN 3



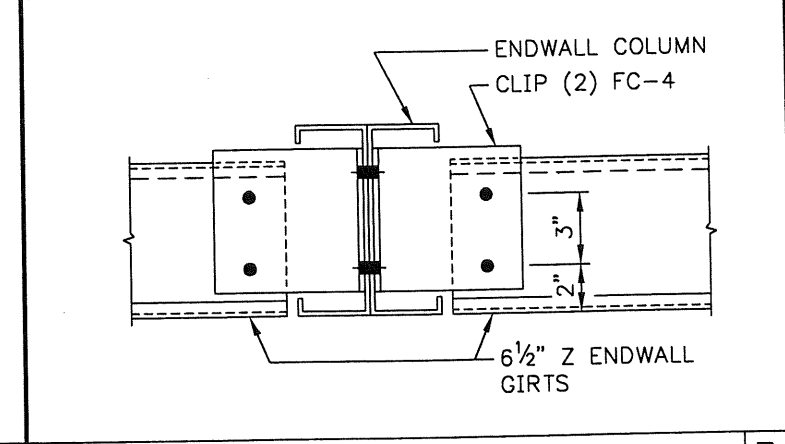
ANGLE BRACE TO ENDWALL RAFTER 4



GIRT TO CORNER COLUMN 5

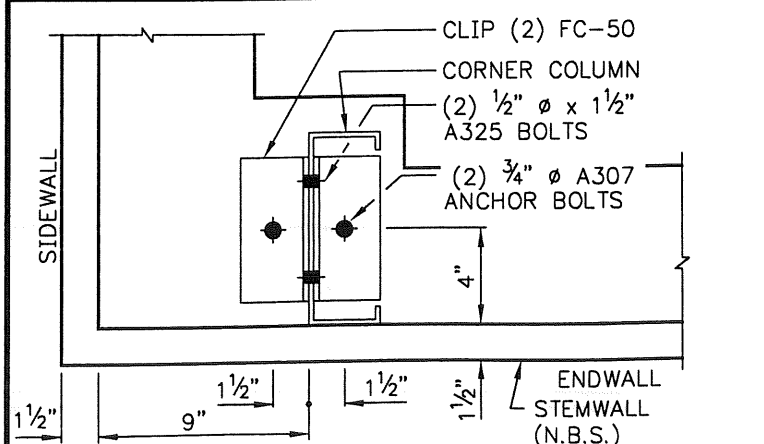


GIRT TO ENDWALL COLUMN 6

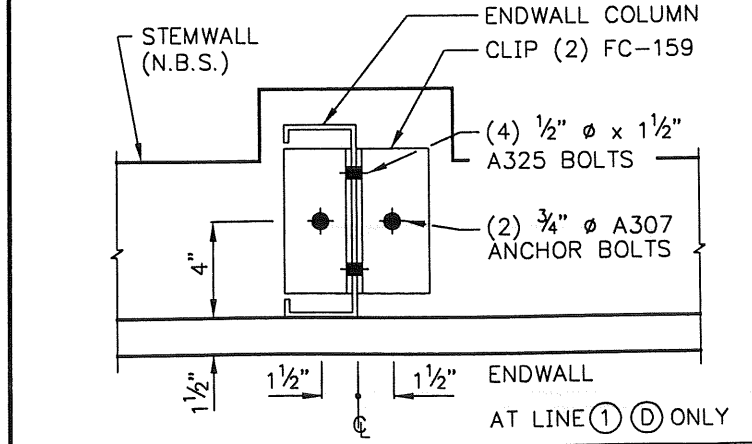


GIRT TO ENDWALL COLUMN 7

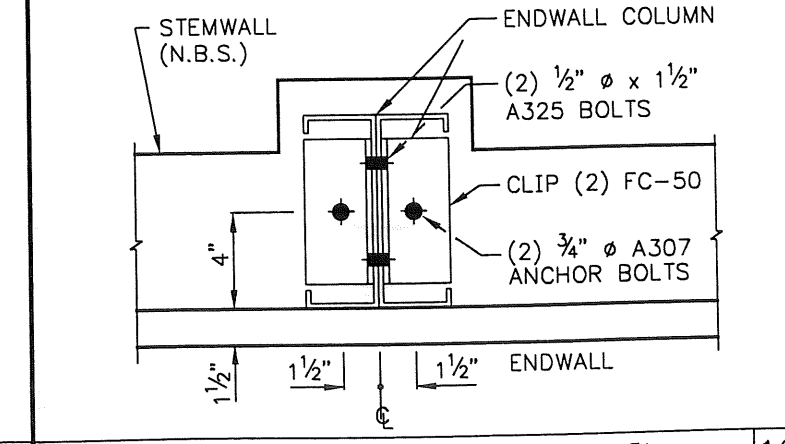
GENERAL NOTES:
 1.) ALL BOLTS TO BE 1/2" ϕ x 1-1/4" A-307 (U.N.)
 2.) VIEW IS FROM OUTSIDE OF BUILDING (U.N.)
 3.) ALL DIMENSIONS ARE \pm .
 4.) \otimes MATCH SHOP MARK.
 5.) SEE CROSS SECTION OF MAIN FRAME FOR PURLIN ORIENTATION.
 6.) ALL DETAILS APPLY TO BOTH ENDWALLS (U.N.)



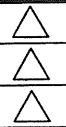
CORNER COLUMN BASE DETAIL 8

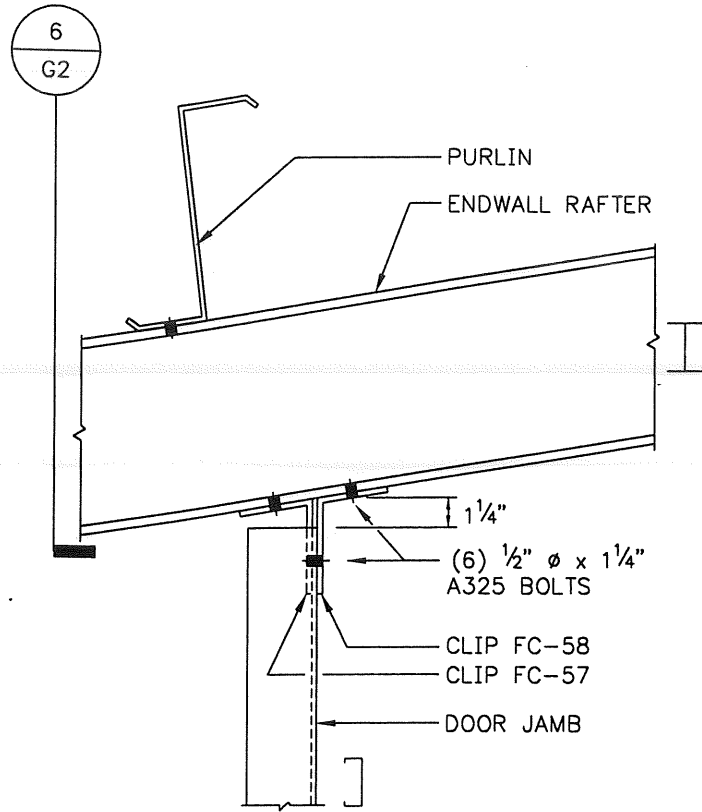


ENDWALL COLUMN BASE DETAIL 9

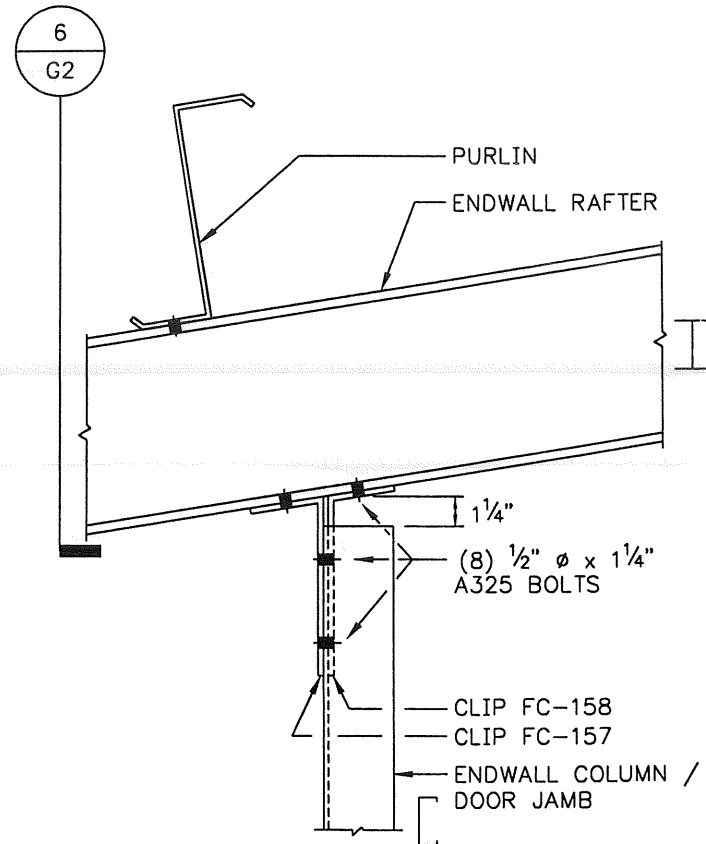


ENDWALL COLUMN BASE DETAIL 10

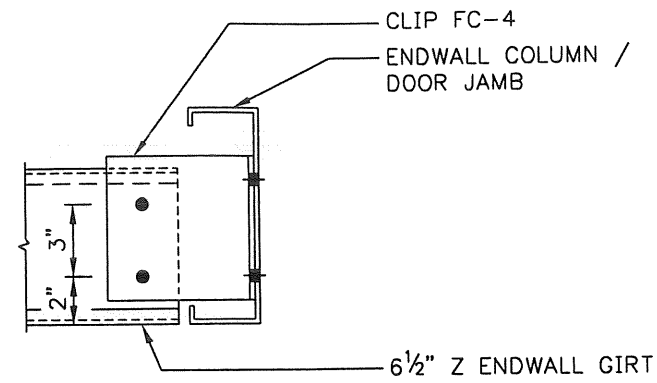

SUNWARD CORPORATION
 Buyer : WRIGHT-RYAN CONST. Drawn By: RS
 Cust. : PHOENIX WELDING 7-1-98
 Descr. : 60X120X16 1.00 :12 Check By: _____
 Site : PORTLAND, ME
 Scale : NONE
 P.O. : G20167 SHEET NO. G1 OF 8



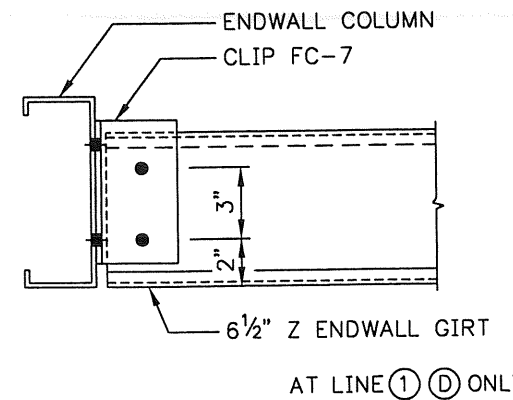
DOOR JAMB TO ENDWALL RAFTER 1



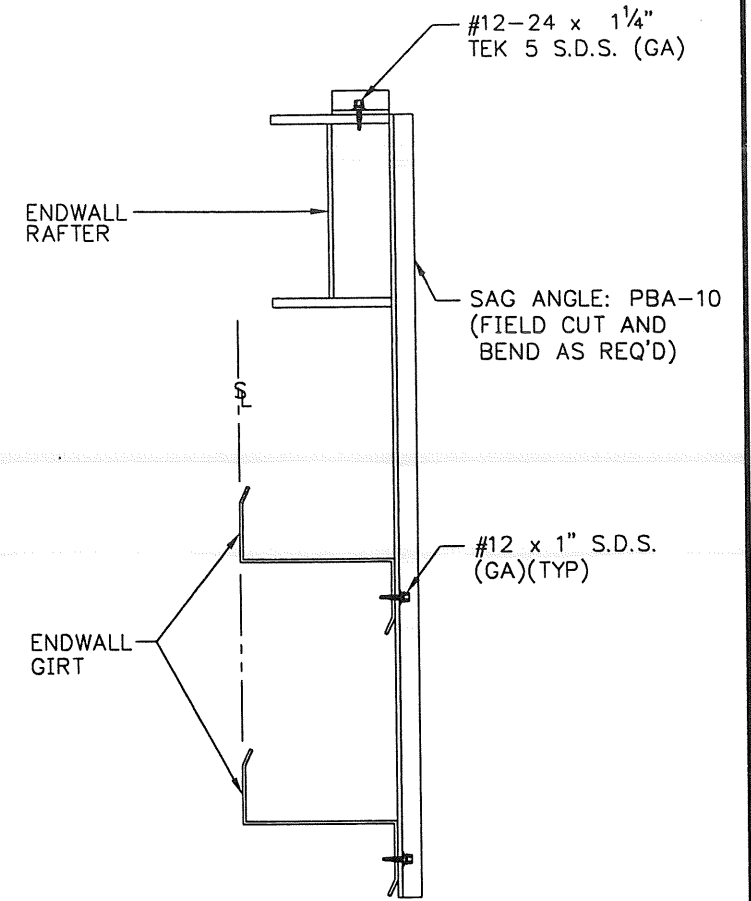
ENDWALL COL. TO ENDWALL RAFTER 2



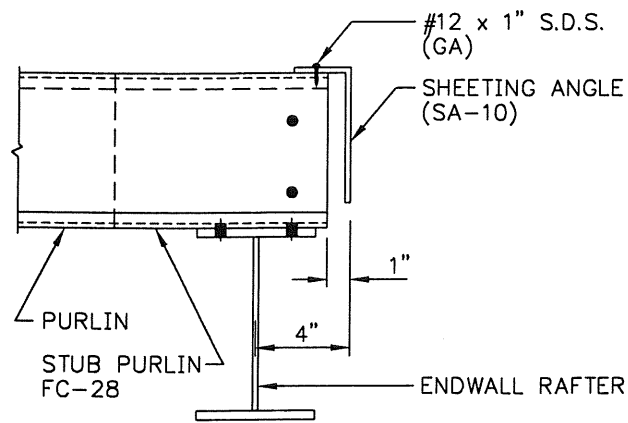
GIRT TO ENDWALL COLUMN 3



GIRT TO ENDWALL COLUMN 4

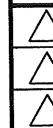


SAG ANGLE TO ENDWALL RAFTER 5



PURLIN TO ENDWALL RAFTER 6

- GENERAL NOTES:**
- 1.) ALL BOLTS TO BE 1/2" ϕ x 1-1/4" A-307 (U.N.)
 - 2.) VIEW IS FROM OUTSIDE OF BUILDING (U.N.)
 - 3.) ALL DIMENSIONS ARE \pm .
 - 4.) \otimes MATCH SHOP MARK.
 - 5.) SEE CROSS SECTION OF MAIN FRAME FOR PURLIN ORIENTATION.
 - 6.) ALL DETAILS APPLY TO BOTH ENDWALLS (U.N.)

