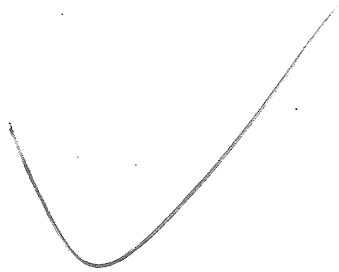


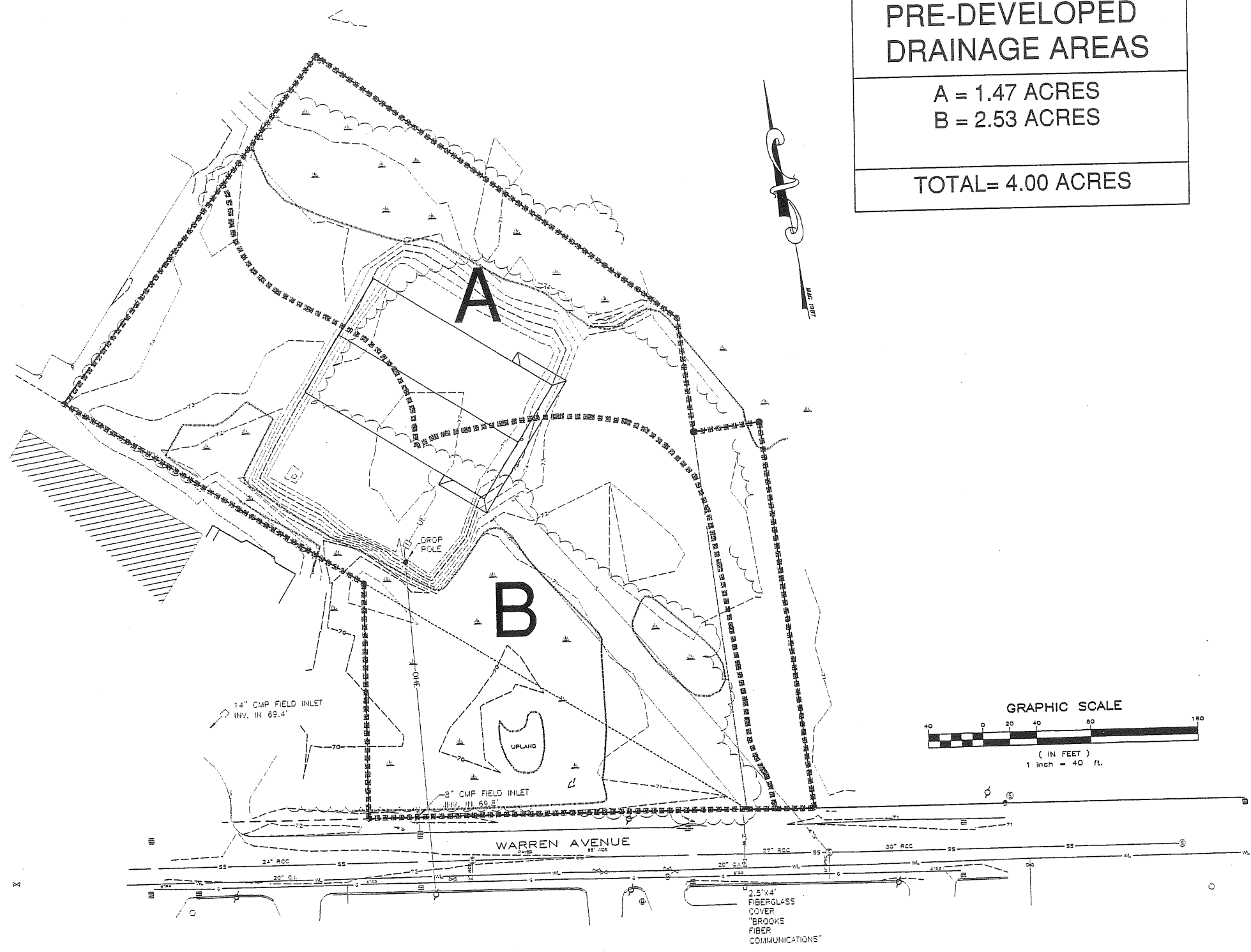
304-B-32
425 Warren Ave.
Office / Warehouse
424 Warren Ave.
LLC.



