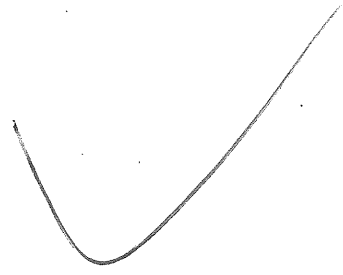
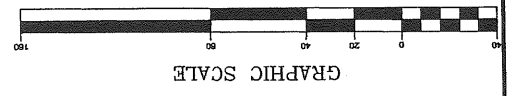


304-B-32  
425 Warren Ave.  
Office / Warehouse  
424 Warren Ave.  
LLC.





NO.	REFERENCE DRAWINGS
1.	STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY BY LEWIS & WAININA INC., SEPTEMBER, 2000
2.	WETLANDS BOUNDARY DELINEATED BY MARK HAMPTON ASSOC., 2002

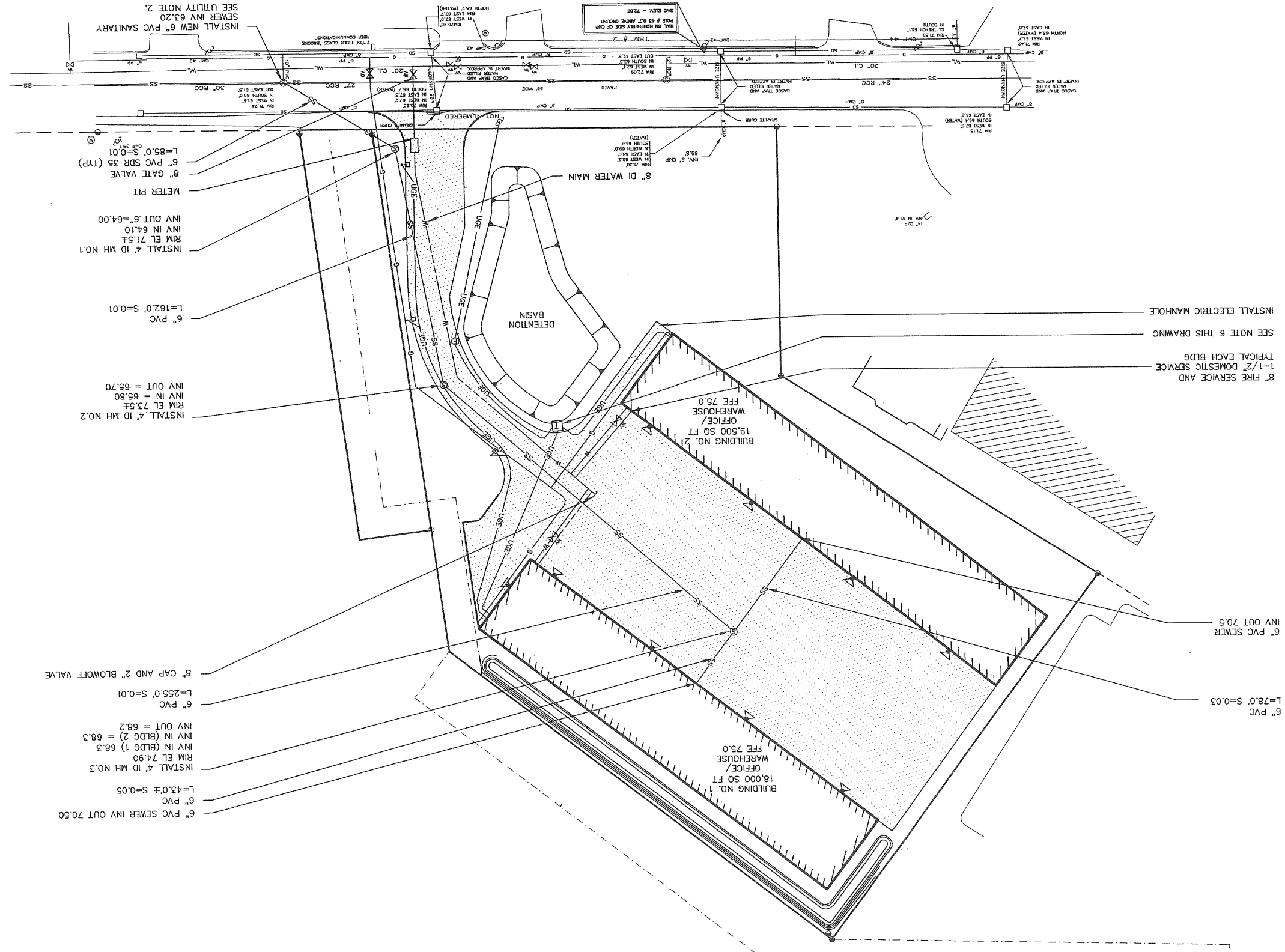
  

REV.	DATE	STATUS
A	5/20/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION
B	1/14/03	CONCEPT 3 SUBMITTED FOR REVIEW
C	2/20/03	CONCEPT 4 SUBMITTED FOR REVIEW
D	8/26/03	REVISED PER CITY REVIEW COMMENTS
E	10/14/03	REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW



OWNER: 424 Warren Ave LLC  
 424 Warren Ave LLC  
 c/o Harbour Auto Body, 401 Warren Ave., Portland, 04103  
 P.O. BOX 864, CUMBERLAND CENTER, ME, 04021  
 Phone: (207) 829-8994 Fax: (207) 829-2231 Email: info@tytdesign.com

FIELD BOOK #	DESIGN: AAH	PROJECT: COMMERCIAL DEVELOPMENT
0228101-C-101	DATE: December 2002	SCALE: 1" = 40'
02-28101	PROJ. NO.	DWG. NO.
02-28101	REV. E	C-103



- UTILITY NOTES:**
1. WATER LINES, CONNECTIONS, AND VALVES SHALL MEET THE SPECIFICATION AND INSTALLATION REQUIREMENTS OF THE PORTLAND WATER DISTRICT.
  2. ALL SANITARY AND STORM DRAINAGE PIPES AND STRUCTURES SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY OF PORTLAND SPECIFICATION AND STANDARDS PIPE CONNECTION SHALL BE INSTALLED.
  3. NATURAL GAS LINE AND ENTRANCE SHALL BE INSTALLED IN CONFORMANCE WITH NORTHERN UTILITIES STANDARDS.
  4. UNDERGROUND CONDUIT, MANHOLE AND TRANSFORMER PAD TO BE INSTALLED TO CENTRAL MAINE POWER COMPANY SPECIFICATIONS.
  5. UTILITIES SHOWN ON THIS PLAN ARE BASED ON A COMPILED OF FIELD OBSERVATIONS AND READY AVAILABLE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER NOTIFICATION OF ALL UTILITY COMPANIES, AND SHALL CONFORM TO ALL FEDERAL AND STATE REGULATIONS IN CONNECTION WITH CONSTRUCTION ACTIVITIES IN THE VICINITY OF UNDERGROUND UTILITIES. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  6. INSTALL THREE PHASE TRANSFORMER FOUNDATION PAD ACCORDING TO THE SPECIFICATIONS AND DETAILS IN THE "HANDBOOK OF STANDARD REQUIREMENTS FOR ELECTRICAL SERVICE AND METER INSTALLATION" CENTRAL MAINE POWER, LATEST EDITION.

EXISTING		PROPOSED	
	BUILDING		INTERMEDIATE CONTOUR
	WETLAND		PROPERTY LINE
	RIGHT-OF-WAY LINE		EASEMENT LINE
	PROPERTY SETBACK		EDGE OF PAVEMENT
	CONCRETE CURB		GRANITE CURB
	TREE LINE		TREE
	CHAINLINK FENCE		SIGN
	OVERHEAD UTILITY LINE		UNDERGROUND UTILITY LINE
	OVERHEAD ELECTRIC		UNDERGROUND ELECTRIC
	GAS LINE		SANITARY SEWER LINE
	STORM DRAIN		WATER LINE
	UTILITY POLE		LIGHT POLE
	CATCH BASIN		SANITARY MANHOLE
	DRAIN MANHOLE		TRANSFORMER
	FIRE HYDRANT		

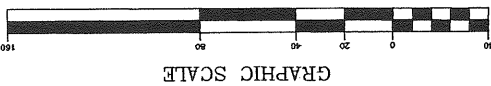


NO.	REV.	DATE	STATUS
1	10/14/03	9/8/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW
2	9/8/03	9/30/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW
3	9/30/03	9/30/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION

NO.	REV.	DATE	STATUS
1	10/14/03	9/8/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW
2	9/8/03	9/30/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW
3	9/30/03	9/30/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITTEN PERMISSION FROM SYTDesign CONSULTANTS. ANY ALTERATIONS, OTHERS, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign CONSULTANTS.

1 INCH = 40 FT  
( IN FEET )

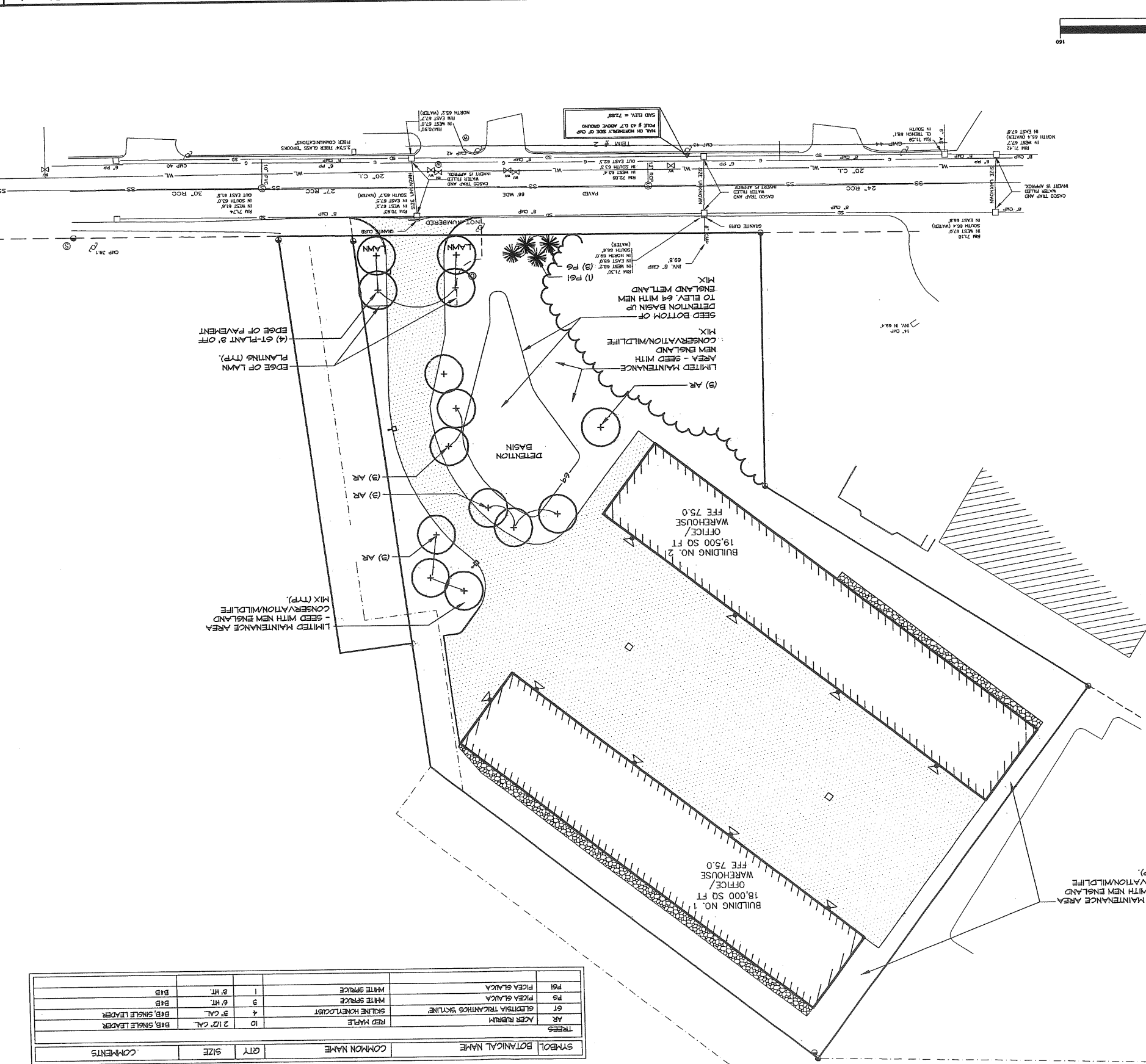


**424 Warren Ave LLC**  
 c/o Harbour Auto Body, 401 Warren Ave. Portland, 04103  
 OWNER:

**SYTDesign Consultants**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 P.O. BOX 864, CUMBERLAND CENTER, ME. 04021  
 Phone: (207) 829-0884 Fax: (207) 829-2231 Email: info@sytdesign.com