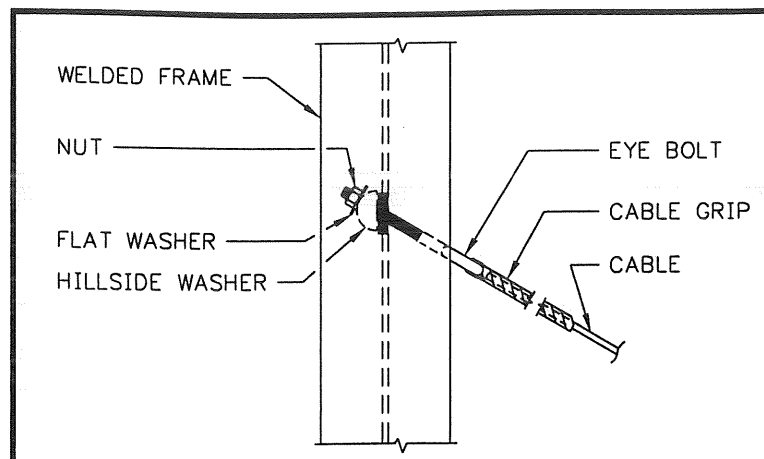


SUNWARD CORPORATION
 Buyer : WRIGHT-RYAN CONST. Drawn By: RS
 Cust. : PHOENIX WELDING 7-1-98
 Descr. : 60X120X16 1.00 :12 Check By: _____
 Site : PORTLAND, ME
 Scale : NONE
 P.O. : G20167 SHEET NO. G2 OF 8

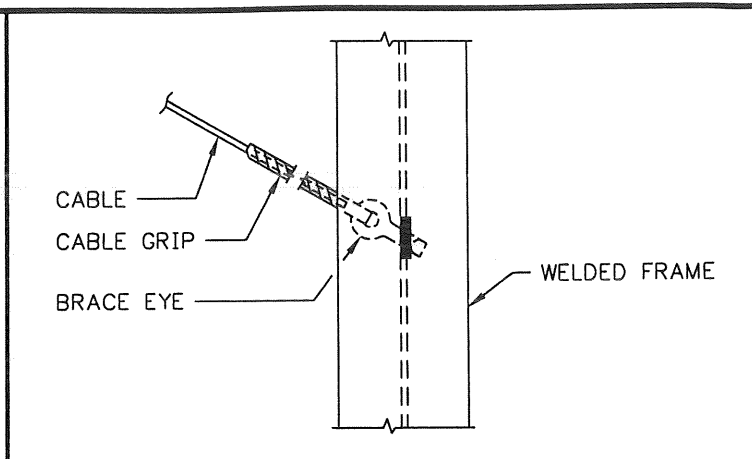
9

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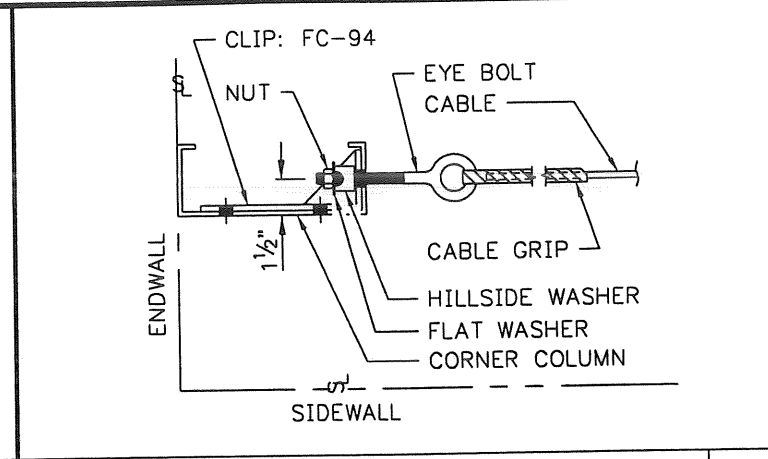
11



BRACING AT WELDED FRAME 1

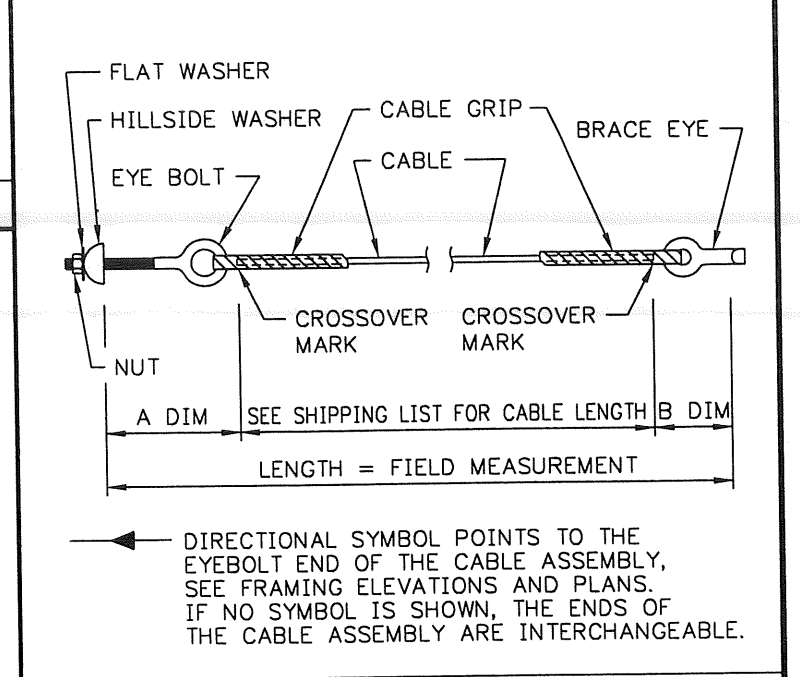


BRACING AT WELDED FRAME 2

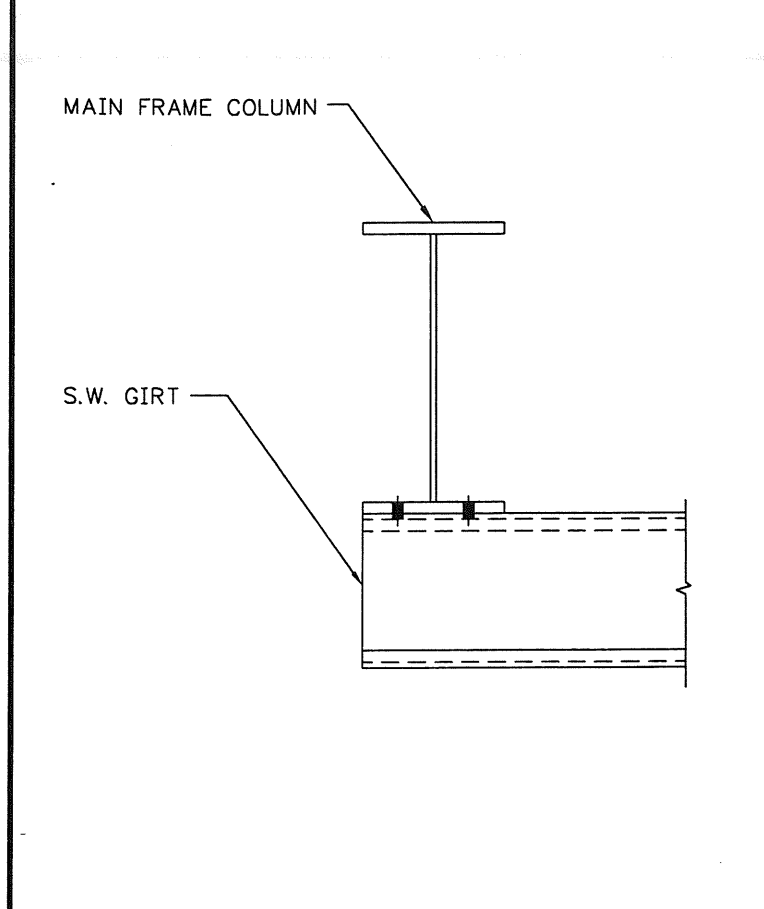


SW BRACING AT CORNER COLUMN 3

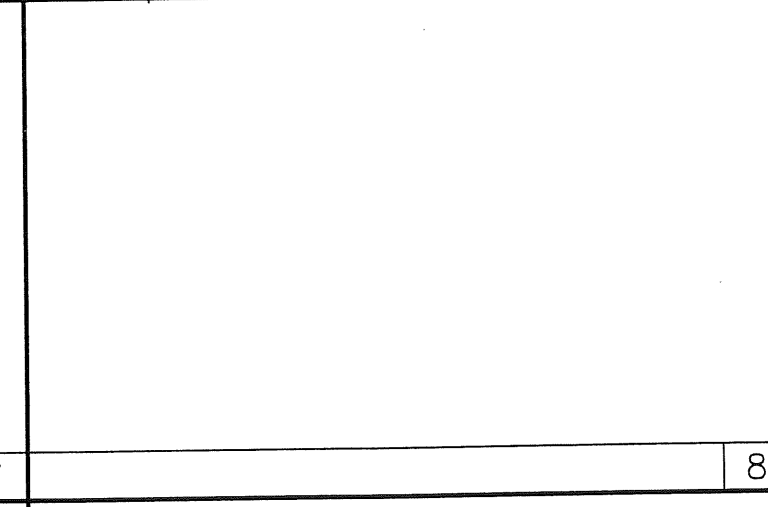
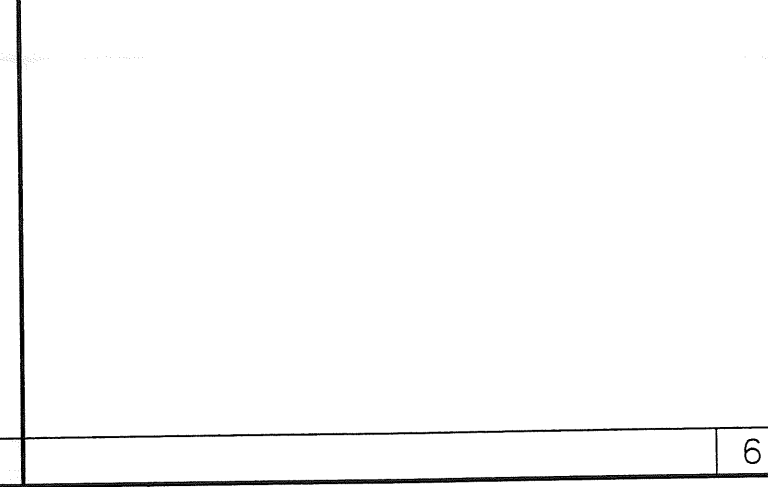
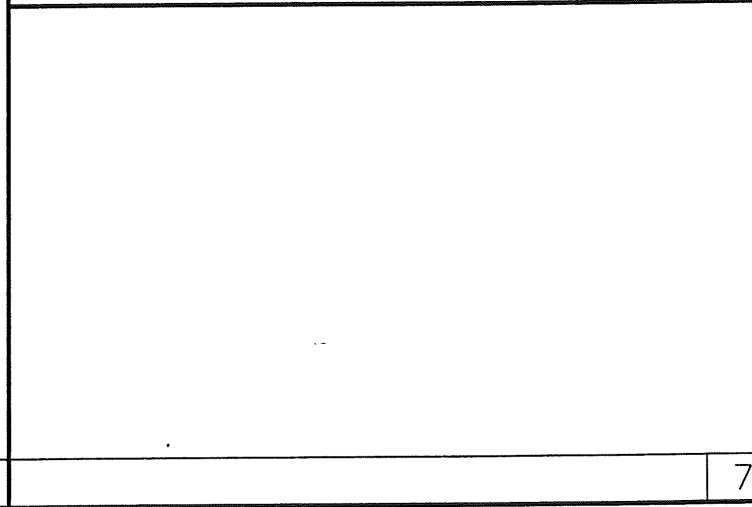
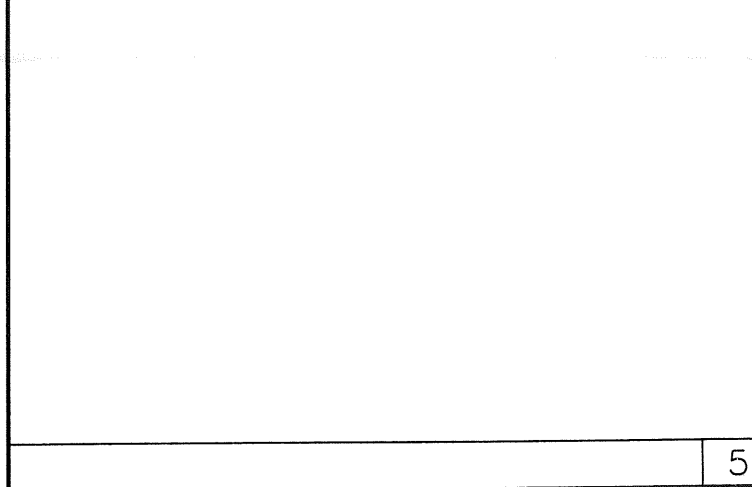
REF. "A"			
CABLE Ø	5/16"	3/8"	1/2"
EYE BOLT	5/8"	3/4"	7/8"
"A" DIM.	11"	14"	14"
"B" DIM.	6"	7"	9"
TOTAL (-)	17"	18"	23"