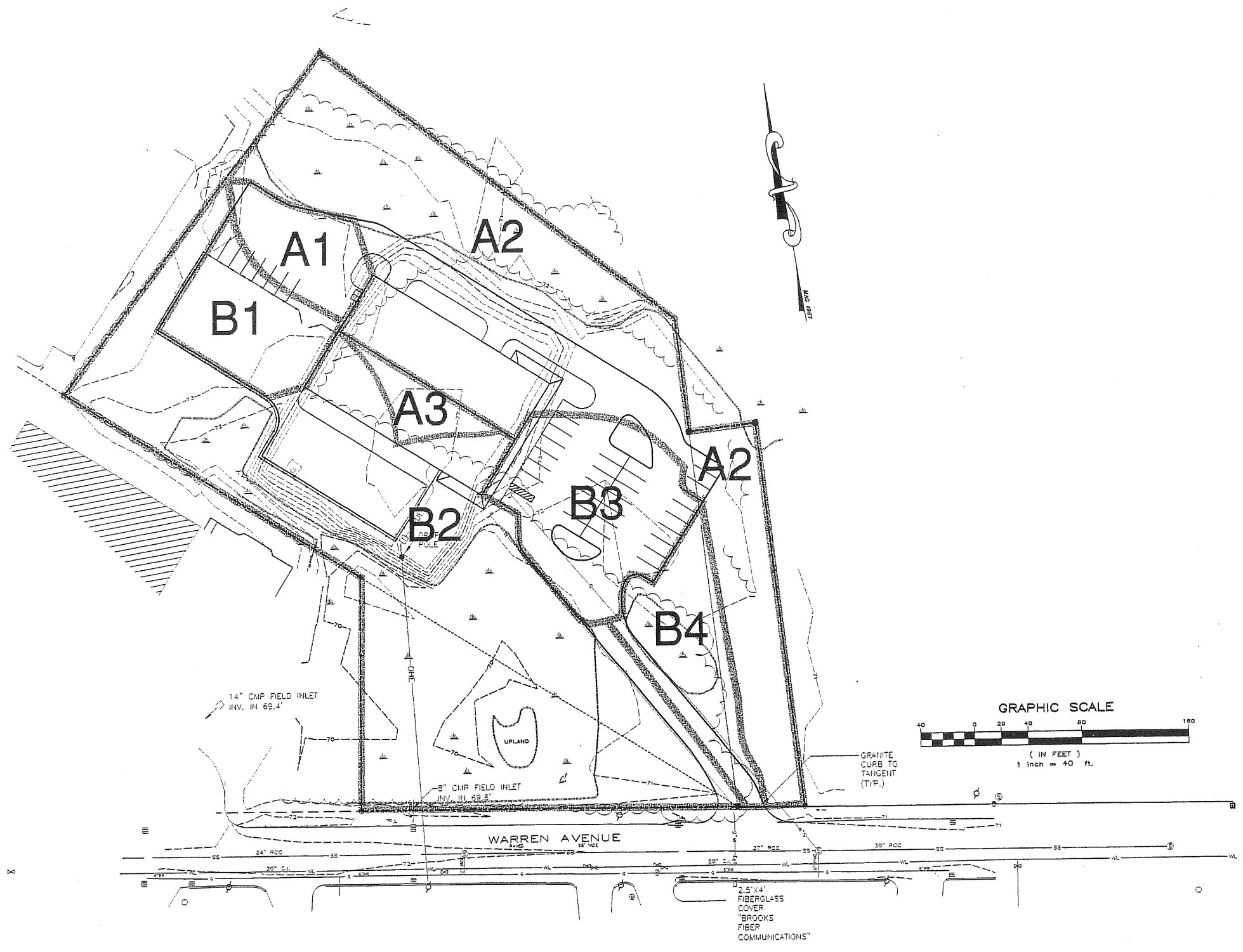
**PRE-DEVELOPED
DRAINAGE AREAS**

A = 1.47 ACRES
B = 2.53 ACRES

TOTAL= 4.00 ACRES

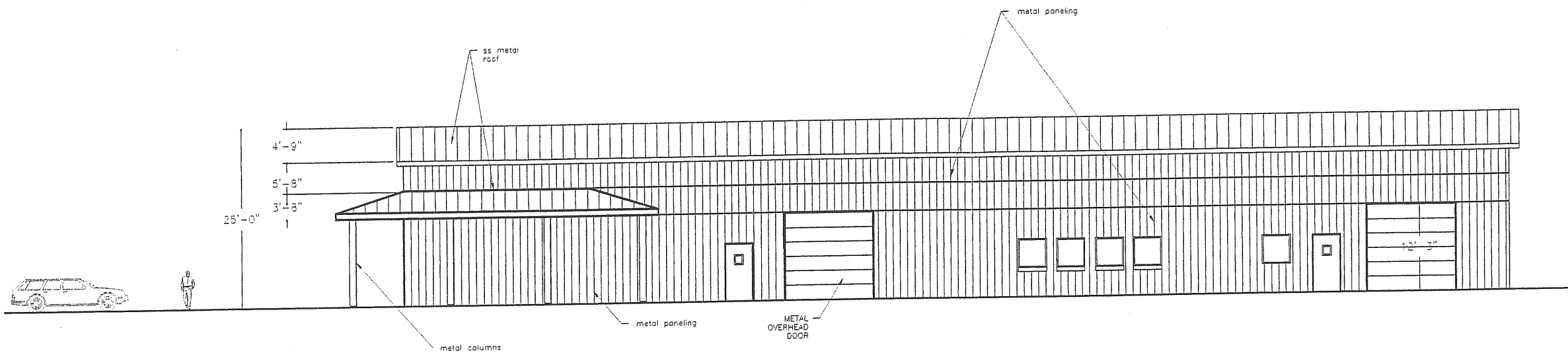


REVISIONS:	
Turf Depot Warren Ave., Portland, ME. Pre-development Drainage Plan	
DANA R. MORTON, INC. <small>P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 793-2944 FAX: (207) 793-8469 Email: office@dmorton.com</small>	
DATE: 10-01-00	SCALE: 1"=40'