PROJECT	DESIGN: PBB	DRAWN: PBB	CHKD: WSD
COMMERCIAL DEVELOPMENT			
LANDSCAPE PLAN			



**PLANT LIST:**

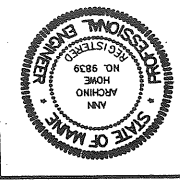
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
AR	ACER RUBRA	RED MAPLE	10	2 1/2" CAL.	B&B, SINGLE LEADER
GT	QUERCUS TRICOLOR	WHITE OAK	4	3" CAL.	B&B, SINGLE LEADER
P6	PICEA GLAUCA	WHITE SPRUCE	3	6" HT.	B&B
P6I	PICEA GLAUCA	WHITE SPRUCE	1	6" HT.	B&B

- LANDSCAPE NOTES:**
1. LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS TO REMAINS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
  2. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PLACING ANY PLANT MATERIAL.
  3. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERIES' AMERICAN STANDARD OF NURSERY STOCK.
  4. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  5. ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED. DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
  6. MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
  7. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
  8. NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF GRADE AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
  9. ALL TREES ALONG DRIVES AND PARKING AREAS SHALL BEGIN BRANCHING AT 6 FT. MIN.
  10. ALL PLANT MATERIAL, OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
  11. CONTRACTOR SHALL LOCATE DISTURBED AREAS AS FOLLOWS:  
 - LAWNS AREAS 6" DEPTH OF TOPSOIL.  
 - SWALES, DETENTION AND LIMITED MAINTENANCE AREAS 4" DEPTH OF TOPSOIL.
  12. SEED MIXTURES FOR AREAS TO BE SEEDDED SHALL BE AS FOLLOWS:  
 - SWALES, DETENTION AND LIMITED MAINTENANCE AREAS TO BE SEEDDED WITH:  
 - NEW ENGLAND AND CONSERVATION WILDLIFE MIX AS DISTRIBUTED BY NEM ENGLAND WETLAND PLANTS, INC. 500 MAIN STREET, AMHERST, MA 01002 (413) 256-1752.  
 APPLY AT A RATE OF 1 LB PER 145 SF. (25 LBS. PER ACRE) OR APPROVED EQUIV.  
 - LAWNS SHALL BE SEEDDED WITH:  
 - NEW ENGLAND WETLAND PLANTS, INC. 500 MAIN STREET, AMHERST, MA 01002 (413) 256-1752.  
 APPLY AT A RATE OF 1 LB PER 145 SF. (25 LBS. PER ACRE) OR APPROVED EQUIV.  
 - DETENTION BASIN BOTTOM UP TO ELEVATION 64 IS TO BE SEEDDED WITH:  
 - NEW ENGLAND WETLAND PLANTS, INC. 500 MAIN STREET, AMHERST, MA 01002 (413) 256-1752.  
 APPLY AT A RATE OF 1 LB PER 145 SF. (25 LBS. PER ACRE) OR APPROVED EQUIV.  
 - SWALES, DETENTION AND LIMITED MAINTENANCE AREAS TO BE SEEDDED WITH:  
 - NEW ENGLAND WETLAND PLANTS, INC. 500 MAIN STREET, AMHERST, MA 01002 (413) 256-1752.  
 APPLY AT A RATE OF 1 LB PER 145 SF. (25 LBS. PER ACRE) OR APPROVED EQUIV.  
 - DETENTION BASIN BOTTOM UP TO ELEVATION 64 IS TO BE SEEDDED WITH:  
 - NEW ENGLAND WETLAND PLANTS, INC. 500 MAIN STREET, AMHERST, MA 01002 (413) 256-1752.  
 APPLY AT A RATE OF 1 LB PER 145 SF. (25 LBS. PER ACRE) OR APPROVED EQUIV.
  13. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
  14. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
  15. SEE DRAWINGS C-100 THRU C-104, C-300 THRU C-301 FOR ADDITIONAL INFORMATION.

**LEGEND**

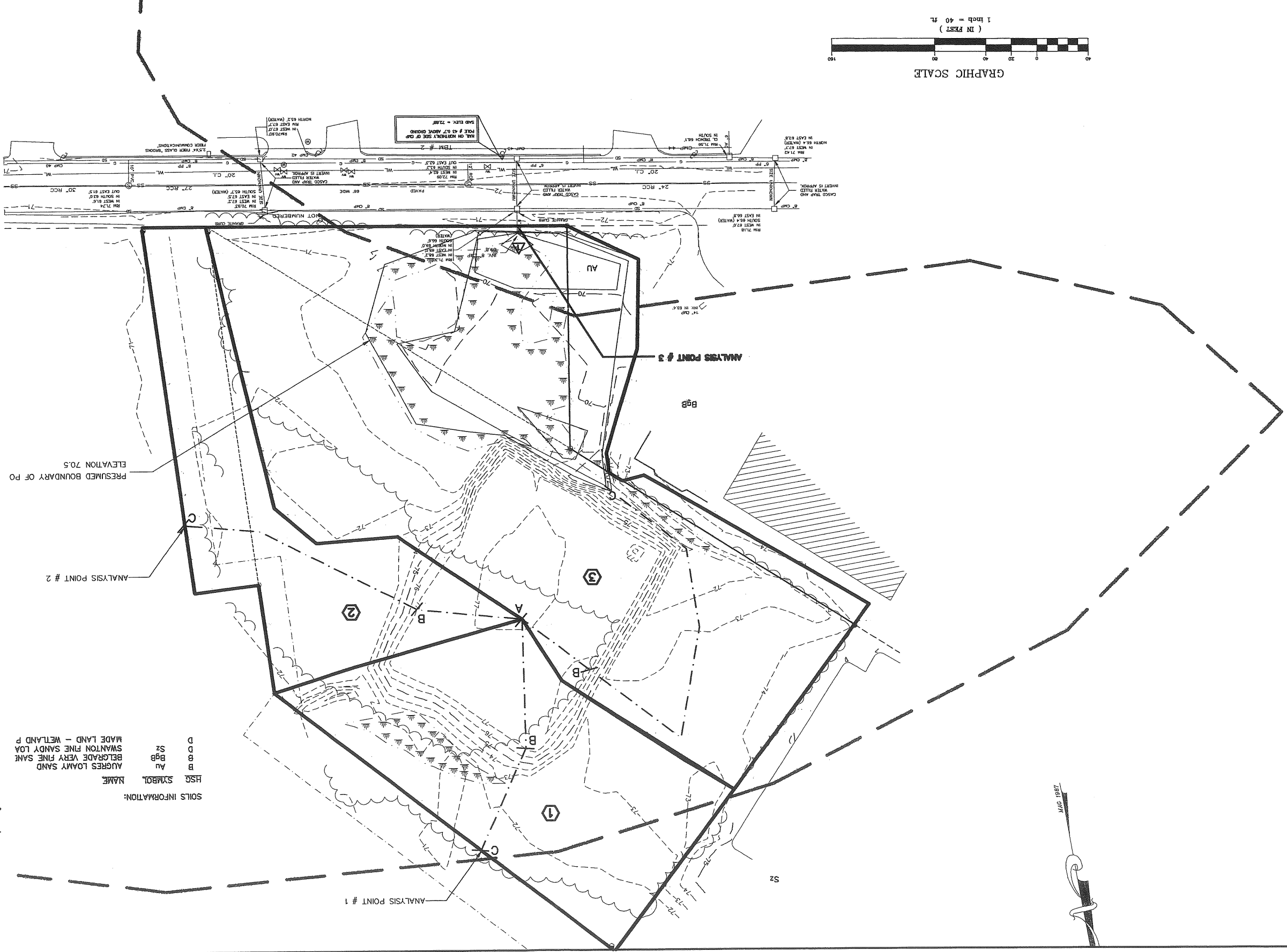
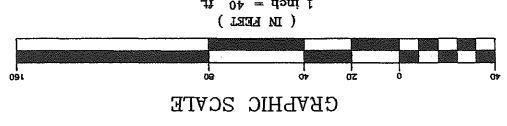
EXISTING	PROPOSED
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165	165
INDEX CONTOUR	BUILDING
WETLAND	PROPERTY LINE
PROPERTY LINE	RIGHT-OF-WAY LINE
EASEMENT LINE	PROPERTY SETBACK
CONCRETE CURB	GRANITE CURB
TREELINE	TREE
CHAINLINK FENCE	GUARD RAIL
OVERHEAD UTILITY LINE	OHU
UNDERGROUND UTILITY LINE	UGU
OVERHEAD ELECTRIC	OHU
UNDERGROUND ELECTRIC	UGU
GAS LINE	UGU
SANITARY SEWER LINE	UGU
STORM DRAIN	UGU
WATER LINE	UGU
UTILITY POLE	UGU
LIGHT POLE	UGU
CATCH BASIN	UGU
SANITARY MANHOLE	UGU
DRAIN MANHOLE	UGU
TRANSFORMER	UGU
FIRE HYDRANT	UGU
SILT FENCE	UGU

NO.	REV.	DATE	STATUS
	A	5/28/03	SUBMITTED WITH CITY SITE REVIEW APPLICATION
	B	10/14/03	REVISED AND RESUBMITTED FOR CITY REVIEW



CLIENT: 424 WARREN AVENUE LLC  
 c/o 401 Warren Ave., Portland, Maine 04103  
 SYTDesign Consultants  
 CIVIL ENGINEERS & LAND SURVEYORS  
 P.O. BOX 864, CUMBERLAND CENTER, ME, 04021  
 Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

REV.	NO.	DATE	SCALE	DRAWING NAME
B	02-28101	MARCH, 2003	1" = 40'	PRE-DEVELOPMENT WATERSHED PLAN



SOLS INFORMATION:

HSG	SYMBOL	NAME
D		MADE LAND - WETLAND P
Bg		BEGRADE VERY FINE SAND
B		AUGRES LOAMY SAND
Au		SWANTON FINE SANDY LOA
Sz		

LEGEND

	EXISTING
	SUBCATCHMENT BOUNDARY
	SUBCATCHMENT DESIGNATION
	TIME OF CONCENTRATION FLOW
	SOILS BOUNDARY
	SOILS DESIGNATION
	REACH DESIGNATION
	POND

10E

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign CONSULTANTS. ANY ALTERATIONS, OMISSIONS, OR CHANGES, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign CONSULTANTS.

NO.	REV.	DATE	STATUS
	A	5/28/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION
	B	8/26/03	REVISED PER CITY REVIEW COMMENTS
	C	10/14/03	REVISED AND RESUBMITTED FOR CITY REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTD&S CONSULTANTS. ANY ALTERATIONS OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTD&S CONSULTANTS.