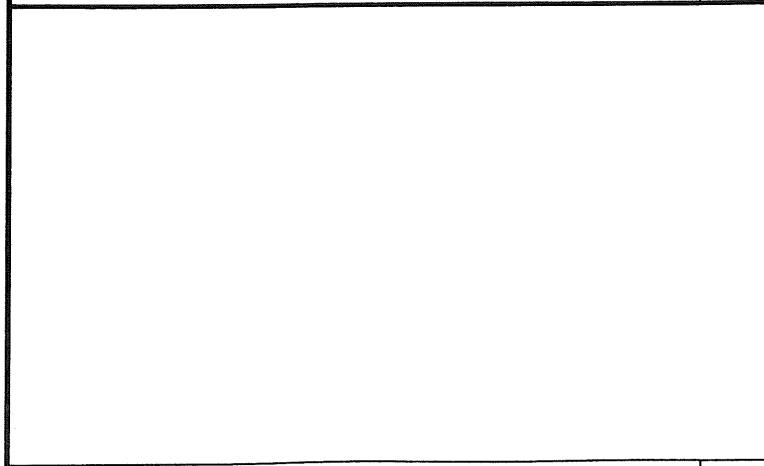
CABLE BRACING ASSEMBLY 6



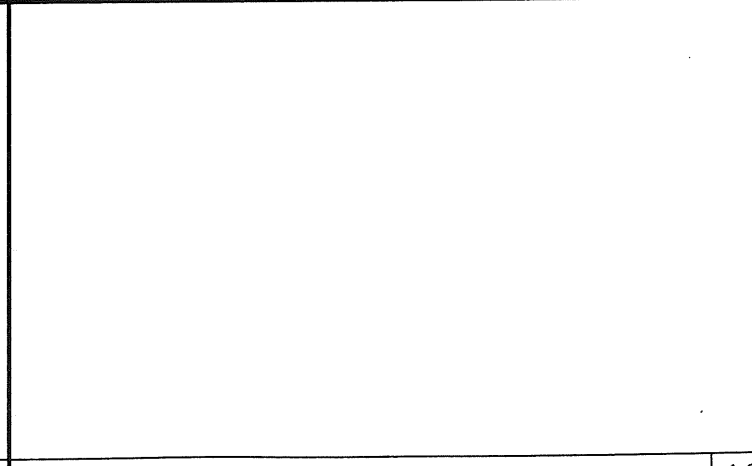
GIRT TO M.F. COLUMN 4



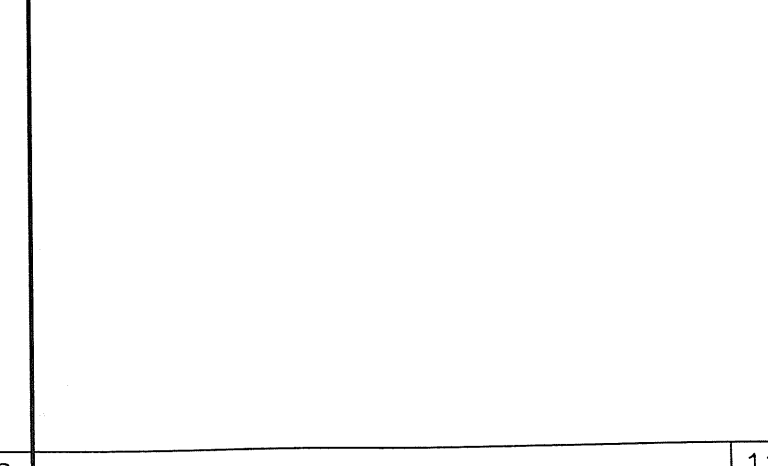
GENERAL NOTES:
 1.) ALL BOLTS TO BE 1/2" Ø x 1-1/4" A307 (U.N.)
 2.) VIEW IS FROM OUTSIDE OF BUILDING (U.N.)
 3.) ALL DIMENSIONS ARE ±.



(2) BOLTS REQUIRED AT 13'-0" GIRT ONLY 9



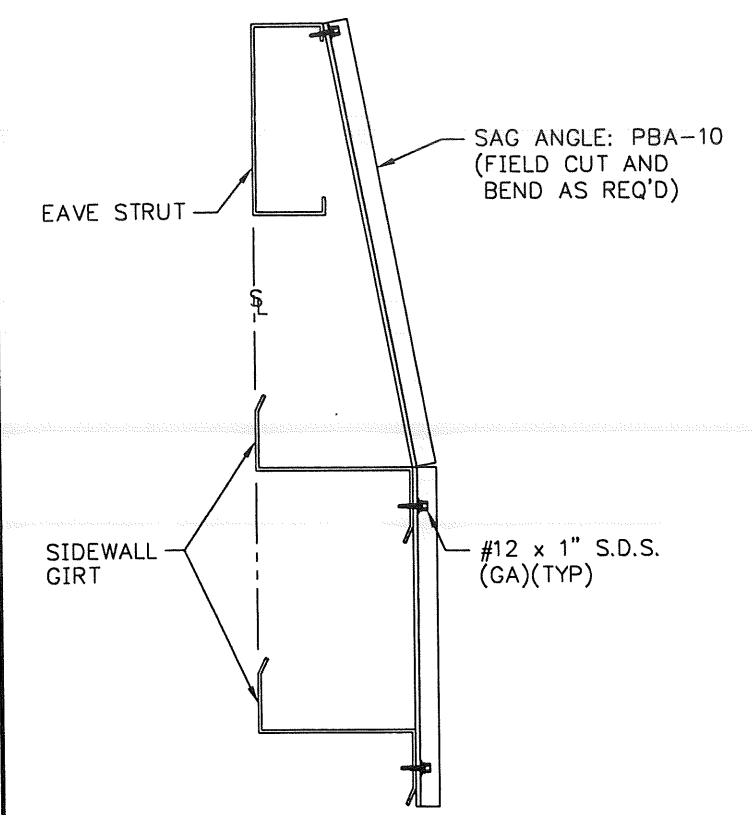
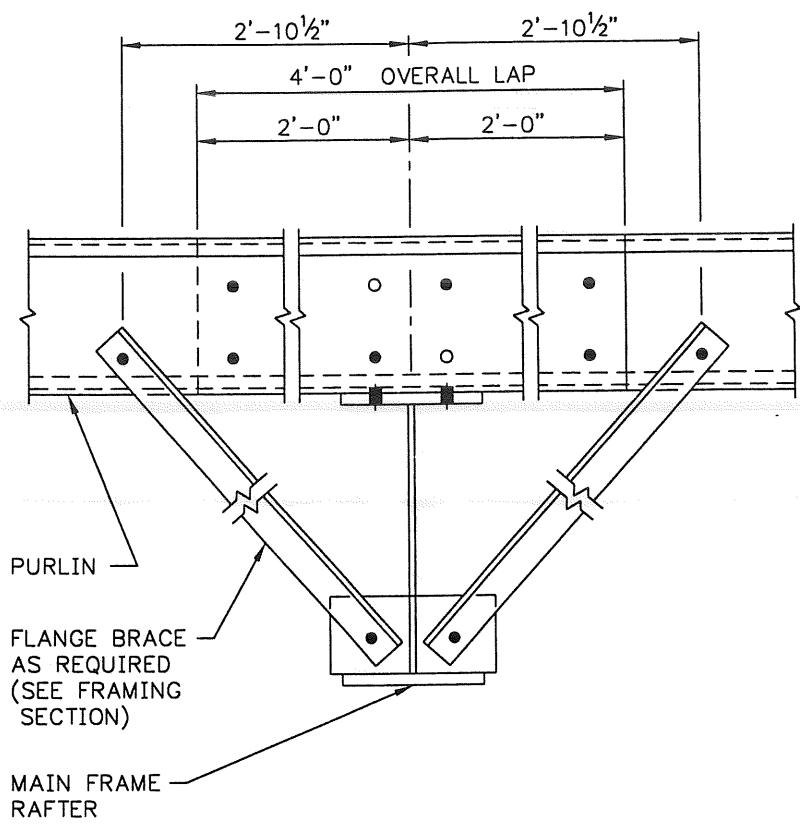
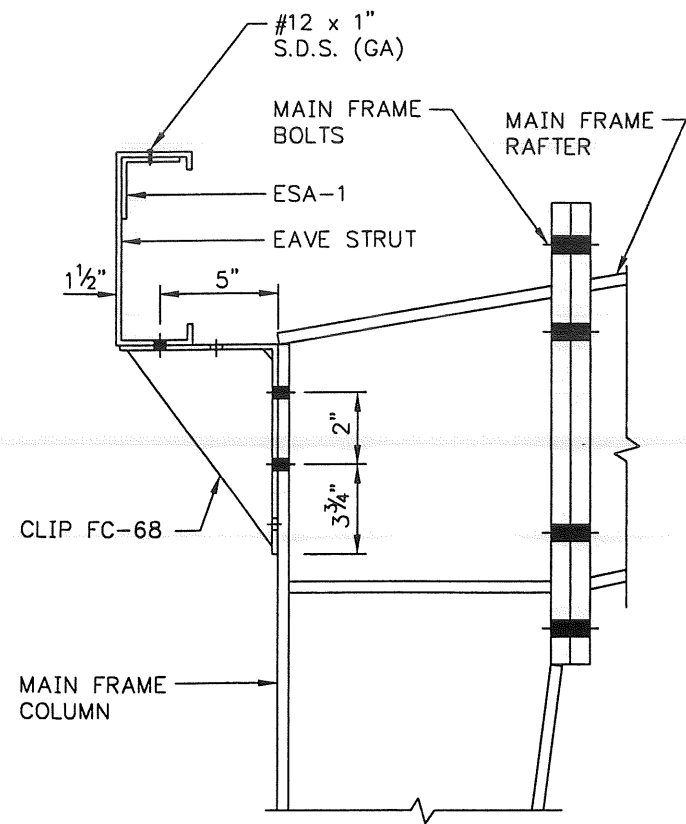
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11

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SUNWARD CORPORATION
 Buyer : WRIGHT-RYAN CONST. Drawn By: RS
 Cust. : PHOENIX WELDING 7-1-98
 Descr.: 60X120X16 1.00 :12 Check By: _____
 Site : PORTLAND, ME
 Scale : NONE
 P.O. : G20167 SHEET NO. G3 OF 8



