

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that JENLIN ENTERPRISES LLC

Located At 585 RIVERSIDE ST

Job ID: 2012-09-4914-ALTCOMM

CBL: 306-B-006-304

has permission to Add railings above offices in unit 4 & 5

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

10-16-12

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4914-ALTCOMM	Date Applied: 9/7/2012	CBL: 306- B-006-304	
Location of Construction: 585 RIVERSIDE ST / 73 RAINMAKER DRIVE	Owner Name: JENLIN ENTERPRISES LLC	Owner Address: PO BOX 194 YARMOUTH, ME 04096	Phone: 450-8107
Business Name: Puro Clean	Contractor Name: OWNER- BILL SHAFTER	Contractor Address: PO BOX 194-YARMOUTH, ME 04096	Phone: (207) 450-8107
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: I-M
Past Use: Warehouse and office in unit #4 & #5	Proposed Use: Same: Warehouse and office in unit #4 & #5 - to build a railing on top of offices in order to use as storage space	Cost of Work: \$1,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A 10/15/12 Signature: <i>[Signature]</i> (58)	Inspection: Use Group: S Type: 3B MUBEC '09 Signature: <i>[Signature]</i> 10/9/12
Proposed Project Description: Build rail on top of offices for office unit # 4 & #5		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK</i> <i>[Signature]</i> 9/14/12	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-09-4914-ALTCOMM

Located At: 585 RIVERSIDE ST

CBL: 306- B-006-304

Conditions of Approval:

Fire

1. Approved use of the space above the office shall be storage only.
2. All construction shall comply with City Code Chapter 10.
3. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
4. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
5. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
6. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. This permit approves storage only above the offices via a portable rolling ladder, no other occupancy is allowed.
3. Existing sprinkler system shall be modified per NFPA 13 for coverage over this area.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

2012 09 4914 66



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>73 Rainmaker Drive (585 Riverside) Building 3 unit 4+5</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant: (must be owner, lessee or buyer) Name <u>Jenlin Enterprises PO Box 194 - Yarmouth, ME 04096</u> Address <u>73 Rainmaker Dr Building #3 units 4+5</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>(207) 450-8107</u>
Lessee/DBA RECEIVED SEP 07 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name _____ Address _____ City, State & Zip _____	Cost of Work: \$ <u>920⁰⁰</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Warehouse</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Storage</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Building failing out of offices in order to use as storage space</u>		
Contractor's name: <u>Self</u> Email: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Bill Shafter</u> Telephone: <u>207 450-8107</u> Mailing address: <u>PO 194 Yarmouth, ME 04096</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: William L. Shafter Date: 9-7-12

This is not a permit; you may not commence ANY work until the permit is issued



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



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Receipts Details:

Tender Information: Check , BusinessName: Visa, Check Number: 6272
Tender Amount: 30.00

Receipt Header:

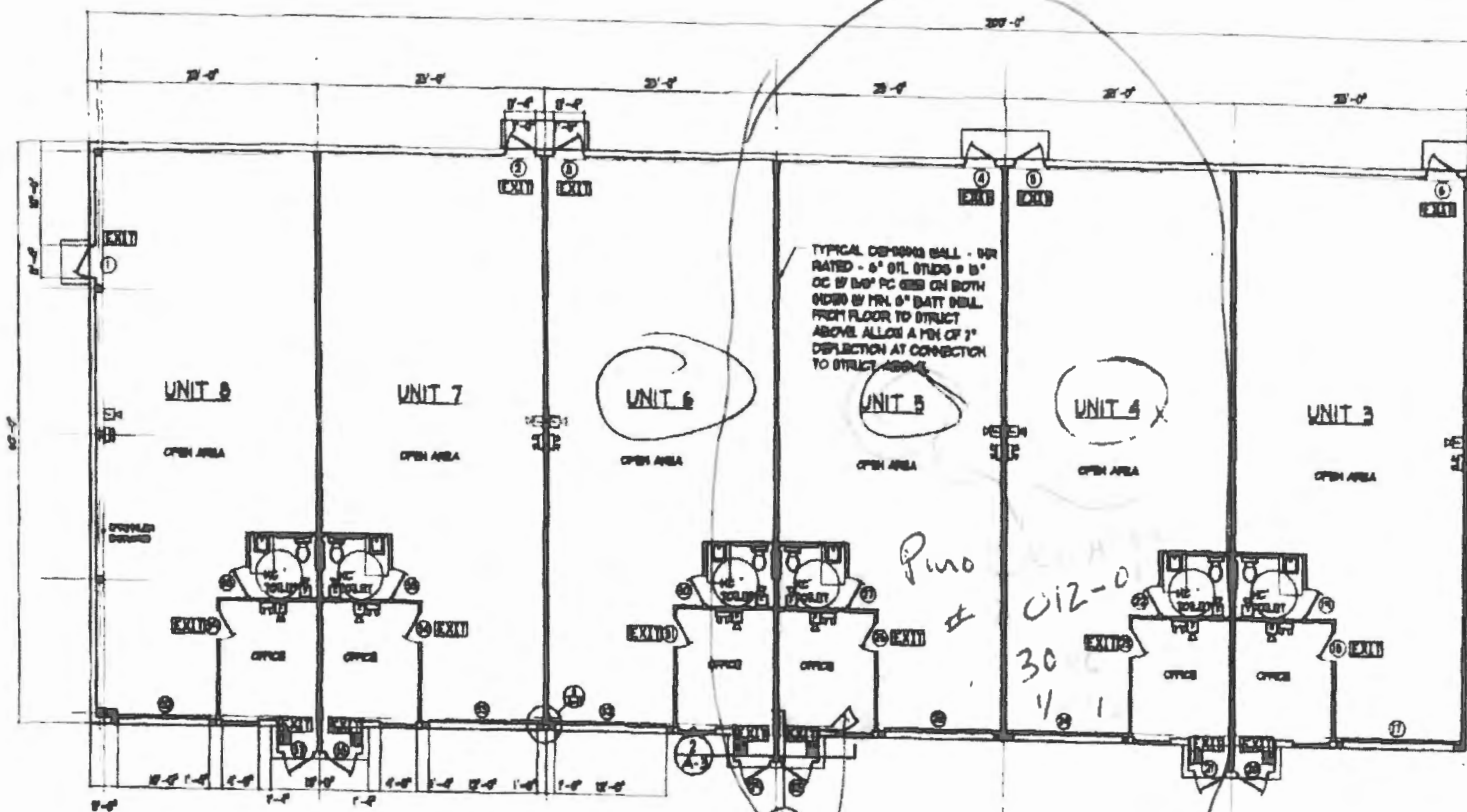
Cashier Id: gguertin
Receipt Date: 9/7/2012
Receipt Number: 47991

Receipt Details:

Referance ID:	7941	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	30.00	Charge Amount:	30.00
Job ID: Job ID: 2012-09-4914-ALTCOMM - Build rail on top of offices for storage space			
Additional Comments: 585 Riverside. St. Biil Shafter			

memo # 304

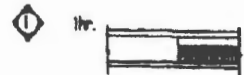
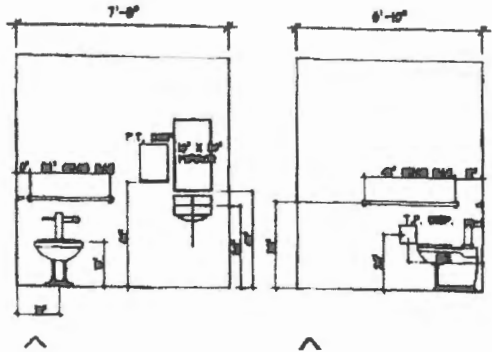
Thank You for your Payment!