BY	CHKD	APPD
AH	WSD	WSD
RC	AH	WSD
AH	WSD	WSD

**SYTD&S**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
 Phone: (207) 828-8994 Fax: (207) 828-2231 Email: info@sytd&s.com

**CLIENT:**  
 424 WARREN AVENUE LLC  
 c/o 401 Warren Ave., Portland, Maine 04103

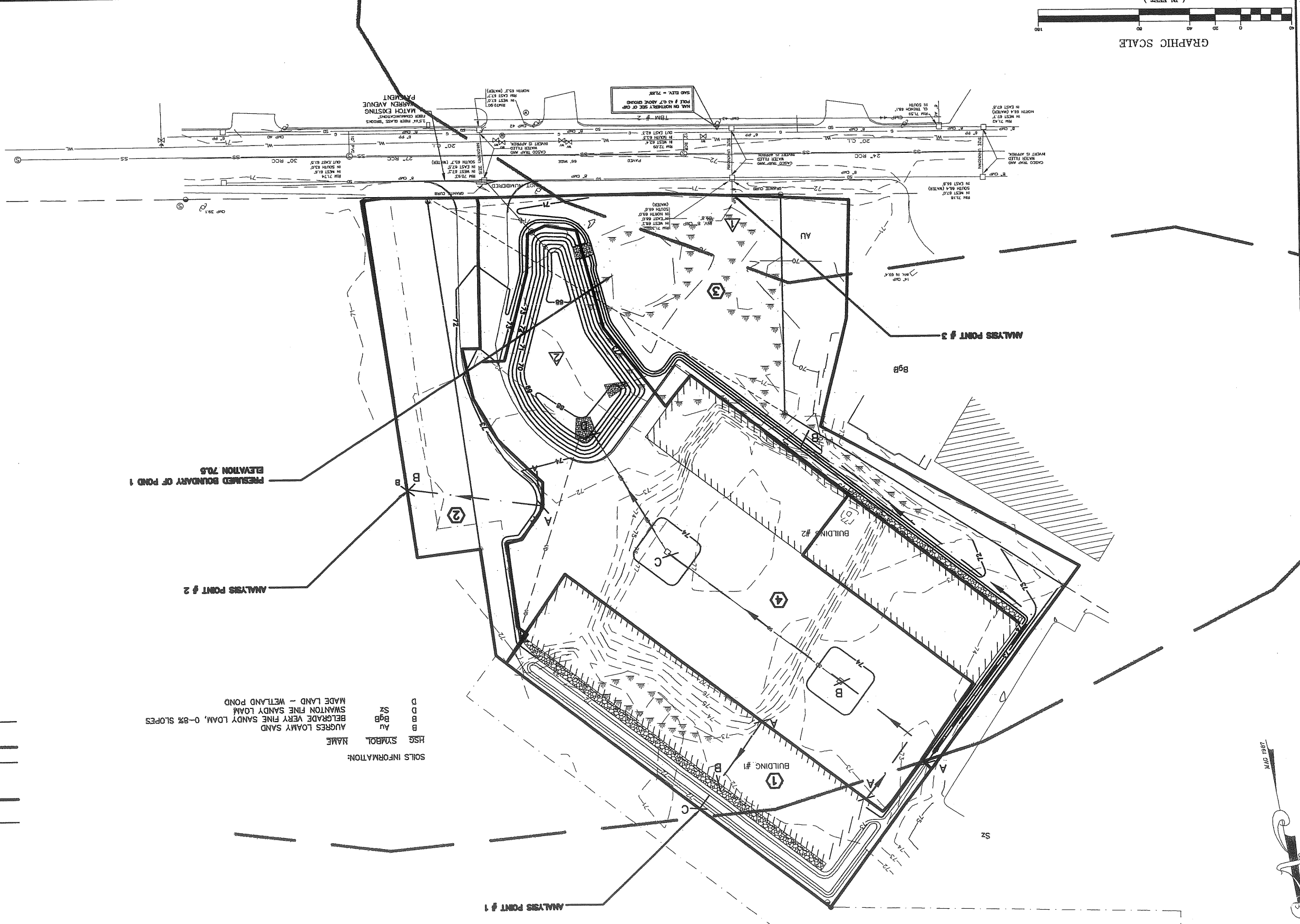
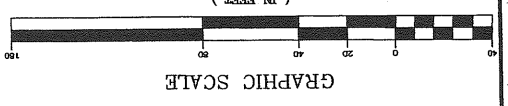
**PROJECT:**  
 COMMERCIAL DEVELOPMENT  
 424 WARREN AVE, PORTLAND, MAINE

**DESIGN:** AAH  
**DRAWN:** AAH  
**CHKD:** WSD

**FIELD BOOK #**  
**FIELD BOOK #**

**DATE:** MARCH, 2003  
**SCALE:** 1" = 40'

**PROJECT NO.:** 02-28101  
**DWG. NO.:** D-102



**SOILS INFORMATION:**

HSG	SYMBOL	NAME
B	B	AUGRES LOAMY SAND
B	BgB	BELGRADE VERY FINE SANDY LOAM, 0-8% SLOPES
D	Sz	SWANTON FINE SANDY LOAM
D	D	MADE LAND - WETLAND POND

**LEGEND**

PROPOSED	—
SUBCATCHMENT BOUNDARY	⬡
SUBCATCHMENT DESIGNATION	⬡
TIME OF CONCENTRATION FLOW	A
SOILS BOUNDARY	S
SOILS DESIGNATION	Sn
REACH	R-1
REACH DESIGNATION	R-1
POND	∇

10F



NO.	REV.	DATE	STATUS
	A	5/30/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION
	B	10/14/03	REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW

BY	CHKD	APPD
RMC	AAH	WSD
RMC	AAH	WSD



**SYDesign Consultants**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
 Phone: (207) 828-6894 Fax: (207) 828-2231 Email: info@sydesign.com

**OWNER:**  
 424 Warren Avenue, LLC  
 c/o 401 Warren Ave, Portland ME 04103

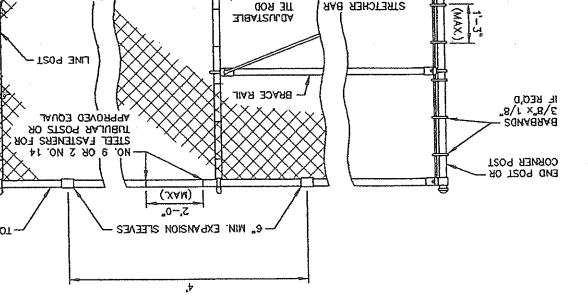
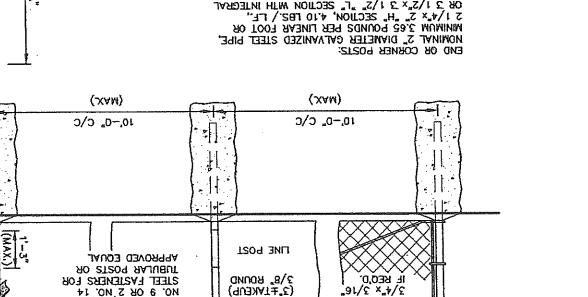
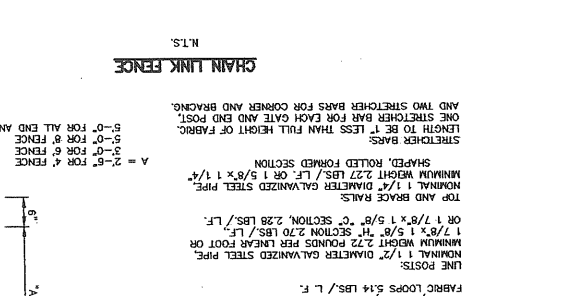
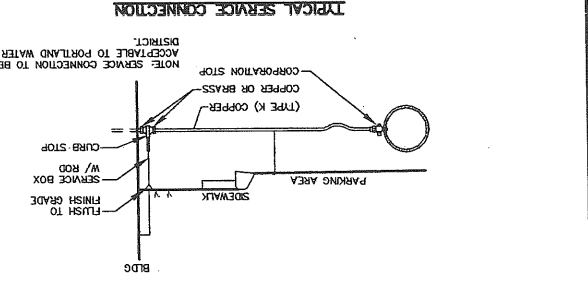
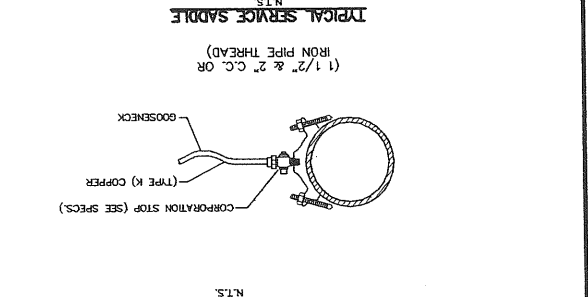
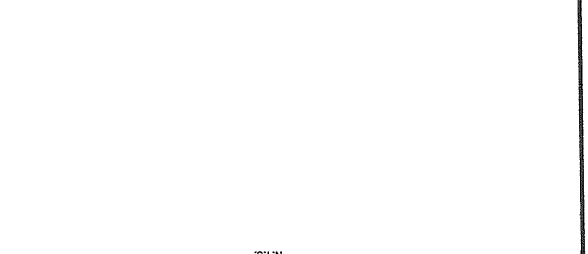
**PROJECT:**  
 COMMERCIAL DEVELOPMENT  
 424 Warren Ave., Portland, ME 04103

**DESIGN:** AAH  
**DRAWN:** RMC  
**CHKD:** WSD

**DATE:** JANUARY 2003  
**SCALE:** AS NOTED

**PROJECT NO.:** 02-28101  
**DWG. NO.:** C-301

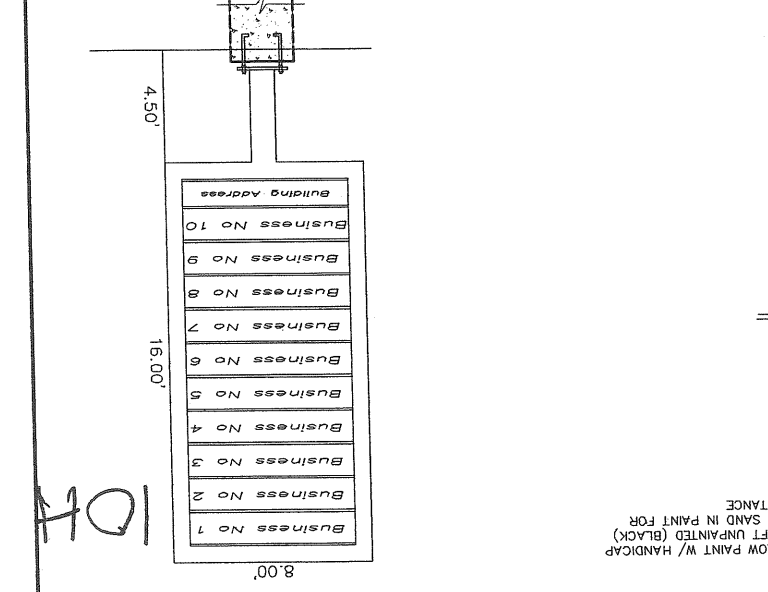
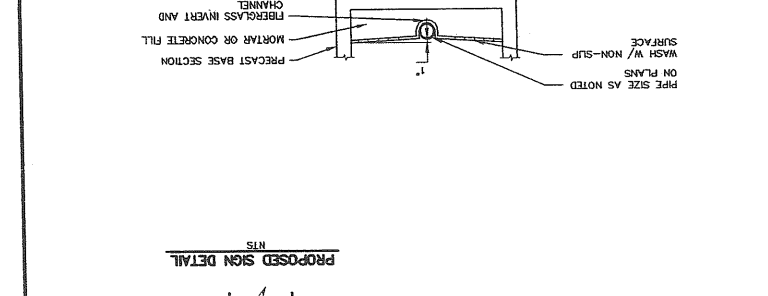
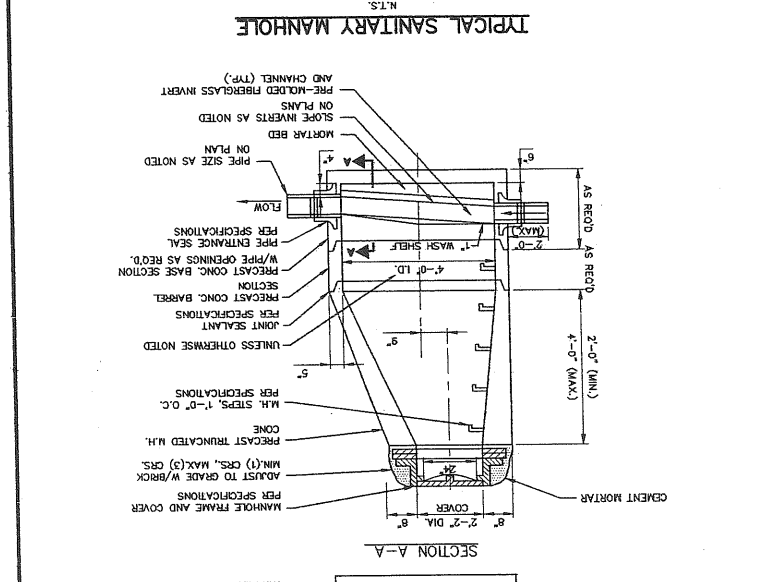
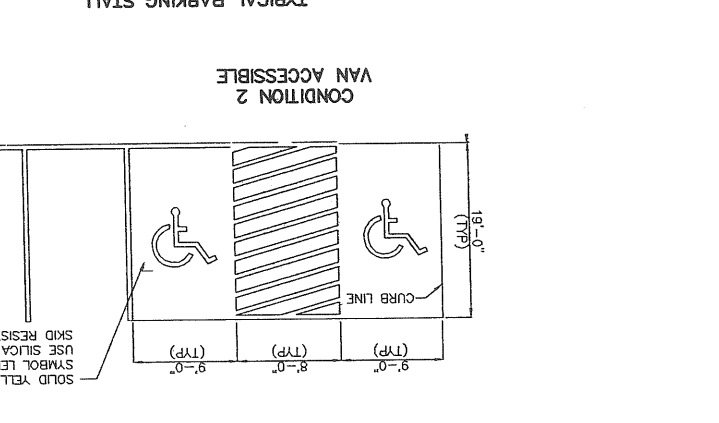
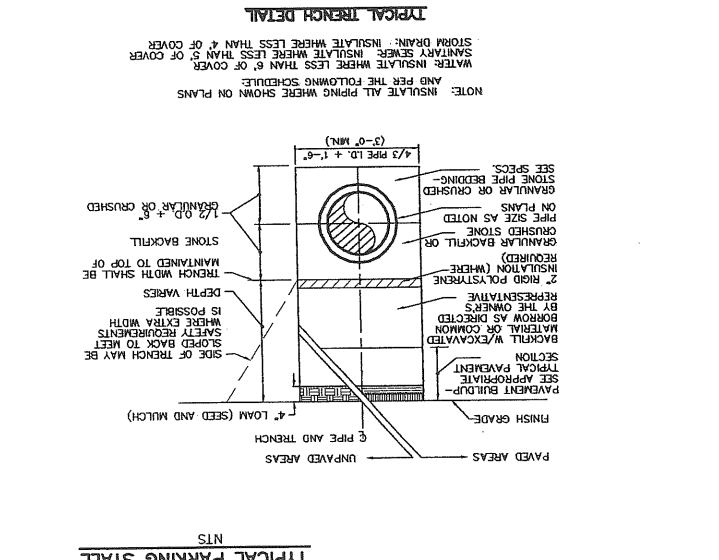
**REV.:** B  
**REV.:** 02-28101