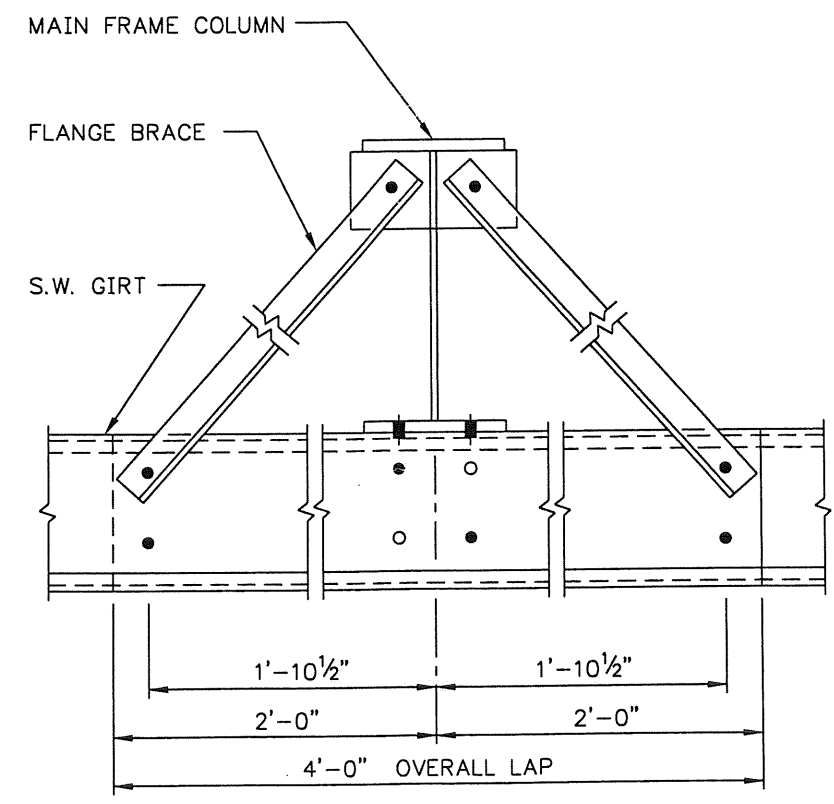
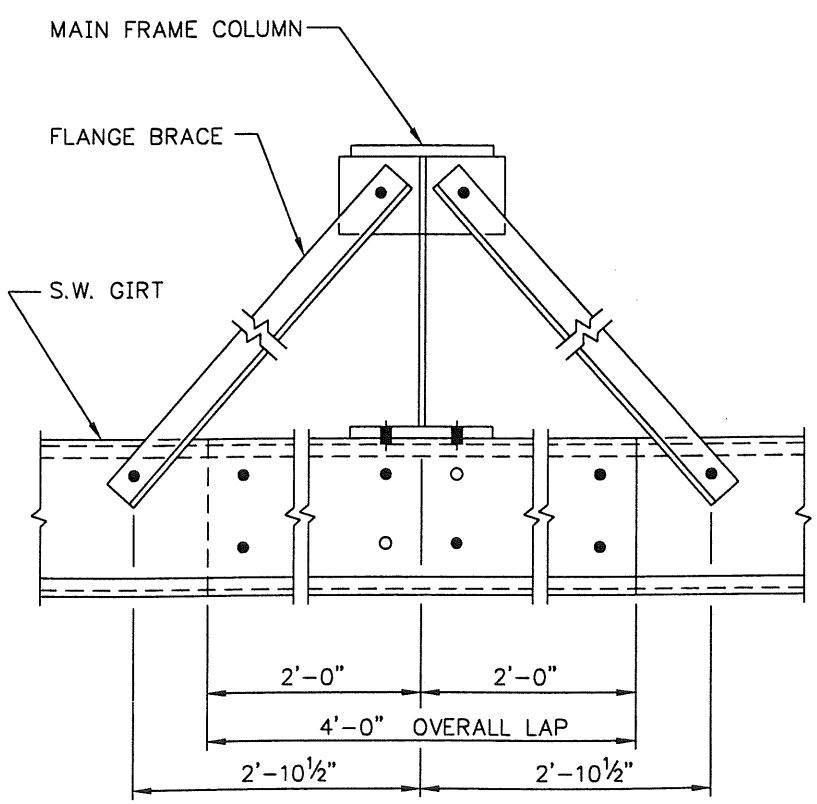
(8) BOLTS W/O FLANGE BRACE, (12) BOLTS W/ FLANGE BRACE.

MF TO EAVE STRUT (6-1/2 Z GIRTS)

1 PURLIN OVERLAP

2 SAG ANGLE TO EAVE STRUT

3



GENERAL NOTES:

- 1.) ALL BOLTS TO BE 1/2" ϕ x 1-1/4" A307 (U.N.)
- 2.) VIEW IS FROM OUTSIDE OF BUILDING (U.N.)
- 3.) ALL DIMENSIONS ARE \pm .

(12) BOLTS REQ'D.

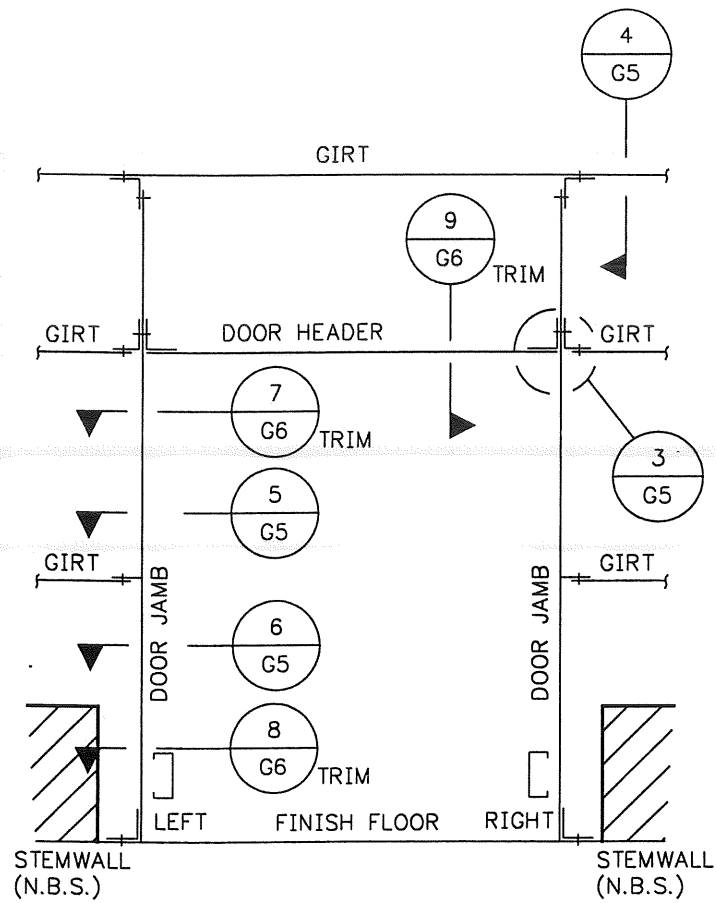
(10) BOLTS REQ'D.

4 GIRT OVERLAP AT 11'-0" GIRTS

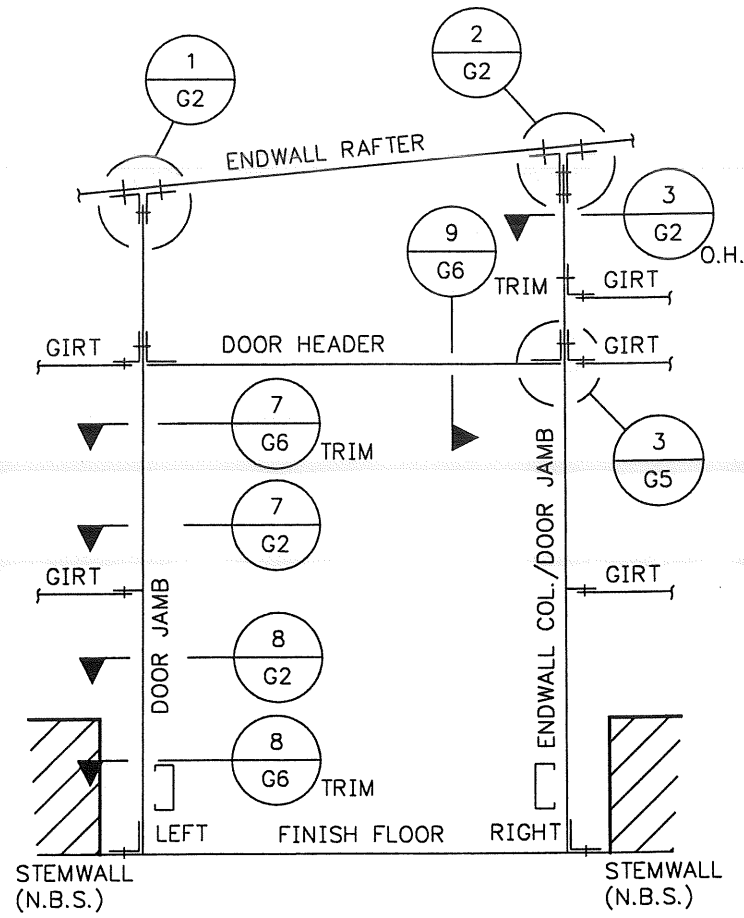
5 GIRT OVERLAP AT 4'-4" GIRTS

5

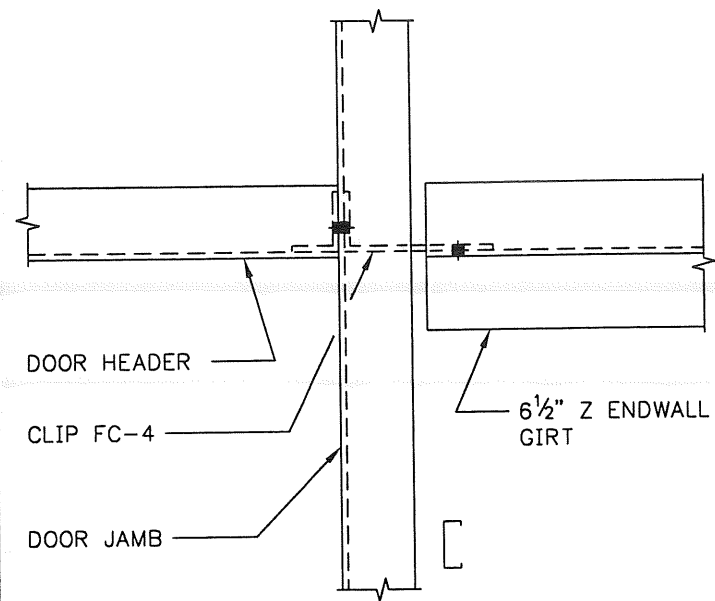
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SUNWARD CORPORATION	
Buyer :	WRIGHT-RYAN CONST. Drawn By: <u>RS</u>
Cust. :	PHOENIX WELDING <u>1-1-98</u>
Descr. :	60X120 X16 1.00 :12 Check By: _____
Site :	PORTLAND, ME _____
Scale :	NONE
P.O. :	G20167
SHEET NO. G4 OF 8	