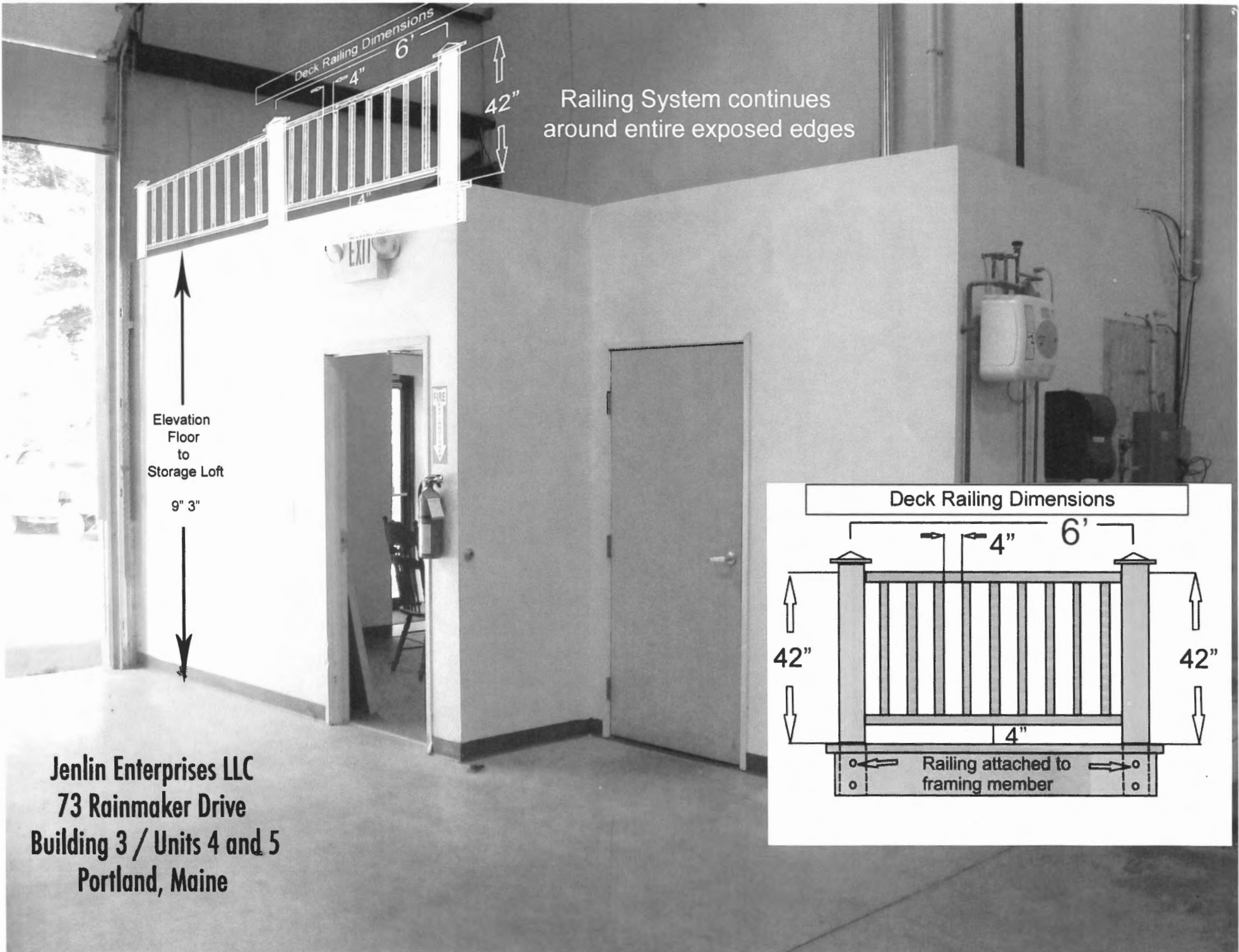
FLOOR PLAN

SCALE: 1/8" = 1'-0"

Above This area
from orig permit # 1808



- FD 1-1/2" 40 5/8" (21.0mm) Fire-Rated Glass (FR) or 5/8" (15.9mm) Fire-Rated FR Board across attached vertically to both sides 3/4" (19.1mm) steel studs, 2x4s (50mm). All outward joints staggered.
- GDU T-1770 5/8" (15.9mm) Fire-Rated Gypsum Wallboard across attached vertically to both sides 3/4" (19.1mm) steel studs, 2x4s (50mm). Wallboard joints staggered. 2 1/2" (63.5mm) joists and or glass fiber in cavity. // NEC 2000
- UL U46B 5/8" Gold Bond Fire-Rated C Wallboard across attached vertically with fasteners 2" o.c. at edges and 12" o.c. in the field of the board to 3/4" (19.1mm) steel studs spaced maximum 24" o.c. with joints staggered on opposite sides of the wall. "Insert" UL" on Ref. 9 "U 46B" on Design No.