**SIZE REQUIREMENTS FOR CONCRETE THURST BLOCKS**

PIPE SIZE	4\"/>				
4"	2.0	1.0	1.0	N/A	N/A
6"	3.0	2.0	2.0	6.0	N/A
8"	5.0	3.0	4.0	N/A	N/A
10"	7.0	4.0	5.0	N/A	N/A
12"	10.0	6.0	7.0	N/A	N/A
14"	13.0	7.0	10.0	N/A	N/A
16"	17.0	9.0	12.0	N/A	N/A

BEARING ON UNDISTURBED SOIL (SQUARE FT.)



104

PROJECT: 2002 PROJECTS 02 28101.dwg 02 28101-C-300.dwg 10/11/2005 11:01:42 AM

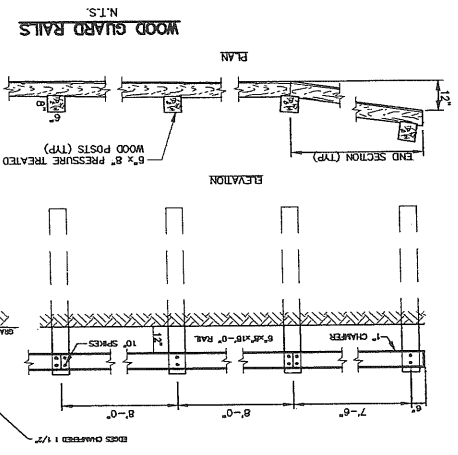
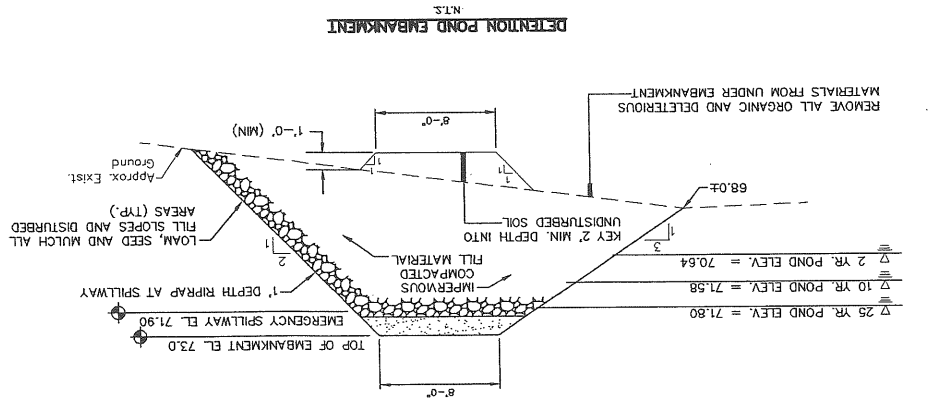
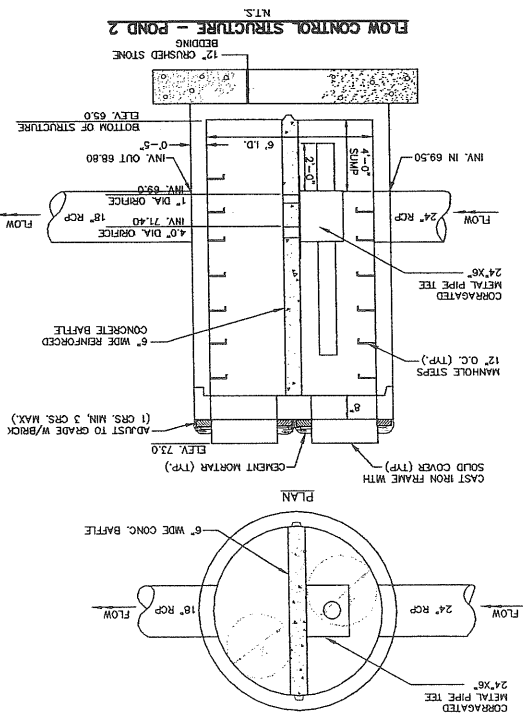
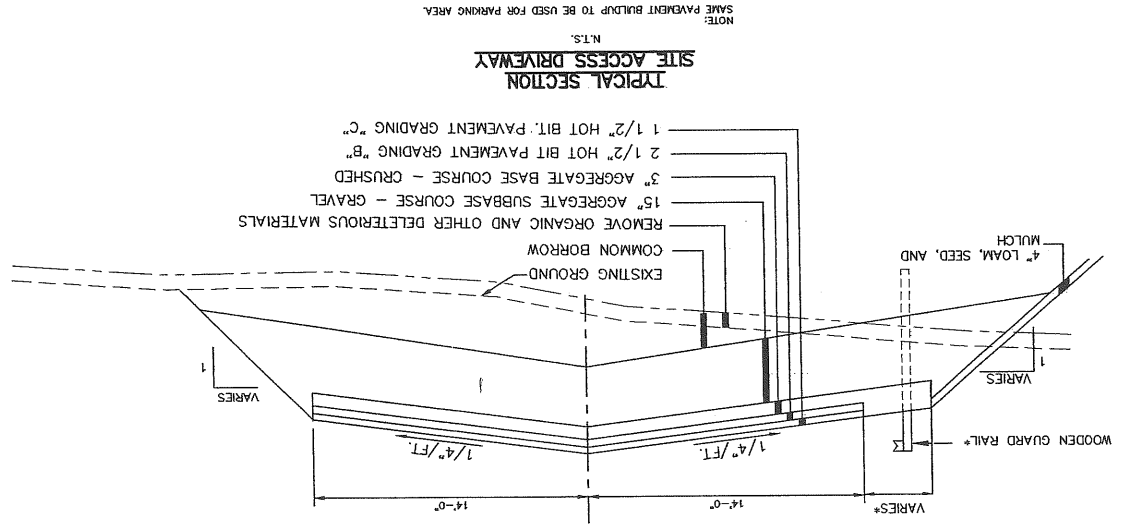
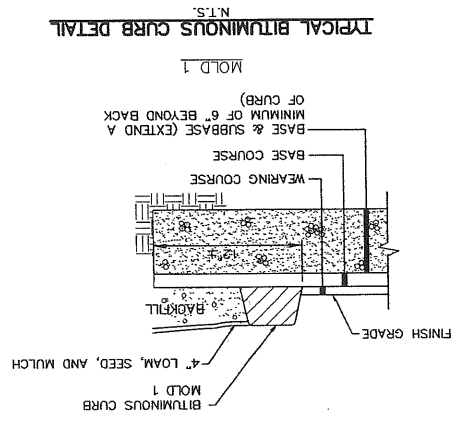
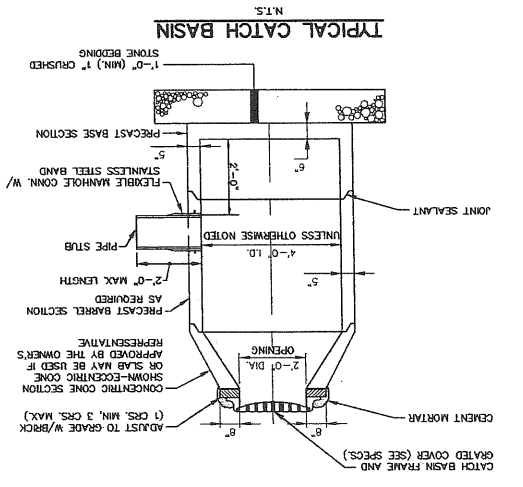
NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS
A		5/30/03		SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION
B		10/14/03		REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW

BY	CHKD	APPD
RMC	AH	WSD
RMC	AH	WSD

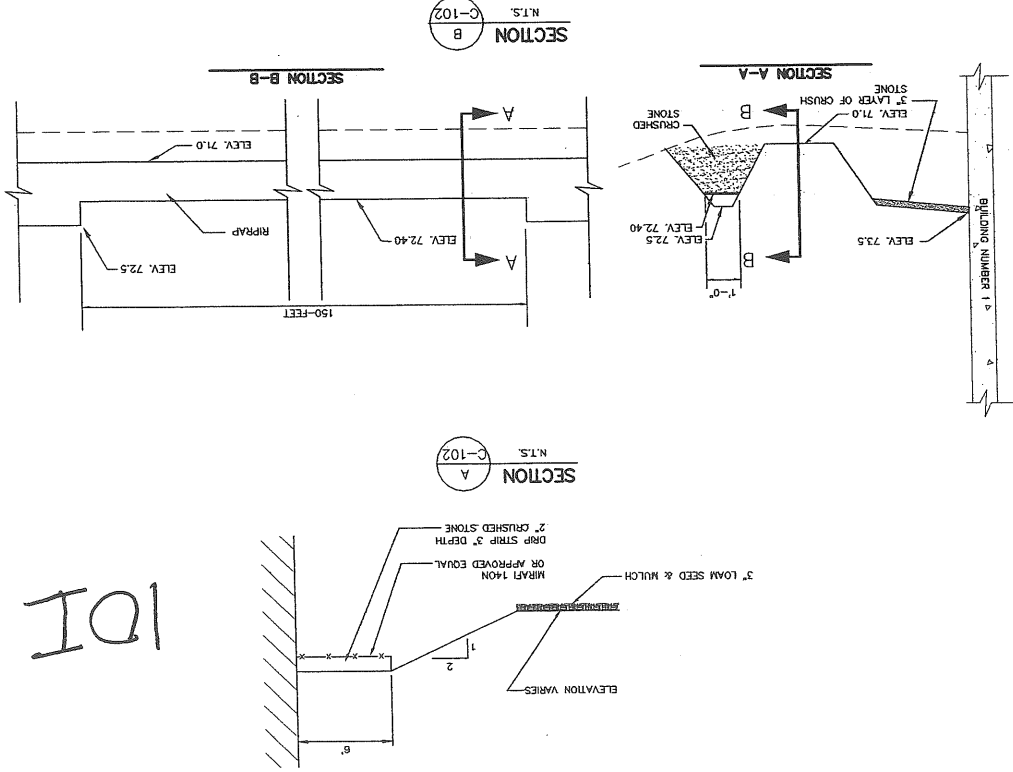


OWNER: 424 Warren Avenue, LLC  
 c/o 401 Warren Ave. Portland ME 04103  
 424 Warren Avenue, LLC  
 P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
 Phone: (207) 829-8984 Fax: (207) 829-2291 Email: info@sydesign.com

FIELD BOOK #	DESIGN: AAH	DRAWN: RMC	CHKD: WSD	PROJECT
				COMMERCIAL DEVELOPMENT
				424 Warren Ave., Portland, ME 04103
				CIVIL DETAILS AND SECTIONS
				SHEET 2 OF 2
				02-28101
				C-302



BUILDING NO. 2 DRAINAGE SWALE



101

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYDESIGN CONSULTANTS. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYDESIGN CONSULTANTS.