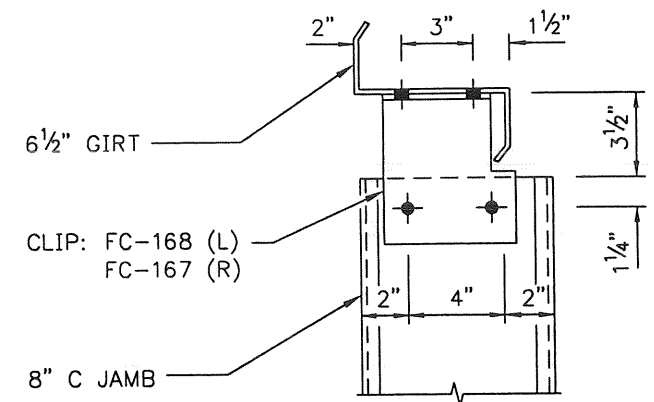
DOOR JAMB TO GIRT 1



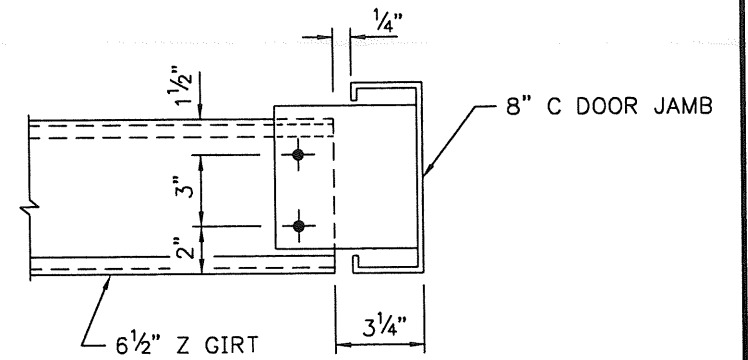
DOOR JAMB TO E.W. RAFTER 2



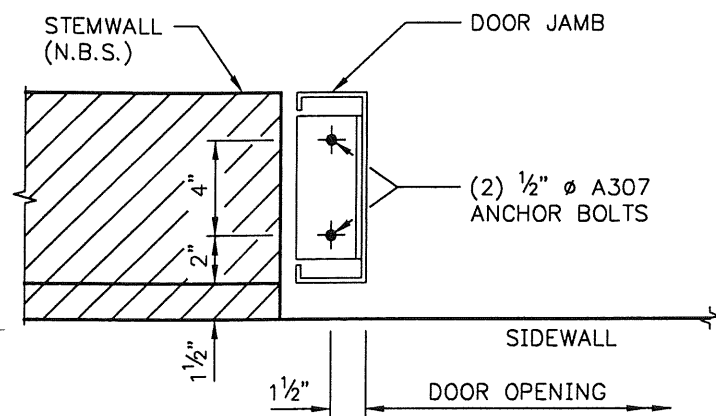
DOOR HEADER TO DOOR JAMB 3



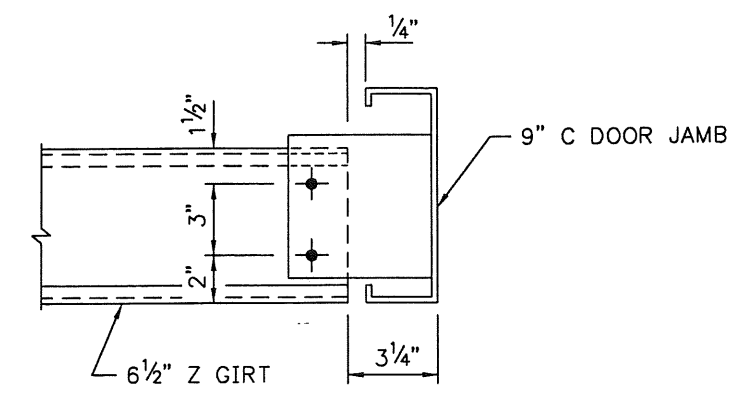
JAMB TO GIRT 4



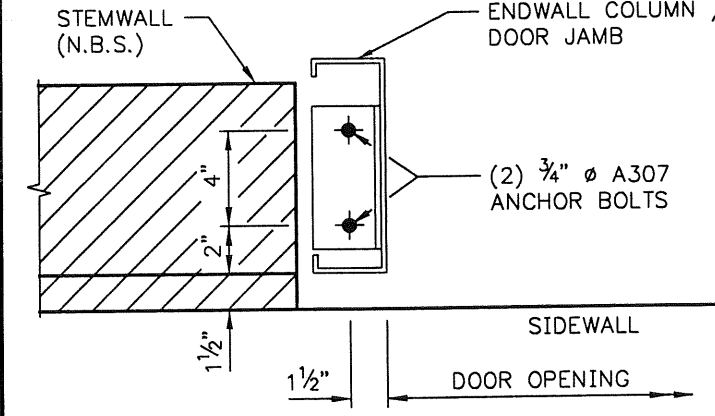
GIRT TO DOOR JAMB 5



DOOR JAMB BASE DETAIL 6

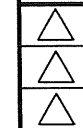


GIRT TO DOOR JAMB 7

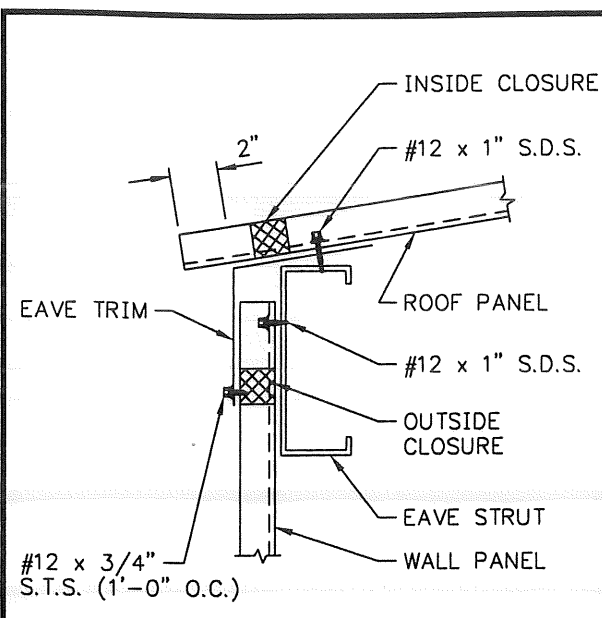


DOOR JAMB BASE DETAIL 8

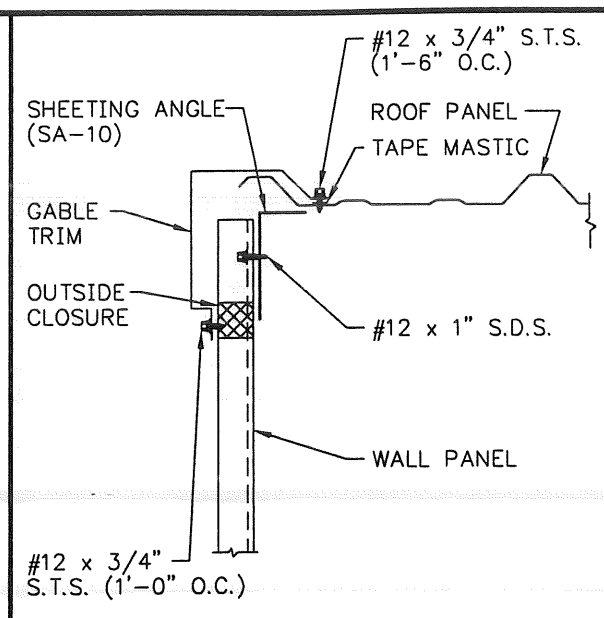
GENERAL NOTES:
 1.) ALL BOLTS TO BE 1/2" ϕ x 1-1/4" A307 (U.N.)
 2.) VIEW IS FROM OUTSIDE OF BUILDING (U.N.)
 3.) ALL DIMENSIONS ARE \pm .



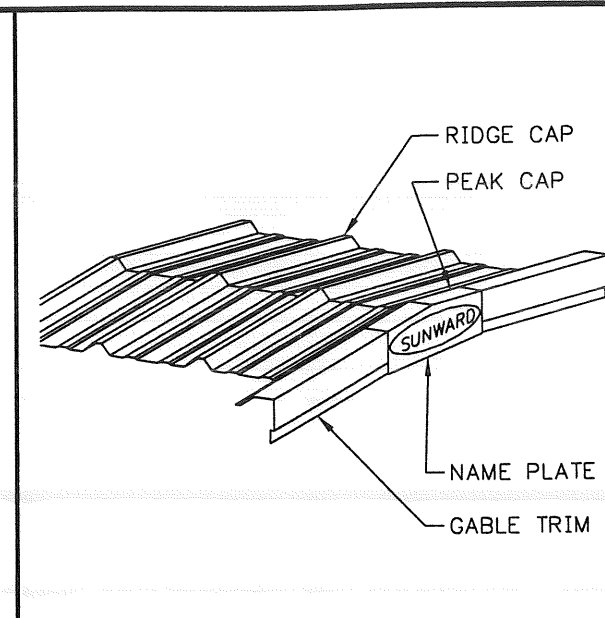
SUNWARD CORPORATION
 Buyer : WRIGHT-RYAN CONST. Drawn By: RS
 Cust. : PHOENIX WELDING 1-1-98
 Descr. : 60X120X16 1.00 :12 Check By: _____
 Site : PORTLAND, ME
 Scale : NONE
 P.O. : G20167 SHEET NO. G5 OF 8