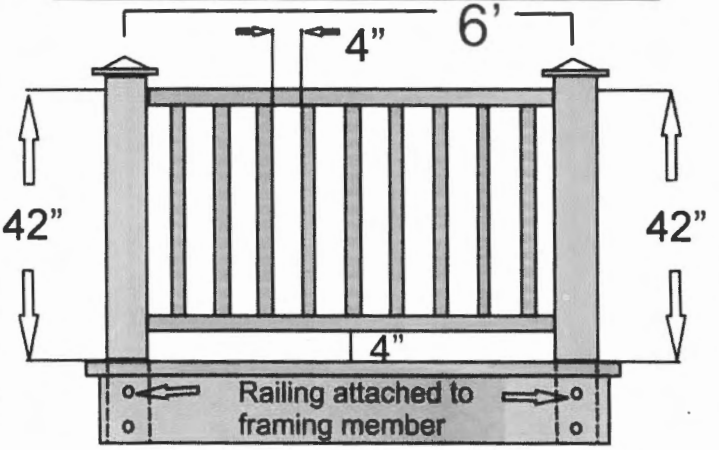


Deck Railing Dimensions

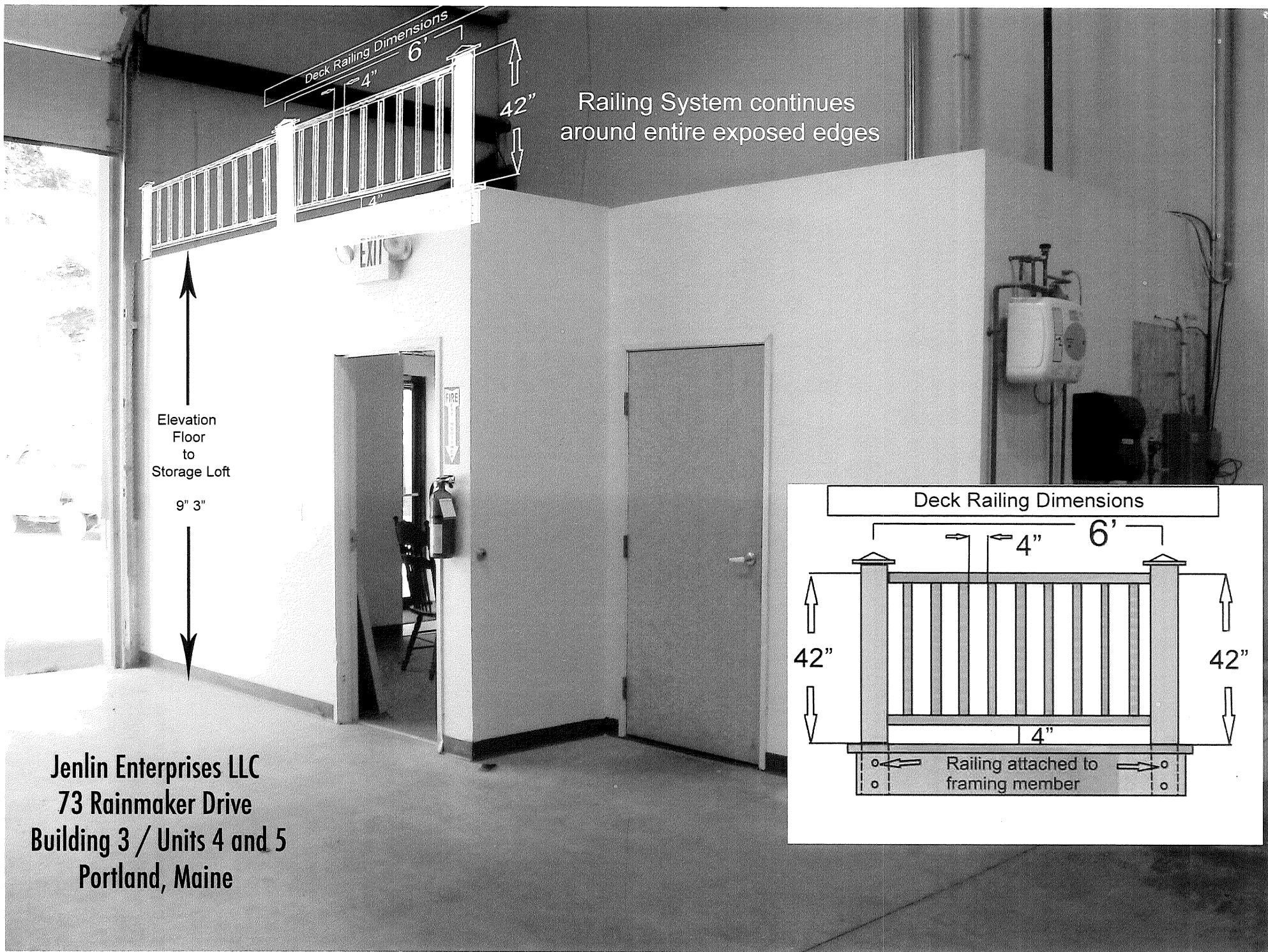
Railing System continues around entire exposed edges