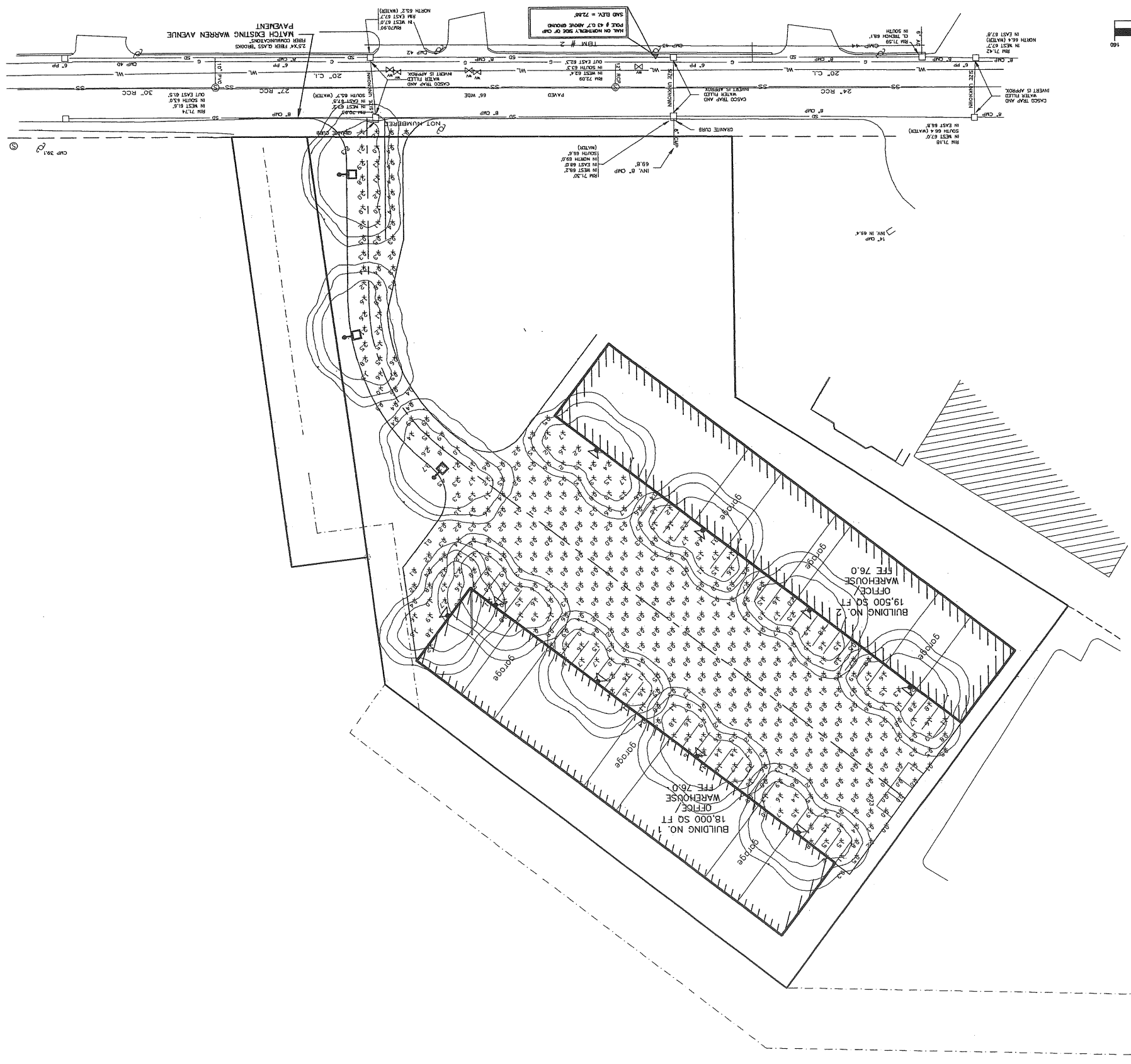
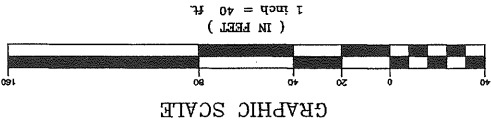


NO.	REFERENCE DRAWINGS
1.	PHOTOMETRICS PREPARED BY CHARLTON INC., SEPTEMBER 2003, 40 LONDONBERRY TURNPIKE, NORTHPOINT PARK, MANCHESTER, NH, 03106 (603) 624-4827.

REV.	DATE	STATUS
A	9/11/03	SUBMITTED FOR SITE PLAN REVIEW BY PLANNING BOARD
B	10/14/03	REVISED AND SUBMITTED FOR CITY SITE PLAN REVIEW

OWNER:	424 Warren Ave LLC c/o Harbour Auto Body, 401 Warren Ave, Portland, 04103
PROJECT:	P.O. BOX 664, CUMBERLAND CENTER, ME, 04021 Phone: (207) 828-8984 Fax: (207) 828-2231 Email: info@sytdesign.com
PROJECT:	SYTDesign Consultants CIVIL ENGINEERS & LAND SURVEYORS

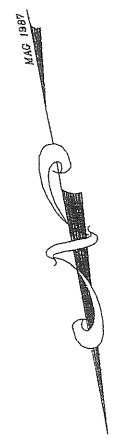
PROJECT:	COMMERCIAL DEVELOPMENT 424 Warren Ave., Portland, ME 04103
DESIGN:	FIELD BOOK #
DRAWN:	PAGE
CHKD:	FLAT FILE
DATE:	INDEX NUMBER
DATE:	DATE:
DWG. NO.	NO.
PROJ. NO.	NO.
REV.	REV.

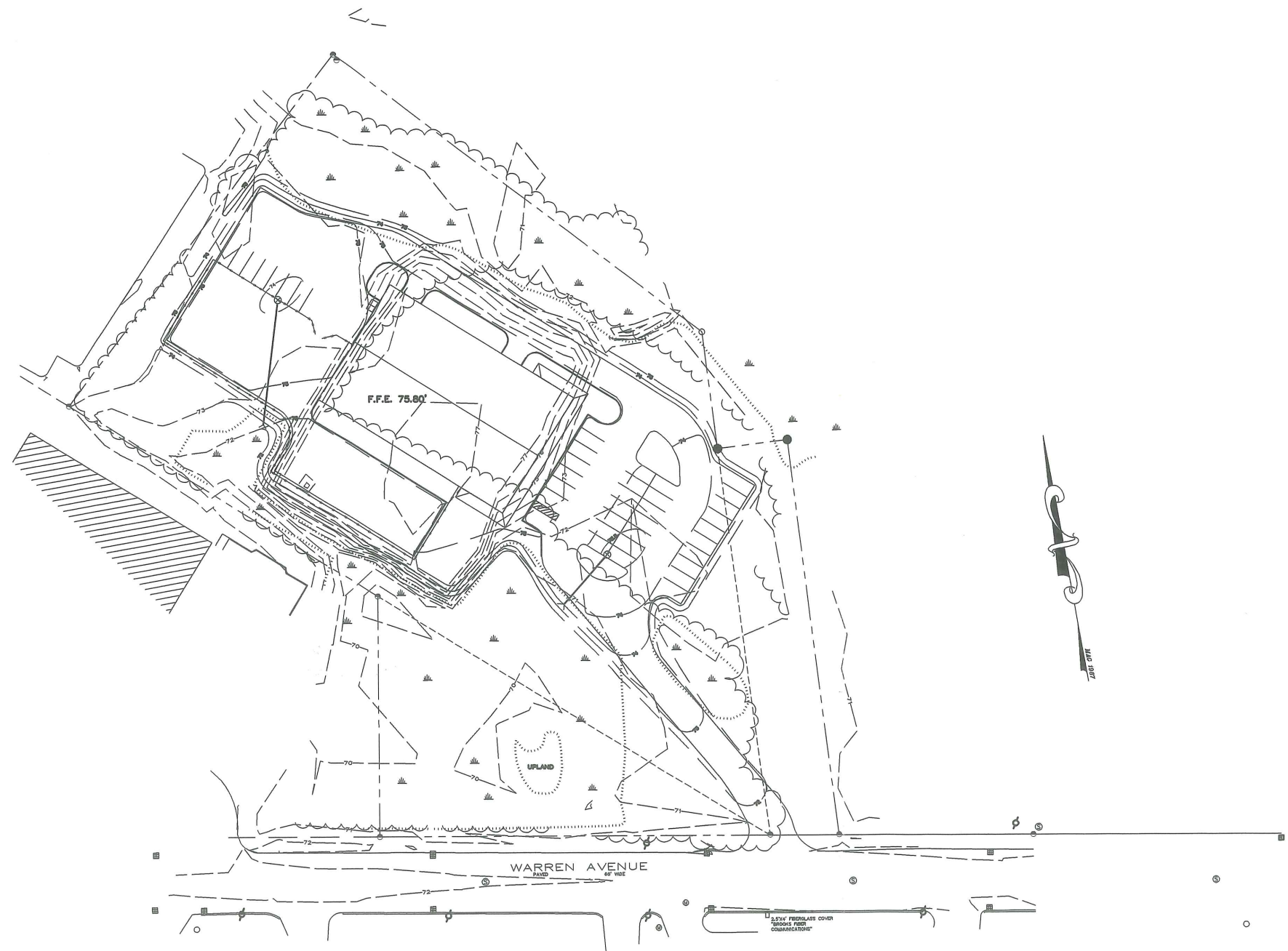


- LIGHTING NOTES:
- ILLUMINATION STATISTICS  
AVE 074 MAX 5.09 MIN 0.00 AVE/MIN 19.41 MAX/MIN 127.41
  - POLE MOUNTED FIXTURE - US ARCHITECTURAL VRS-III-175MH-MT-1/SNTS184-11-1-1  
AT A MOUNTING HEIGHT OF APPROXIMATELY 18' ABOVE GRADE.
  - WALL MOUNTED FIXTURE - GREENLEE WCS-175MH-MT-2  
AT A MOUNTING HEIGHT OF APPROXIMATELY 16' ABOVE GRADE.

105

PROPOSED	LEGEND
	BUILDING
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	PROPERTY SETBACK
	EDGE OF PAVEMENT
	BITUMINOUS CURB
	GRANITE CURB
	TREELINE
	OVERHEAD UTILITY LINE
	UNDERGROUND UTILITY LINE
	POLE MOUNTED LIGHT
	WALL MOUNTED LIGHT