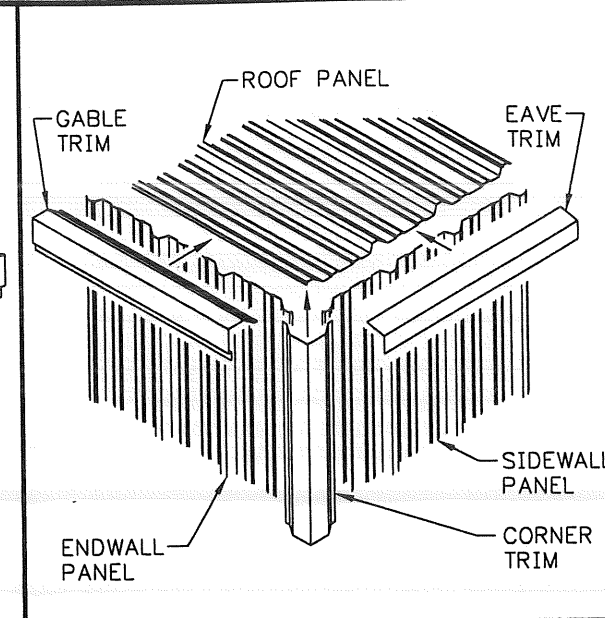
EAVE TRIM SECTION 1



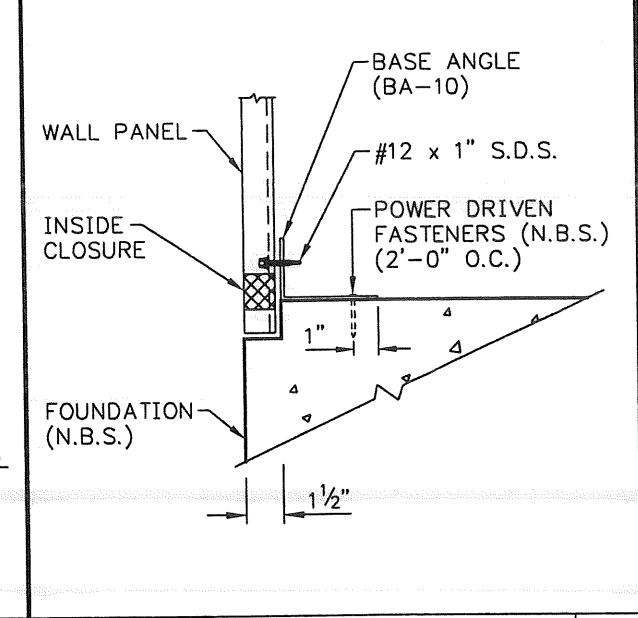
GABLE TRIM SECTION 2



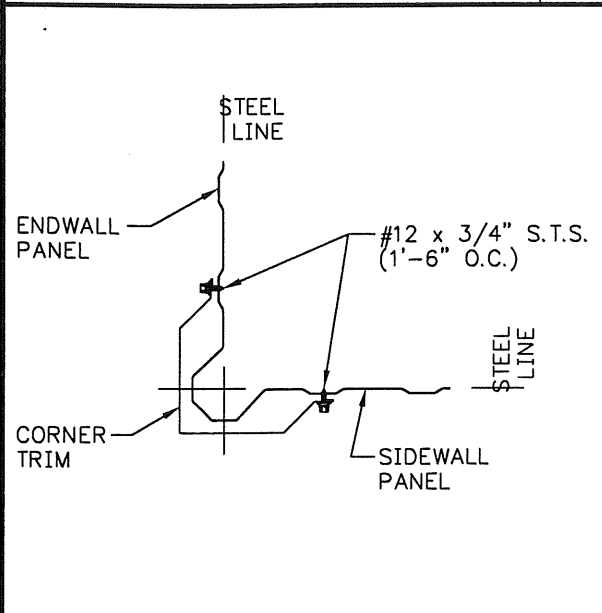
PEAK DETAIL 3



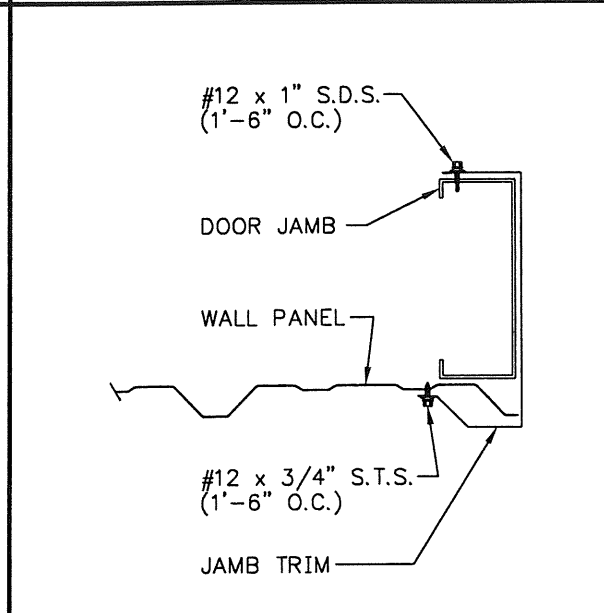
PEAK BLDG. CORNER DET. 4



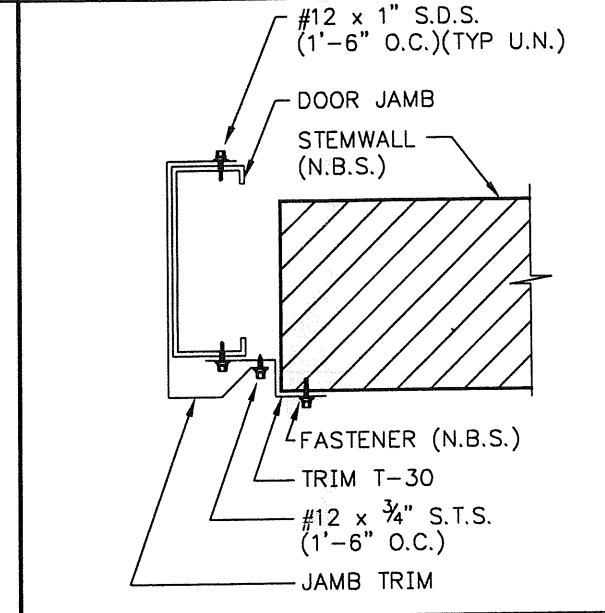
BASE SECTION 5



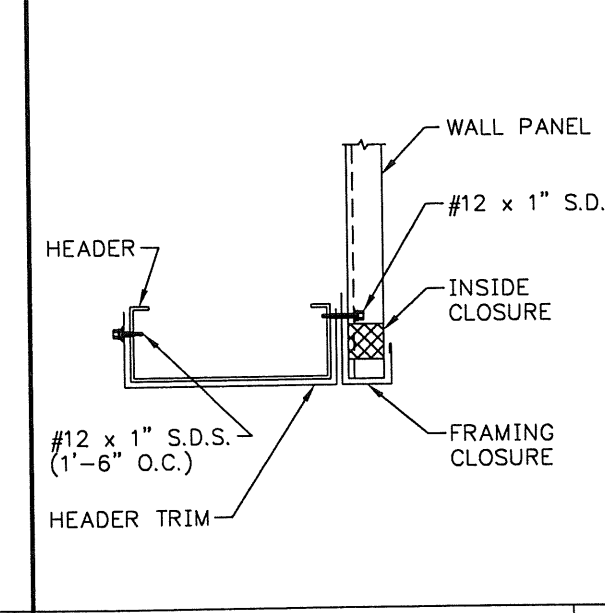
CORNER TRIM DETAIL 6



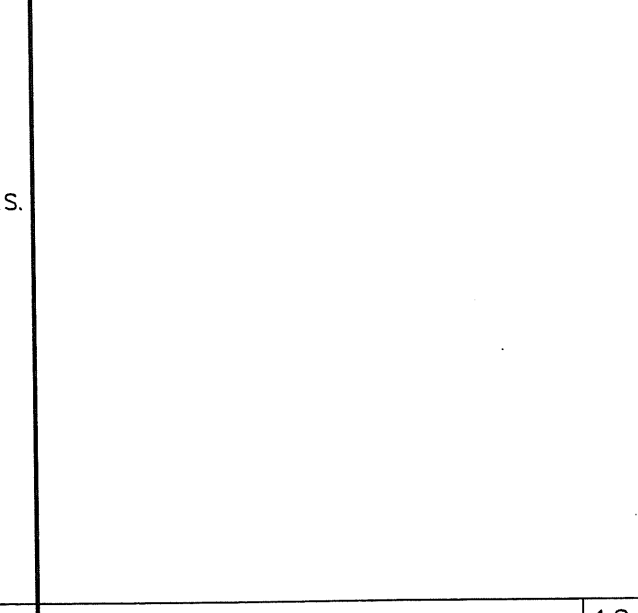
DOOR JAMB TRIM (1'-0") 7



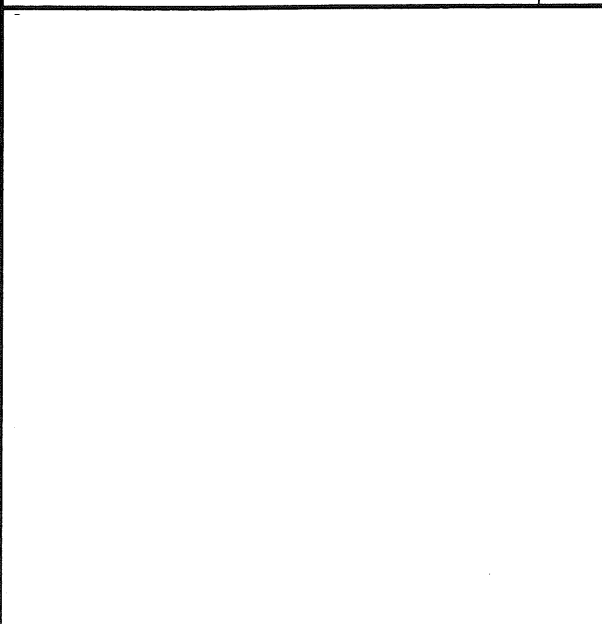
DOOR JAMB TRIM (1'-0") 8



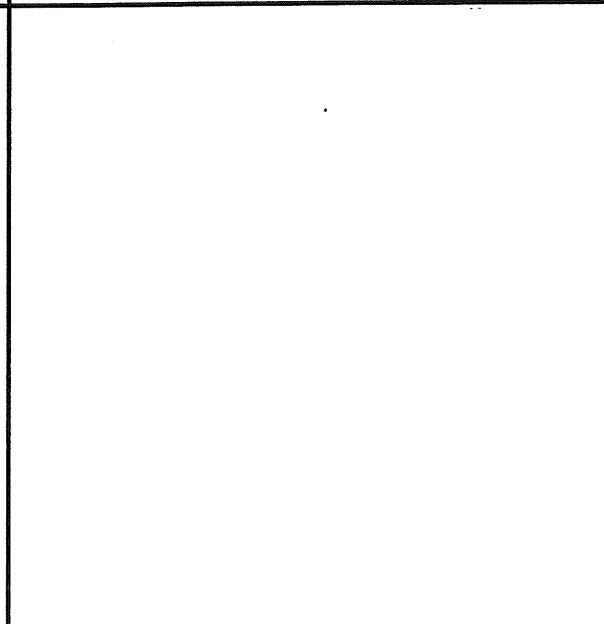
HEADER TRIM 9



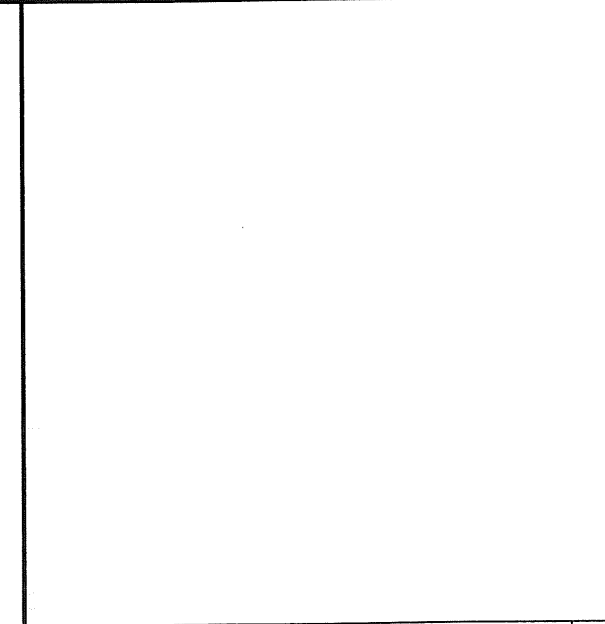
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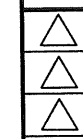


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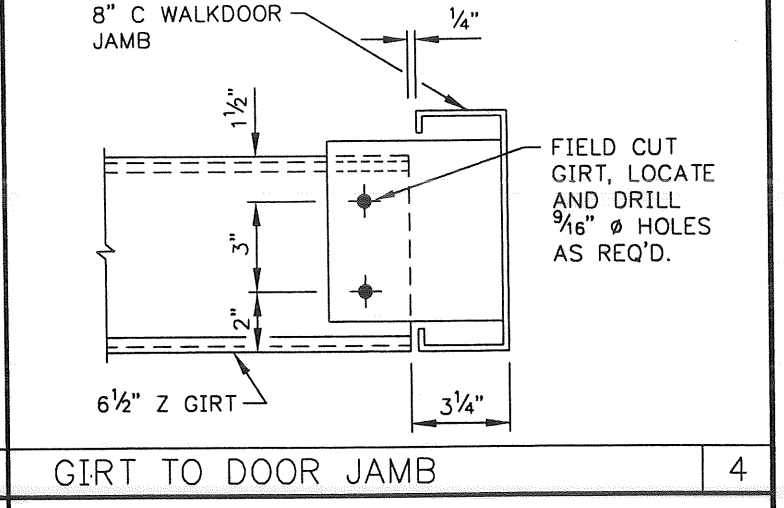
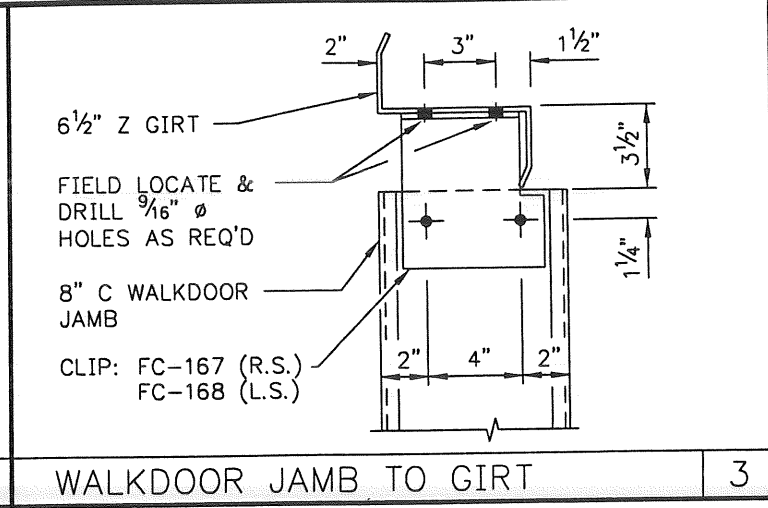
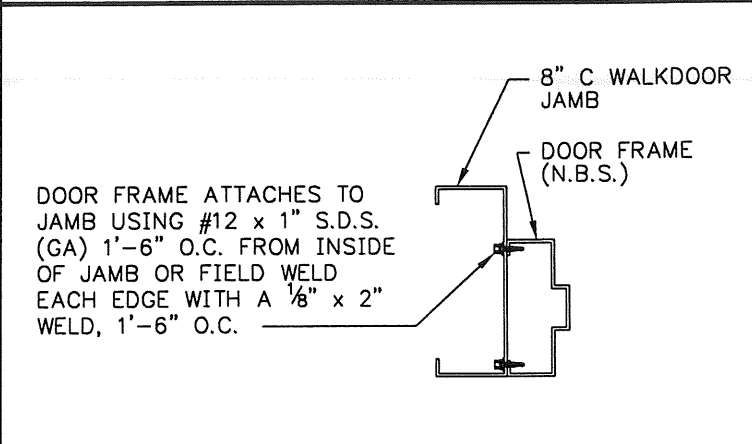
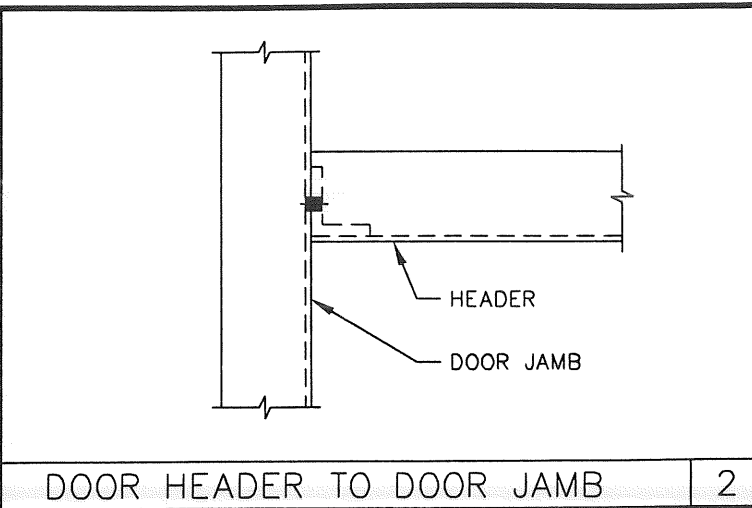
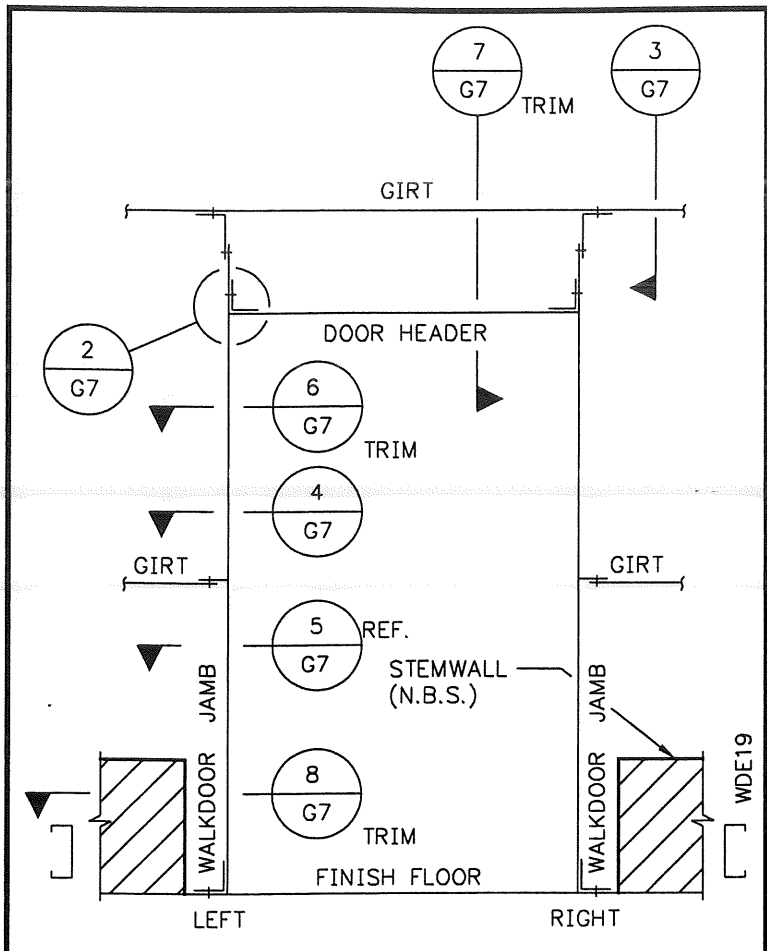


13

WHEN GALVALUME (GA) AND GALVANIZED (GV) MATERIAL COME IN CONTACT WITH ONE ANOTHER, A SURFACE COATING REACTION COULD OCCUR OVER A PERIOD OF TIME, DUE TO CONDENSATION OR HIGH HUMIDITY CONDITIONS. SUNWARD IS NOT RESPONSIBLE FOR MATERIAL DAMAGE CAUSED BY THIS REACTION. TO PREVENT THIS REACTION, FELT OR SEALANT SHOULD BE PLACED BETWEEN THESE SURFACES TO PREVENT DIRECT CONTACT OF ONE SURFACE WITH THE OTHER. FELT OR SEALANT IS NOT BY SUNWARD.