DESIGNED BY: DRM	DRAWN BY: JPM
CAD FILE: Turf-01.txdBase1 D1	

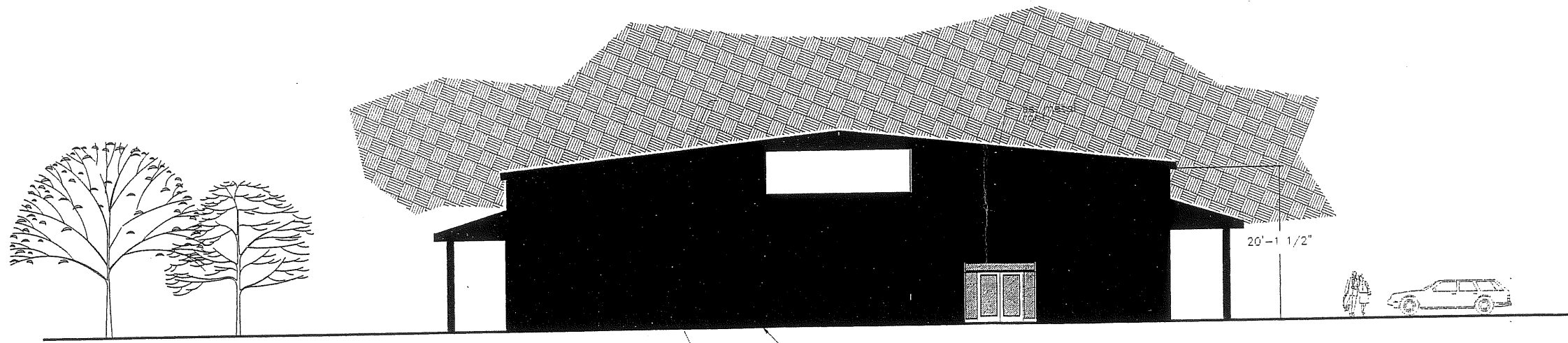


REVISIONS:	
Turf Depot Warren Ave., Portland, ME. Post-development Drainage Plan	
DANA R. MORTON, INC. P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 793-2944 FAX: (207) 793-8489 Email: office@dmorton.com	
DATE: 10-01-00	SCALE: 1"=40'
DESIGNED BY: DRM	DRAWN BY: JPM
CAD FILE: Turf-02/fubase1 D2	