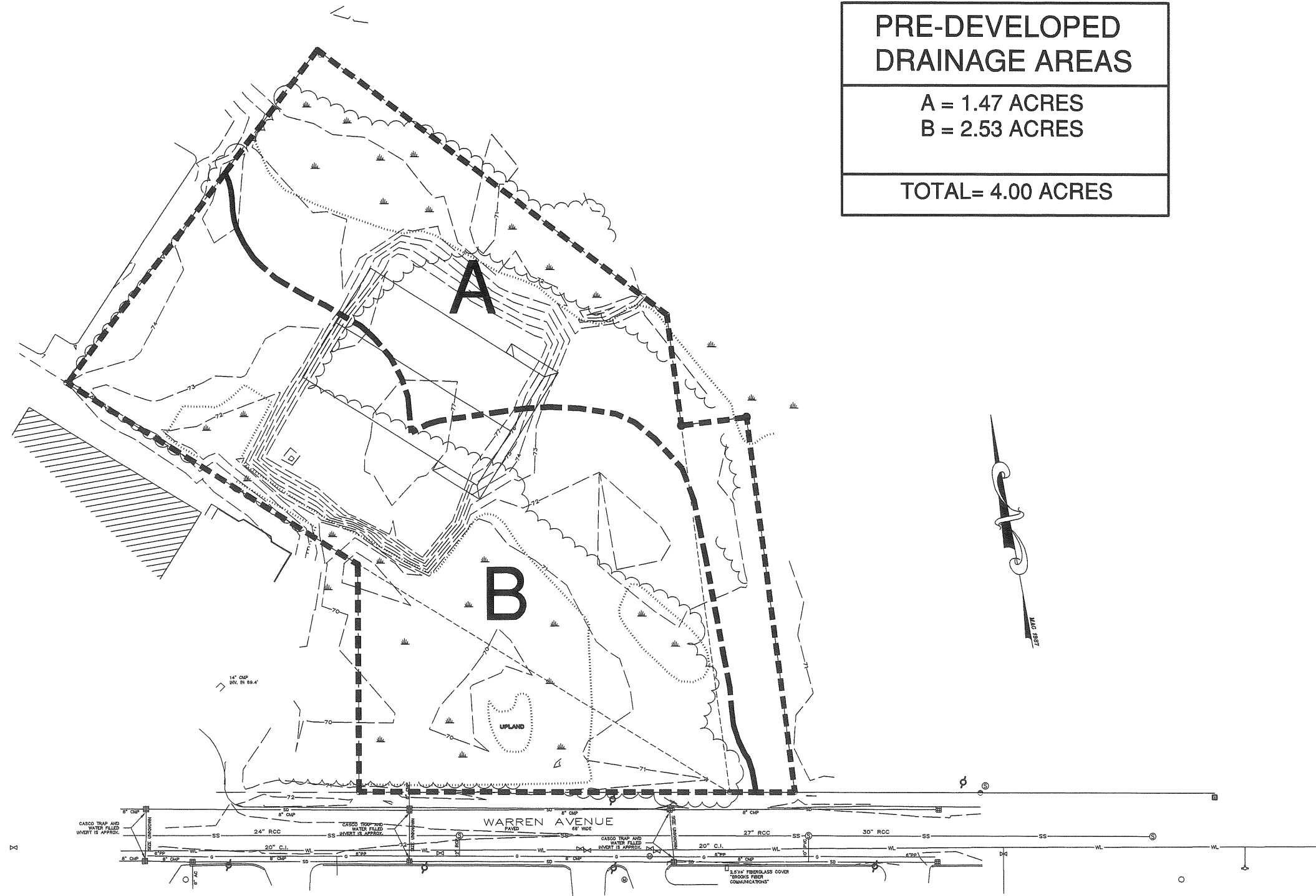
**PROGRESS**

		Turf Depot Warren Ave., Portland, ME. Site Plan	
DATE: 10-01-00 DESIGNED BY: DRM	SCALE: 1"=40' DRAWN BY: JPM	<b>L1</b>	
CHD FILE Turf-L1x1u0001			

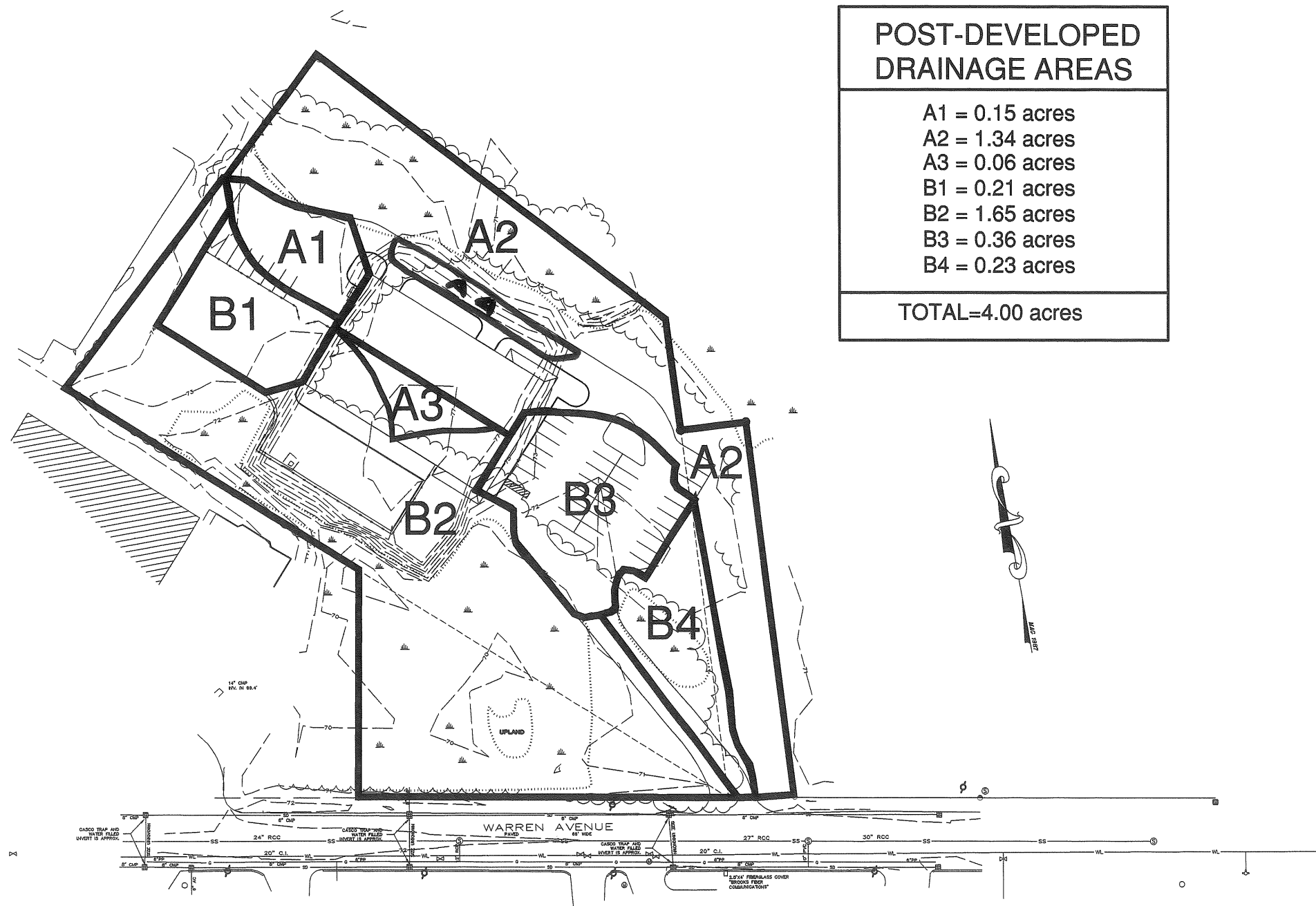
**PRE-DEVELOPED  
DRAINAGE AREAS**

A = 1.47 ACRES  
B = 2.53 ACRES

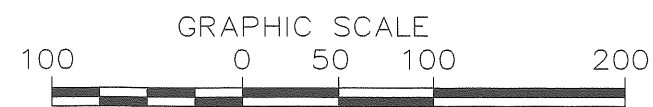
TOTAL= 4.00 ACRES



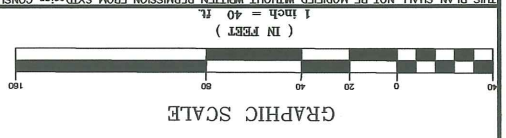
REVISIONS:	
<i>Turf Depot</i> Warren Ave., Portland, ME. Pre-development Drainage Plan	
<b>DANA R. MORTON, INC.</b> P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 793-2944 FAX: (207) 793-8468 Email: office@dmorton.com	
DATE: 10-01-00	SCALE: 1"=40'
DESIGNED BY: DRM	DRAWN BY: JPM
D1	



POST-DEVELOPED DRAINAGE AREAS	
A1	= 0.15 acres
A2	= 1.34 acres
A3	= 0.06 acres
B1	= 0.21 acres
B2	= 1.65 acres
B3	= 0.36 acres
B4	= 0.23 acres
TOTAL=4.00 acres	



REVISIONS:	
<i>Turf Depot</i> Warren Ave., Portland, ME. Post-development Drainage Plan	
<b>DANA R. MORTON, INC.</b> P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 783-2944 FAX: (207) 783-8469 Email: office@drmorton.com	
DATE: 10-01-00	SCALE: 1"=40'
DESIGNED BY: DRM	DRAWN BY: JPM
D2	

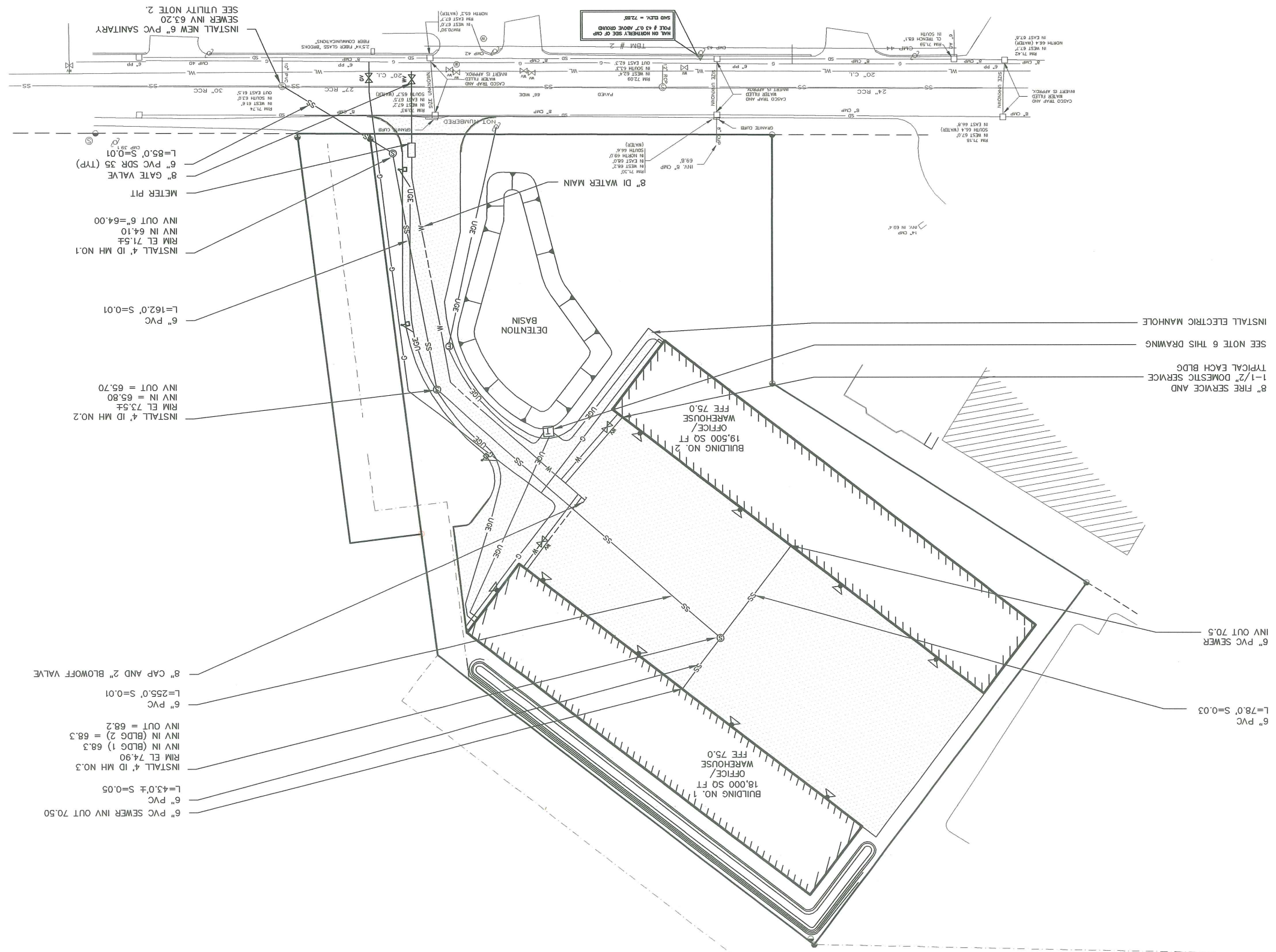


NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD
		A	9/20/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION	RMC	AH	WSD
		B	1/14/03	CONCEPT 3 SUBMITTED FOR REVIEW	AH	AH	WSD
		C	2/20/03	CONCEPT 4 SUBMITTED FOR REVIEW	AH	AH	WSD
		D	8/26/03	REVISED PER CITY REVIEW COMMENTS	RMC	AH	WSD
		E	10/14/03	REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW	RMC	AH	WSD



OWNER: **424 Warren Ave LLC**  
 c/o Harbour Auto Body, 401 Warren Ave, Portland, 04103  
 P.O. BOX 86A, CUMBERLAND CENTER, ME, 04021  
 Phone: (207) 829-8984 Fax: (207) 829-2281 Email: info@stdesign.com

PROJECT: **COMMERCIAL DEVELOPMENT**  
 424 Warren Ave., Portland, ME 04103  
 DESIGN: AAH  
 DRAWN: AAH  
 CHECKED: WSD  
 DATE: December 2002  
 PROJECT NO.: 02-28101  
 DWG. NO.: C-103



**UTILITY NOTES:**

1. WATER LINES, CONNECTIONS, AND VALVES SHALL MEET THE SPECIFICATION AND INSTALLATION REQUIREMENTS OF THE PORTLAND WATER DISTRICT.
2. ALL SANITARY AND STORM DRAINAGE PIPES AND STRUCTURES SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY OF PORTLAND SPECIFICATION AND STANDARDS. PIPE OPENINGS INTO EXISTING MANHOLES SHALL BE CORE DRILLED AND WATER TIGHT CONNECTION SHALL BE INSTALLED.
3. NATURAL GAS LINE AND ENTRANCE SHALL BE INSTALLED IN CONFORMANCE WITH NORTHERN UTILITIES STANDARDS.
4. UNDERGROUND CONDUIT, MANHOLE AND TRANSFORMER PAD TO BE INSTALLED TO CENTRAL MAINE POWER COMPANY SPECIFICATIONS.
5. UTILITIES SHOWN ON THIS PLAN ARE BASED ON A COMPILATION OF FIELD OBSERVATIONS AND READILY AVAILABLE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER NOTIFICATION OF ALL UTILITY COMPANIES, AND SHALL CONFORM TO ALL FEDERAL AND STATE REGULATIONS IN CONNECTION WITH CONSTRUCTION ACTIVITIES IN THE VICINITY OF UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. INSTALL 7"x7" THREE PHASE TRANSFORMER FOUNDATION PAD ACCORDING TO THE SPECIFICATIONS AND DETAILS IN THE "HANDBOOK OF STANDARD REQUIREMENTS FOR ELECTRICAL SERVICE AND METER INSTALLATION" CENTRAL MAINE POWER, LATEST EDITION.