Elevation Floor to Storage Loft
9' 3"

Deck Railing Dimensions



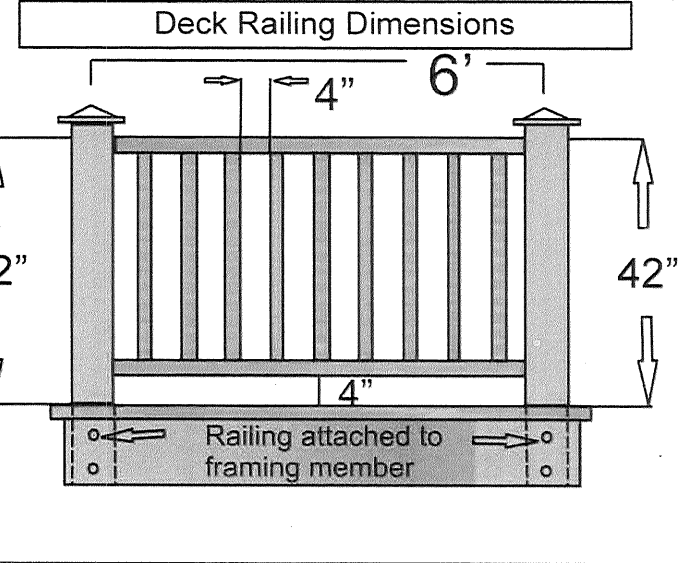
Jenlin Enterprises LLC
73 Rainmaker Drive
Building 3 / Units 4 and 5
Portland, Maine



Deck Railing Dimensions

Railing System continues around entire exposed edges

Elevation Floor to Storage Loft
9' 3"



Jenlin Enterprises LLC
73 Rainmaker Drive
Building 3 / Units 4 and 5
Portland, Maine



keyword or item #

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Ladders

Home >> Ladders >> Rolling Ladders >> Steel Rolling Ladders

Rolling Ladders

- aluminum rolling ladders
- ladder options
- platform ladders and lifts
- ▶ steel rolling ladders

Accessories

- Extension Ladders
- Ladder Racks
- Scaffolding Ladders
- Step Ladders
- Step Stools
- Work Platforms

PREVIOUSLY VIEWED...

Industrial Steel Rolling Safety Ladder w/ Handrails - Perforated Metal - 12 Steps - 150"H O.A. - Ballymore

Industrial Steel Rolling Safety Ladder w/ Handrails - Perforated Metal - 11 Steps - 140"H O.A. - Ballymore

Print



View Larger Image

Item #: C704P11LGR

Manufacturer:

Ballymore Co Inc /

Garlin Enterprises

Manufacturer Item #:

113214P

\$674.00

Dimensions

- No. of Steps w/Top: 11
- With Handrail: Yes
- Top Step Height/in.: 110
- Base Length/in.: 79
- Base Width/in.: 32
- Step Width/in.: 24
- O.A. Height/ft.: 140

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