SUNWARD CORPORATION
 Buyer : WRIGHT-RYAN CONST. Drawn By: RS
 Cust. : PHOENIX WELDING 7-1-98
 Descr.: 60X120 X16 1.00 :12 Check By: _____
 Site : PORTLAND, ME
 Scale : NONE
 P.O. : G20167 SHEET NO. G6 OF 8

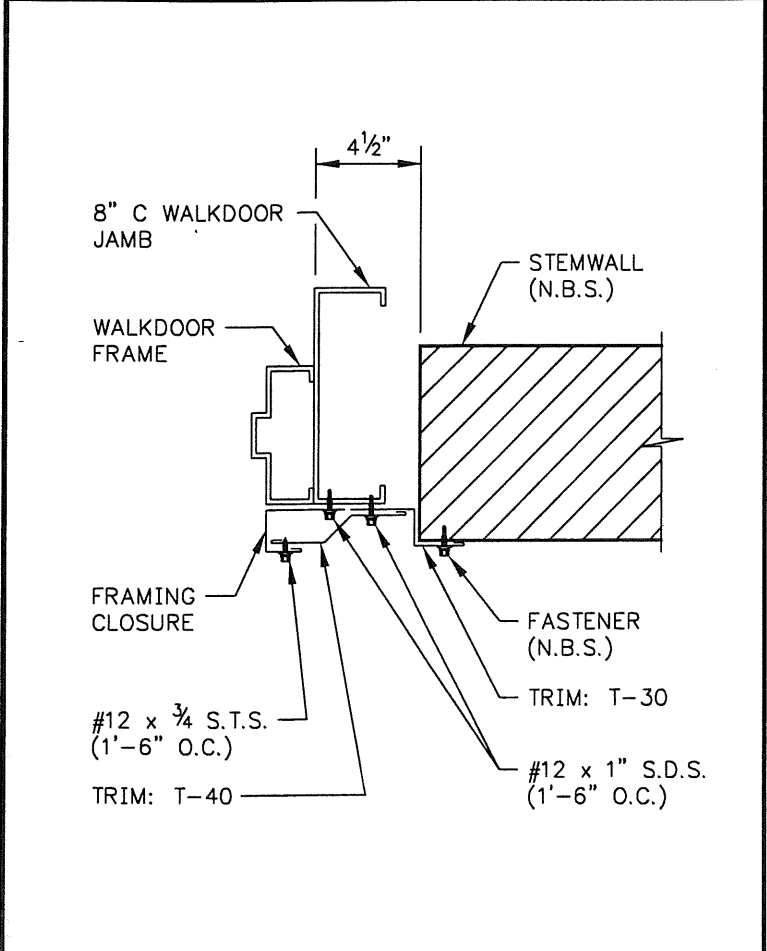


WALKDOOR JAMB TO GIRT 1

DOOR FRAME TO DOOR JAMB 5

WALKDOOR JAMB TRIM 6

WALKDOOR HEADER TRIM 7



WALKDOOR JAMB TRIM 8

WALKDOOR JAMB TRIM 6

GENERAL NOTES:
 1) ALL BOLTS TO BE 1/2" Ø x 1-1/4" A307 (U.N.)
 2) VIEWS ARE FROM OUTSIDE OF BUILDING (U.N.)
 3) ALL DIMENSIONS ARE ±.
 4) REFER TO ANCHOR BOLT PLAN DETAILS FOR FIELD LOCATING JAMBS.

Buyer : WRIGHT-RYAN CONST. Drawn By: RS
 Cust. : PHOENIX WELDING 7-1-98
 Descr. : 60X120X16 1.00 :12 Check By: _____
 Site : PORTLAND, ME
 Scale : NONE
 P.O. : G20167 SHEET NO. G7 OF 8

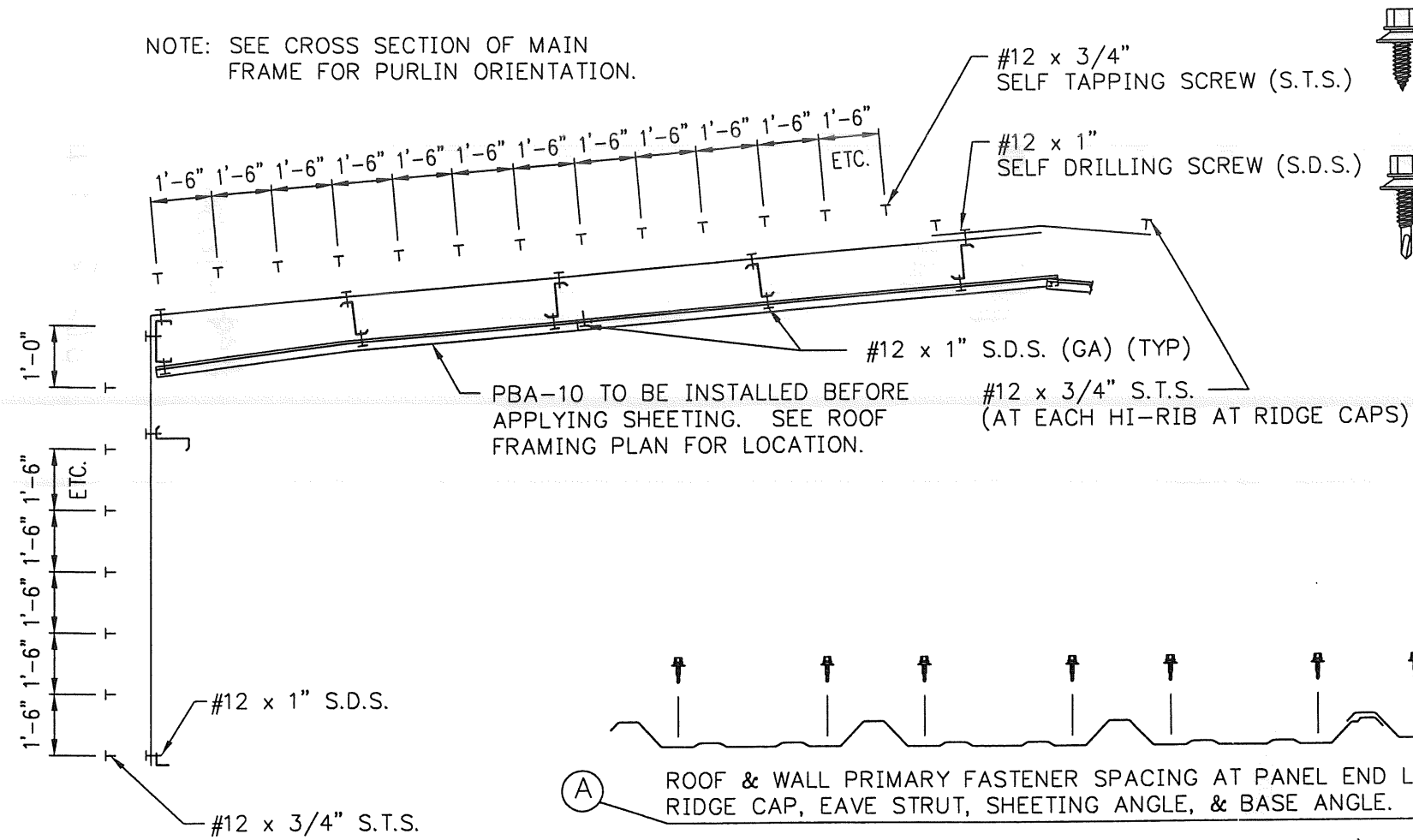
WALKDOOR JAMB TRIM 8

WALKDOOR JAMB TRIM 6

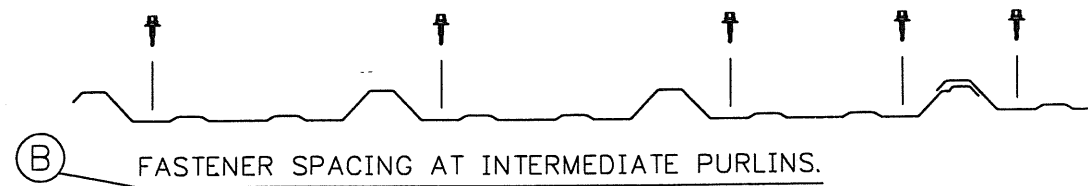
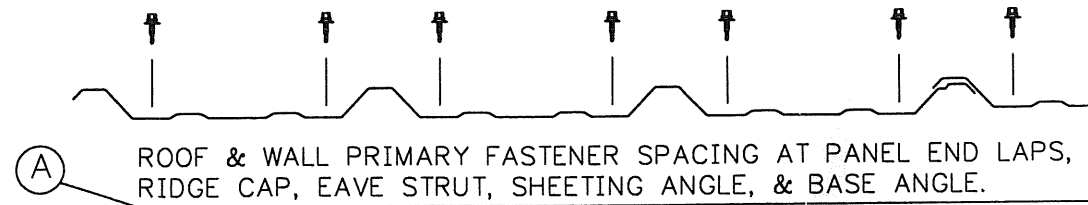
WALKDOOR JAMB TRIM 6

WALKDOOR JAMB TRIM 7

NOTE: SEE CROSS SECTION OF MAIN FRAME FOR PURLIN ORIENTATION.



PBA-10 TO BE INSTALLED BEFORE APPLYING SHEETING. SEE ROOF FRAMING PLAN FOR LOCATION.



NOTE: SELF DRILLING SCREW PATTERNS

NON-INSULATED BUILDINGS:
USE PATTERNS (A) & (B).

INSULATED BUILDINGS:
USE PATTERN (A) ONLY.
(WHEN INSULATING BETWEEN THE SHEETING AND RED IRON.)

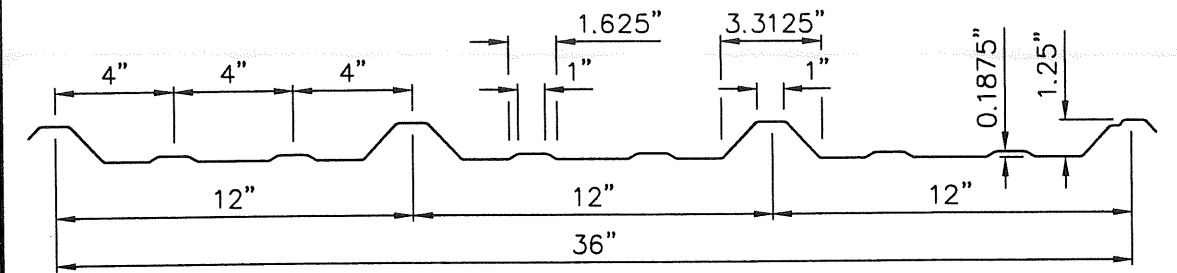
4" OR MORE OF INSULATION REQUIRES SCREWS LONGER THAN 1". PLEASE ADVISE SUNWARD IF LONGER SCREWS WERE NOT PURCHASED.