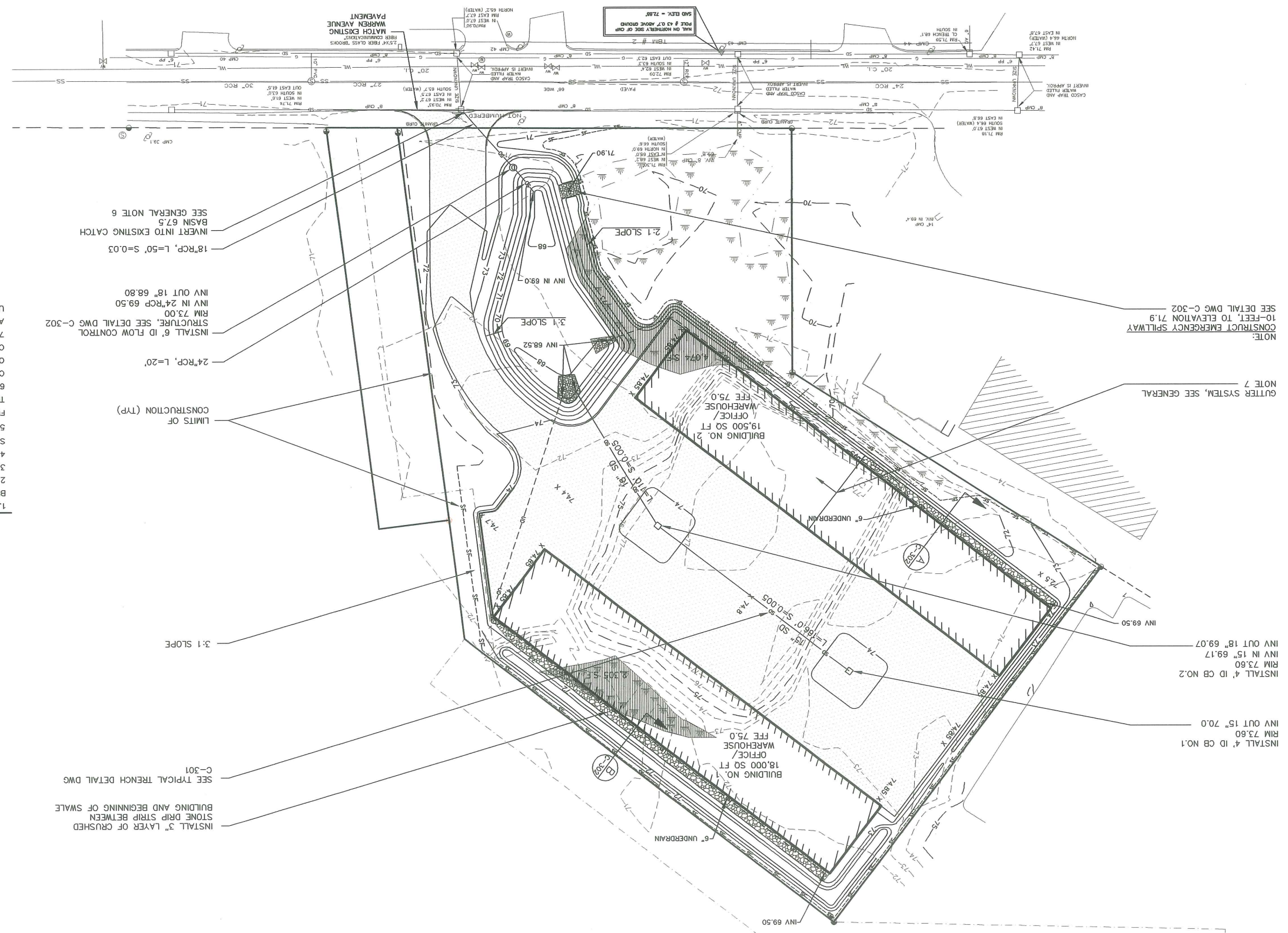
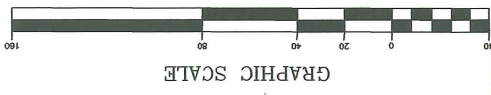
SEE NOTE 6 THIS DRAWING  
 TYPICAL EACH BLDG  
 1-1/2" DOMESTIC SERVICE  
 8" FIRE SERVICE AND  
 INSTALL ELECTRIC MANHOLE

EXISTING		PROPOSED	
	BUILDING		PROPOSED
	INTERMEDIATE CONTOUR		
	WETLAND		
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	EASEMENT LINE		
	PROPERTY SETBACK		
	EDGE OF PAVEMENT		
	CONCRETE CURB		
	GRANITE CURB		
	TREE LINE		
	CHAINLINK FENCE		
	SIGN		
	OVERHEAD UTILITY LINE		
	UNDERGROUND UTILITY LINE		
	OVERHEAD ELECTRIC		
	UNDERGROUND ELECTRIC		
	GAS LINE		
	SANITARY SEWER LINE		
	STORM DRAIN		
	WATER LINE		
	UTILITY POLE		
	LIGHT POLE		
	CATCH BASIN		
	SANITARY MANHOLE		
	DRAIN MANHOLE		
	TRANSFORMER		
	FIRE HYDRANT		

LOC



NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD
1.	STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY BY LEWIS & WASSINA INC., SEPTEMBER, 2000	D	10/14/03	REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW	AAH	WSD	
2.	WETLANDS BOUNDARY DELINEATED BY MARK HAMPTON ASSOC., 2002	C	9/8/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW	AAH	WSD	
		B	8/19/03	REVISED AND SUBMITTED FOR CITY SITE PLAN REVIEW APPLICATION	AAH	WSD	
		A	5/30/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION	RMC	AAH	WSD



**LEGEND**

EXISTING	PROPOSED
172	172
165	165
INDEX CONTOUR	WETLAND
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY LINE	EASEMENT LINE
PROPERTY SETBACK	EDGE OF PAVEMENT
CONCRETE CURB	CONCRETE CURB
TREELINE	TREELINE
TREE	TREE
CHAINLINK FENCE	GUARD RAIL
SIGN	OVERHEAD UTILITY LINE
OHU	OVERHEAD UTILITY LINE
UOL	UNDERGROUND UTILITY LINE
UOE	OVERHEAD ELECTRIC
UGE	UNDERGROUND ELECTRIC
G	GAS LINE
SS	SAINTARY SEWER LINE
SD	STORM DRAIN
W	WATER LINE
UL	UTILITY POLE
LP	LIGHT POLE
CB	CATCH BASIN
SM	SANITARY MANHOLE
DM	DRAIN MANHOLE
TR	TRANSFORMER
FH	FIRE HYDRANT
SF	SILT FENCE

- GENERAL NOTES:**
- A HANDICAP SPACE SHALL BE INCORPORATED INTO THE PARKING FOR EACH BUILDING.
  - ELEVATIONS ACROSS FRONT OF BUILDING NO. 1 AND NO. 2 SHALL BE 74.85.
  - SILT FENCE AS SHOWN, SHALL ALSO BE LIMITS OF CONSTRUCTION.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE AT DRIVE, PRIOR TO START OF WORK. SEE DETAIL DWG C-300.
  - 4" RIGID STYROFOAM INSULATION SHALL BE PLACED OVER 18" POND OUTLET PIPE FOR FULL WIDTH OF TRENCH IN 2 - 2" LAYERS WITH STAGGERED JOINTS. SEE ALSO TYPICAL TRENCH DETAIL DWG. C-301.
  - ALL SANITARY AND STORM DRAINAGE PIPES AND STRUCTURES SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY OF PORTLAND SPECIFICATION AND STANDARDS. PIPE OPENINGS INTO EXISTING MANHOLES SHALL BE CORE DRILLED AND WATER TIGHT CONNECTION SHALL BE INSTALLED.
  - 15'-FEET OF THE SOUTHEASTERLY END OF BUILDING NO. 2 ROOF, SHALL DRAIN INTO A GUTTER SYSTEM WHICH WILL OUTLET IN THE POND AT THE SAME LOCATION AS THE UNDER DRAIN PIPE.

FIELD BOOK #	DESIGN: AAH	PROJECT:
FIELD BOOK PAGE	DRAWN: AAH	COMMERCIAL DEVELOPMENT
PROJECT	DATE: December 2002	424 Warren Ave., Portland, ME 04103
PROJECT NO.	NO.:	
DWG:	NO.:	
REV:	C-102	

**SYTDesign Consultants**  
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**OWNERS:**  
 424 Warren Ave LLC  
 c/o Harbour Auto Body, 401 Warren Ave, Portland, 04103  
 SCALE: 1" = 40'

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign CONSULTANTS. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign CONSULTANTS.

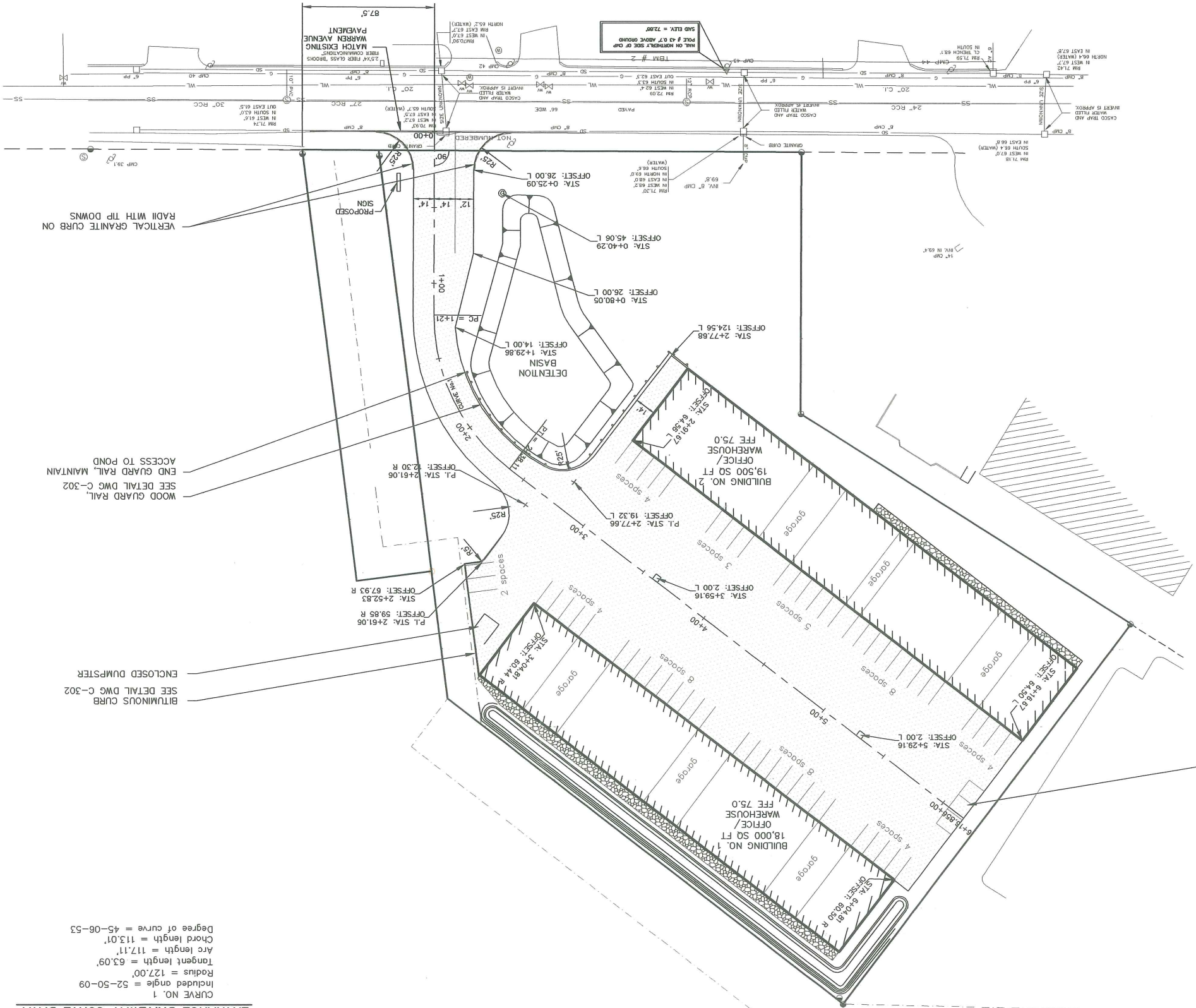
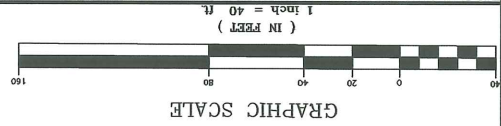
NO.	REFERENCE DRAWINGS
1.	STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY BY LEWS & WASINA INC., SEPTEMBER, 2000
2.	WETLANDS BOUNDARY DELINEATED BY MARK HAMPTON ASSOC., 2002