SHEETING DESCRIPTION

ROOF SHEETING	26 GA.	COLOR	GALVALUME
SCREW TYPE:	<input checked="" type="checkbox"/> STANDARD	<input type="checkbox"/> STAINLESS STEEL	<input type="checkbox"/> OTHER
WALL SHEETING	26 GA.	COLOR	BEIGE
SCREW TYPE:	<input checked="" type="checkbox"/> STANDARD	<input type="checkbox"/> STAINLESS STEEL	<input type="checkbox"/> OTHER
TRIM COLOR	WHITE		
PARTITION SHEETING	N/A GA.	COLOR	N/A
LINER PANEL	N/A GA.	COLOR	N/A
SOFFIT PANEL	N/A GA.	COLOR	N/A

OTHER ACCESSORIES

HI-RIB PANEL SECTION



LEGEND

C- MAIN FRAME COLUMN	FC- FRAMING CLIP	CL- CENTER LINE
RB- MAIN FRAME RAFTER	CL- SPECIAL CLIP	N.A. NOT APPLICABLE
CC- CORNER COLUMN	RC- RIDGE CAP	F.S. FAR SIDE
EC- ENDWALL COLUMN	RS- ROOF SHEET	N.S. NEAR SIDE
ER- ENDWALL RAFTER	SW- SIDEWALL	N.B.S. NOT BY SUNWARD
DJ- DOOR JAMB	EW- ENDWALL	O.C. ON CENTER
DH- DOOR HEADER	FTC- FRAMING CLOSURE	SL- STEEL LINE
G- GIRT	T- TRIM	O.H. OPPOSITE HAND
P- PURLIN	TR- SPECIAL TRIM	TYP. TYPICAL
ES- EAVE STRUT	A.S. AS SHOWN	U.N. UNLESS NOTED

CABLE SIZES

RCB- ROOF CABLE BRACING	<input type="checkbox"/> NONE	<input checked="" type="checkbox"/> 5/16" ø	<input type="checkbox"/> 3/8" ø	<input type="checkbox"/> 1/2" ø
SCB- SIDEWALL CABLE BRACING	<input type="checkbox"/> NONE	<input checked="" type="checkbox"/> 5/16" ø	<input type="checkbox"/> 3/8" ø	<input type="checkbox"/> 1/2" ø
ECB- ENDWALL CABLE BRACING	<input checked="" type="checkbox"/> NONE	<input type="checkbox"/> 5/16" ø	<input type="checkbox"/> 3/8" ø	<input type="checkbox"/> 1/2" ø

NOMENCLATURE

BA-10 - BASE SHEETING ANGLE;	2" x 4" x 16 GA., GALV.
PBA-10 - PURLIN BRIDGING ANGLE;	1" x 1" x 16 GA., GALV.
SA-10 - SHEETING ANGLE;	2-7/16" x 5-11/16" x 16 GA., GALV.
FB- - - - FLANGE BRACE;	1-1/2" x 1-1/2" x 1/8" ANGLE
FB- - - X - FLANGE BRACE;	2-1/2" x 2-1/2" x 3/16" ANGLE

△

SUNWARD CORPORATION

Buyer : WRIGHT-RYAN CONST. Drawn By: **RS**

Cust. : PHOENIX WELDING 7-1-98

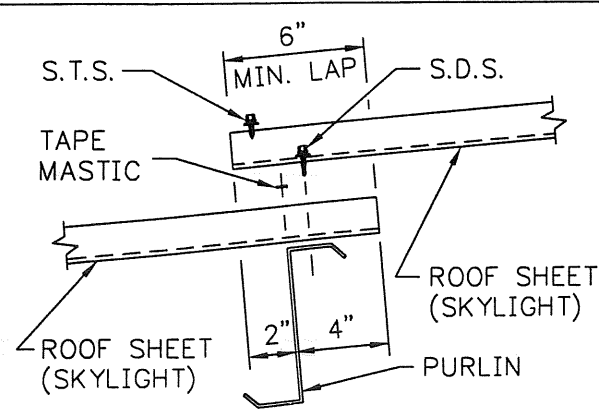
Descr.: 60X120 X16 1.00 :12 Check By: _____

Site : PORTLAND, ME

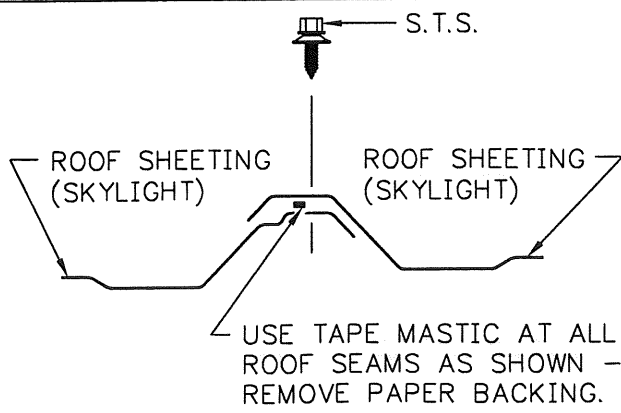
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P.O. : G20167 SHEET NO. **GB** OF **8**

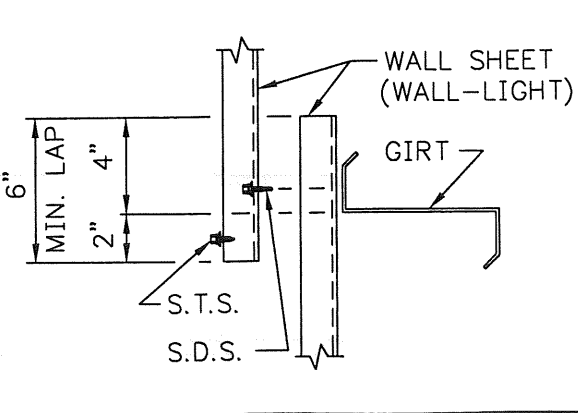
ROOF SHEETING (SKYLIGHT) END LAP



ROOF SHEETING (SKYLIGHT) SIDE LAPS



WALL SHEETING (WALL-LIGHT) END LAP



THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building):			557 RIVERSIDE STREET PORTLAND, ME 04103		
Total Square Footage of Proposed Structure		7200	Square Footage of Lot		10.27 ACRES
Tax Assessor's Chart, Block & Lot Number	Owner:		Telephone#:		
Chart# 312 306	Block# B A.B	Lot# 2 & 3 7 1	RIVERSIDE WELDERS LLC		797-5832
Owner's Address:		Lessee/Buyer's Name (If Applicable)		Cost Of Work: Fee	
557 RIVERSIDE STREET PORTLAND, ME 04103		PHOENIX WELDING		\$27,028.00 \$155.00	
Proposed Project Description:(Please be as specific as possible)					
60 X 120' WELDING FABRICATION SHOP TO BE ERECTED IN EXISTING GRAVEL YARD <i>306-B-007 CBL</i>					
Contractor's Name, Address & Telephone					Rec'd By
PHOENIX WELDING 557 RIVERSIDE ST PORTLAND, ME 04103 797-5832					<i>UB</i>
Current Use:			Proposed Use:		
OUTSIDE STORAGE LOT			FABRICATION SHOP		

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventillation and Air Conditioning) installation must comply with the 1991 B.O.C.A. Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

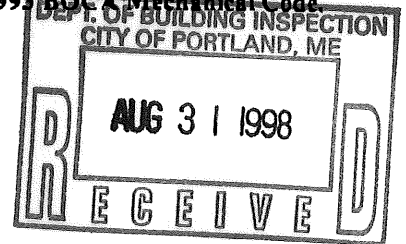
Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: <i>Tammy Deary</i>	Date: <i>8/31/98</i>
--	----------------------

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum

see call

910
** Tammy Deary 557 Riverside Street 797-5832*
PHOENIX WELDING

Applicant: Phoenix Welding
Address: 557 Riverside St

Date: 9/4/98
C-B-L: 306-A-7
306-B-1

CHECK-LIST AGAINST ZONING ORDINANCE 312-B-2 & 3

Date - Existing

Zone Location - I-H

Interior or corner lot -

Proposed Use/Work - 60' x 120' Fabrication shop.

Sewage Disposal -

Lot Street Frontage - 60' req - 200' + shown

Front Yard - 25' req - 100' + shown

Rear Yard - 35' req - 100' + shown

Side Yard - 35' req - 80' & 100' + shown

Projections -

Width of Lot -

Height - 20' tall ^{shown} - 75' max

Lot Area -

10+ Acres

Lot Coverage/ Impervious Surface - 85%

- Not a problem -
most of lot is green, not developed

Area per Family - N/A

Off-street Parking - OK

Loading Bays -

Site Plan - Major

Shoreland Zoning/ Stream Protection - N/A

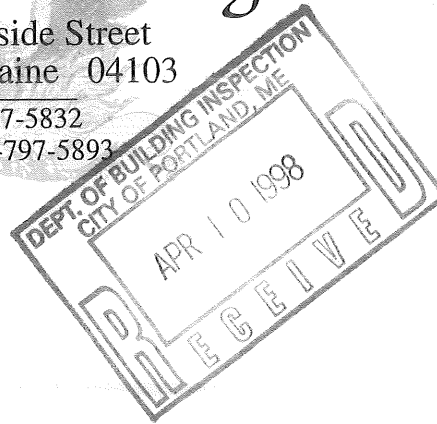
Flood Plains - N/A

Phoenix Welding

557 Riverside Street
Portland, Maine 04103

207-797-5832
FAX 207-797-5893

COPY



20 Mar., 1998

Ms. Kandi Talbot , Planner
City of Portland, Maine
City Hall
389 Congress Street , 4th. Floor
Portland, Maine 04101

Re : Phoenix Welding Co. facilities at 557 Riverside St. Portland , Maine

Dear Ms. Talbot ;

Thank you very much for the assistance given by yourself and Mr. Jim Wendel . It has been a great deal of help to us to be informed as to how to best comply with the various code issues that have been addressed.

As previously stated, it has been our understanding that our original permit was to be for both phases of the intended construction , new office and fabrication facility.

This application for an extension of the time frame of our original Building Permit will incorporate, to the best of our understanding and ability, equitable solutions to each of the points brought about in Mr. Wendel's review. Had we known that all of the items detailed by the outside consultant that was utilized were "cast in stone", we would have filed an amended plan , requested a variance , or done both as required.

In addition to being granted a Building Permit for the new fabrication shop we of course need to have the existing temporary Certificate - of - Occupancy converted to a permanent C of O.

Ref: Jim's letter of 12-22-97.

1. Parking lot striping and final paving.

It is our intent to contract a paving contractor to lay a base coat of asphalt over an enlarged area of the "back lot" once the intended fabrication facility has been erected. Following that, at the contractor's recommendation, the finish coat of asphalt paving will be laid over the entire paved area. Once that is done the lot will be striped for parking provisions.

1A. The extended paving in front of the leech field of the septic system provides additional parking spaces at this time.

2. Sidewalk elevation.

No side walk has been installed in front of the septic system for two reasons. First, is that we have more than adequate room to park all of the employee's vehicles as well as sales persons who call on us. We do no "retail" business, therefore customers do not come here. Secondly, we are told that a City sewer will be installed under Riverside St. in the very near future.

-1-

Industrial Mechanical Contractors • ASME & API Certified Welding
• Petroleum Specialist Shop & Field Fabrication •
Consulting Services — Welding & Quality Control

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980028

I. D. Number

Phoenix Welding
Applicant
557 Riverside St, Portland, ME 04103
Applicant's Mailing Address
Don Johnson
Consultant/Agent
797-5832 **797-5893**
Applicant or Agent Daytime Telephone, Fax

4/10/98
Application Date
Riverside St 557
Project Name/Description

557 Riverside St
Address of Proposed Site
306-B-007
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Fabrication Shop**
60 x 120 **130,280 Sq Ft** **I-H Zone**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review **\$360.00** Date: **6/2/98**

Inspections Approval Status:

Reviewer **Marge Schmuckal**

Approved Approved w/Conditions see attached Denied
Approval Date **9/4/98** Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	6/12/98 date	\$27,028.00 amount	6/11/00 expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	6/12/98 date	\$459.48 amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980028

I. D. Number

Phoenix Welding

Applicant

557 Riverside St, Portland, ME 04103

Applicant's Mailing Address

Don Johnson

Consultant/Agent

797-5832 797-5893

Applicant or Agent Daytime Telephone, Fax

4/10/98

Application Date

Riverside St 557

Project Name/Description

557 Riverside St

Address of Proposed Site

306-B-007

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Fabrication Shop**

130,280 Sq Ft

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review _____ Date: **4/10/98**

Fire Approval Status:

Reviewer **Lt. Mc Dougall** *[Signature]*

Approved Approved w/Conditions see attached Denied

Approval Date **4/13/98** Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance **Lt. Mc Dougall** signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980028
I. D. Number

Phoenix Welding

Applicant

557 Riverside St, Portland, ME 04103

Applicant's Mailing Address

Don Johnson

Consultant/Agent

797-5832 **797-5893**

Applicant or Agent Daytime Telephone, Fax

4/10/98

Application Date

Riverside St 557

Project Name/Description

557 Riverside St

Address of Proposed Site

306-B-007

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Fabrication Shop**

Proposed Building square Feet or # of Units **130,280 Sq Ft** Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$300.00** Subdivisio _____ Engineer Review _____ Date **4/10/98**

Planning Approval Status:

Reviewer **kandi**

- Approved Approved w/Conditions See Attached Denied

Approval Date **6/12/98** Approval Expiration _____ Extension to _____ Additional Sheets Attached

OK to Issue Building Permi **sarah hopkins** **6/12/98**
signature date

Performance Guarantee Required* Not Required

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<input checked="" type="checkbox"/> Performance Guarantee Accepted	6/12/98 date	\$27,028.00 amount	6/11/00 expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	6/12/98 date	\$459.00 amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date	signature	
<input type="checkbox"/> Performance Guarantee Released	_____ date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	signature	
<input type="checkbox"/> Defect Guarantee Released	_____ date	amount	expiration date
	_____ date	signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

19980028
I. D. Number

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Don Johnson

Consultant/Agent

797-5832 797-5893

Applicant or Agent Daytime Telephone, Fax

4/10/98

Application Date

Riverside St 557

Project Name/Description

557 Riverside St

Address of Proposed Site

306-B-007

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
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 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Fabrication Shop**

Proposed Building square Feet or # of Units 130,280 Sq Ft Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$300.00 Subdivision _____ Engineer Review _____ Date: 4/10/98

DRC Approval Status:

Reviewer jim w

Approved Approved w/Conditions see attache Denied

Approval Date 6/12/98 Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance jim w 6/12/98 signature date

Performance Guarantee Required* Not Required

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<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>6/12/98</u> date	<u>\$27,028.00</u> amount	<u>6/11/00</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>6/12/98</u> date	<u>\$459.00</u> amount	
<input type="checkbox"/> Building Permit	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
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<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	