REV.	DATE	STATUS
A	5/30/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION
B	10/14/03	REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW



OWNER: 424 Warren Ave LLC  
 c/o Harbour Auto Body, 401 Warren Ave, Portland, 04103  
 P.O. BOX 86A, CUMBERLAND CENTER, ME, 04021  
 Phone: (207) 829-0984 Fax: (207) 829-2231 Email: info@sytdesign.com

PROJECT: COMMERCIAL DEVELOPMENT 424 Warren Ave, Portland, ME 04103	DESIGN: AAH	FIELD BOOK #
DRAWN: AAH	FIELD PAGE	
CHECKED: WSD	INDEX NUMBER	
DATE: December 2002	PROJECT DIR	
SCALE: 1" = 40'	DRAWING NAME	02-28101
	NO.	0228101-C-101
	DWG. NO.	
REV. B	PROJECT NO.	02-28101
		C-101



ENTRANCE DRIVEWAY CURVE DATA

CURVE NO. 1  
 Included angle = 52-50-09  
 Radius = 127.00'  
 Tangent length = 63.09'  
 Arc length = 117.11'  
 Chord length = 113.01'  
 Degree of curve = 45-06-53

1. A HANDICAP SPACE SHALL BE INCORPORATED INTO THE PARKING FOR EACH BUILDING.

LEGEND	EXISTING	PROPOSED
BUILDING	(Symbol)	(Symbol)
INTERMEDIATE CONTOUR	(Symbol)	(Symbol)
INDEX CONTOUR	(Symbol)	(Symbol)
WETLAND	(Symbol)	(Symbol)
PROPERTY LINE	(Symbol)	(Symbol)
RIGHT-OF-WAY LINE	(Symbol)	(Symbol)
EASEMENT LINE	(Symbol)	(Symbol)
PROPERTY SETBACK	(Symbol)	(Symbol)
EDGE OF PAVEMENT	(Symbol)	(Symbol)
BITUMINOUS CURB	(Symbol)	(Symbol)
GRANITE CURB	(Symbol)	(Symbol)
TREELINE	(Symbol)	(Symbol)
TREE	(Symbol)	(Symbol)
CHAINLINK FENCE	(Symbol)	(Symbol)
GUARD RAIL	(Symbol)	(Symbol)
SIGN	(Symbol)	(Symbol)
OVERHEAD UTILITY LINE	(Symbol)	(Symbol)
UNDERGROUND UTILITY LINE	(Symbol)	(Symbol)
OVERHEAD ELECTRIC	(Symbol)	(Symbol)
UNDERGROUND ELECTRIC	(Symbol)	(Symbol)
GAS LINE	(Symbol)	(Symbol)
SANITARY SEWER LINE	(Symbol)	(Symbol)
STORM DRAIN	(Symbol)	(Symbol)
WATER LINE	(Symbol)	(Symbol)
UTILITY POLE	(Symbol)	(Symbol)
LIGHT POLE	(Symbol)	(Symbol)
CATCH BASIN	(Symbol)	(Symbol)
SANITARY MANHOLE	(Symbol)	(Symbol)
DRAIN MANHOLE	(Symbol)	(Symbol)
TRANSFORMER	(Symbol)	(Symbol)
FIRE HYDRANT	(Symbol)	(Symbol)

GENERAL NOTES:

L:\Projects\2002-PROJECTS\02-28101\dwg\0228101\_C-101.dwg, 10/14/2003 10:21:45 AM

PLANT LIST:

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
<b>TREES</b>					
AR	ACER RUBRUM	RED MAPLE	10	2 1/2" CAL.	B4B, SINGLE LEADER
ST	GLEDITSIA TRICANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	4	3" CAL.	B4B, SINGLE LEADER
PG	PICEA GLAUCA	WHITE SPRUCE	3	6' HT.	B4B
PG1	PICEA GLAUCA	WHITE SPRUCE	1	8' HT.	B4B

EXISTING		LEGEND		PROPOSED	
172	BUILDING	172	BUILDING	172	BUILDING
165	INTERMEDIATE CONTOUR	172	INTERMEDIATE CONTOUR	172	INTERMEDIATE CONTOUR
	INDEX CONTOUR	165	INDEX CONTOUR	165	INDEX CONTOUR
	WETLAND		WETLAND		WETLAND
	PROPERTY LINE		PROPERTY LINE		PROPERTY LINE
	RIGHT-OF-WAY LINE		RIGHT-OF-WAY LINE		RIGHT-OF-WAY LINE
	EASEMENT LINE		EASEMENT LINE		EASEMENT LINE
	PROPERTY SETBACK		PROPERTY SETBACK		PROPERTY SETBACK
	EDGE OF PAVEMENT		EDGE OF PAVEMENT		EDGE OF PAVEMENT
	CONCRETE CURB		CONCRETE CURB		CONCRETE CURB
	GRANITE CURB		GRANITE CURB		GRANITE CURB
	TREELINE		TREELINE		TREELINE
	TREE		TREE		TREE
	CHAINLINK FENCE		CHAINLINK FENCE		CHAINLINK FENCE
	GUARD RAIL SIGN		GUARD RAIL SIGN		GUARD RAIL SIGN
ohu	OVERHEAD UTILITY LINE	OHU	OVERHEAD UTILITY LINE	OHU	OVERHEAD UTILITY LINE
ugu	UNDERGROUND UTILITY LINE	UGU	UNDERGROUND UTILITY LINE	UGU	UNDERGROUND UTILITY LINE
che	OVERHEAD ELECTRIC		OVERHEAD ELECTRIC		OVERHEAD ELECTRIC
uge	UNDERGROUND ELECTRIC		UNDERGROUND ELECTRIC		UNDERGROUND ELECTRIC
g	GAS LINE		GAS LINE		GAS LINE
ss	SANITARY SEWER LINE		SANITARY SEWER LINE		SANITARY SEWER LINE
sd	STORM DRAIN		STORM DRAIN		STORM DRAIN
w	WATER LINE		WATER LINE		WATER LINE
UP	UTILITY POLE		UTILITY POLE		UTILITY POLE
CP	CATCH BASIN		CATCH BASIN		CATCH BASIN
SM	SANITARY MANHOLE		SANITARY MANHOLE		SANITARY MANHOLE
DM	DRAIN MANHOLE		DRAIN MANHOLE		DRAIN MANHOLE
TR	TRANSFORMER		TRANSFORMER		TRANSFORMER
FH	FIRE HYDRANT		FIRE HYDRANT		FIRE HYDRANT
	SILT FENCE		SILT FENCE		SILT FENCE

10D

LIMITED MAINTENANCE AREA - SEED WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX (TYP.)

BUILDING NO. 1  
18,000 SQ FT  
OFFICE/  
WAREHOUSE  
FFE 75.0

BUILDING NO. 2  
19,500 SQ FT  
OFFICE/  
WAREHOUSE  
FFE 75.0

LIMITED MAINTENANCE AREA - SEED WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX (TYP.)

DETENTION BASIN

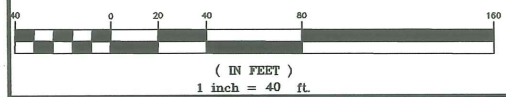
LIMITED MAINTENANCE AREA - SEED WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX

SEED BOTTOM OF DETENTION BASIN UP TO ELEV. 69 WITH NEW ENGLAND WETLAND MIX.

EDGE OF LAWN PLANTINGS (TYP.)

(4) ST-PLANT 3' OFF EDGE OF PAVEMENT

GRAPHIC SCALE



LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARDS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK".
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE ASED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL TREES ALONG DRIVES AND PARKING AREAS SHALL BEGIN BRANCHING AT 6' HT. MIN.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL LOAMED DISTURBED AREAS AS FOLLOWS:  
- SHALES, DETENTION AND LIMITED MAINTENANCE AREAS 4' DEPTH OF TOPSOIL  
- LAWN AREAS 6" DEPTH OF TOPSOIL
- SEED MIXTURES FOR AREAS TO BE SEEDDED SHALL BE AS FOLLOWS:  
- SHALES AND LIMITED MAINTENANCE NATURAL AREAS ARE TO BE SEEDDED WITH: NEW ENGLAND CONSERVATION/WILDLIFE MIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1752. APPLY AT A RATE OF 1LB PER 1745 SF. (25 LBS. PER ACRE) OR APPROVED EQUAL. MULCH SEEDDED AREAS WITH STRAW.  
- DETENTION BASIN BOTTOM UP TO ELEVATION 69 IS TO BE SEEDDED WITH: NEW ENGLAND WETLAND MIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1752. APPLY AT A RATE OF 1LB PER 2500 SF. OR APPROVED EQUAL. FOLLOW SUPPLIERS RECOMMENDATIONS FOR FALL AND EARLY WINTER PLANTING. MULCH SEEDDED AREAS WITH STRAW.  
- LAWN AREAS SHALL BE SEEDDED WITH:  
SEED TYPE % BY WEIGHT  
CREEPING RED FESCUE (MIN. 2 VARIETIES) 55  
KENTUCKY BLUEGRASS (MIN. 2 VARIETIES) 50  
PERENNIAL RYE GRASS 15  
SEEDING RATE PER 1000 SQ.FT. 3 LBS. MIN.  
MULCH SEEDDED AREAS WITH STRAW.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- SEE DRAWINGS C-100 THRU C-104, C-300 THRU C-301 FOR ADDITIONAL INFORMATION.

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTdesign CONSULTANTS, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTdesign CONSULTANTS.

NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD
1.	STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY BY LEWIS & WASINA INC., SEPTEMBER, 2000						
2.	WETLANDS BOUNDARY DELINEATED BY MARK HAMPTON ASSOC., 2002	C	10/14/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW	PBB	WSD	WSD
		B	9/8/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW	PBB	WSD	WSD
		A	5/30/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION	RMC	AHJ	WSD



**SYTdesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

OWNER:  
424 Warren Ave LLC  
c/o Harbour Auto Body, 401 Warren Ave. Portland, 04103

FIELD BOOK #	DESIGN: PBB	PROJECT:	COMMERCIAL DEVELOPMENT
FIELD BOOK PAGE	DRAWN: PBB		424 Warren Ave., Portland, ME 04103
FLAT FILE INDEX NUMBER	CHKD: WSD	<b>LANDSCAPE PLAN</b>	
PROJECT DIR.	DATE: December 2002	PROJ. NO.	02-28101
DRAWING NAME	SCALE: 1" = 40'	DWG. NO.	C-104
0228101_C-101			