A#13,1



ELEVATION B
1/8" = 1'-0"

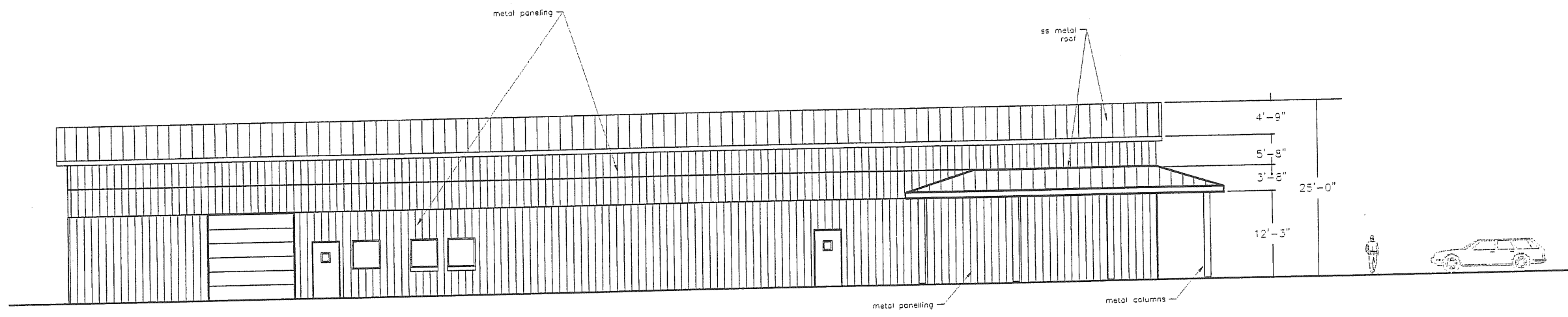


ELEVATION A
1/8" = 1'-0"

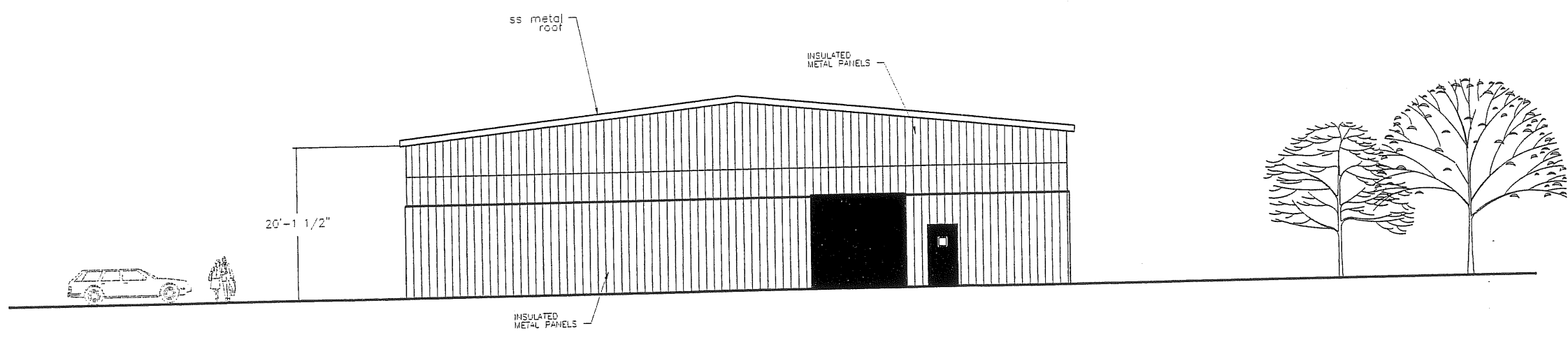
Drawn By: -
Checked: -
Revisions
9/28/00 REVISED PER SITE PLAN
Date: 9/20/00
Scale: 1/8
Drawing Name
Drawing No.

TO THE BEST OF OUR KNOWLEDGE THIS PLAN ACCURATELY REPRESENTS THE LATEST, MOST ACCURATE SCHEMATIC PLAN BASED ON THE OWNERS REQUIREMENTS. THIS FILE HAS BEEN E-MAILED TO BRUCE YENNACO & DANA MORTON ON 8-24-00.

Att 13 Z



ELEVATION B
1/8" = 1'-0"

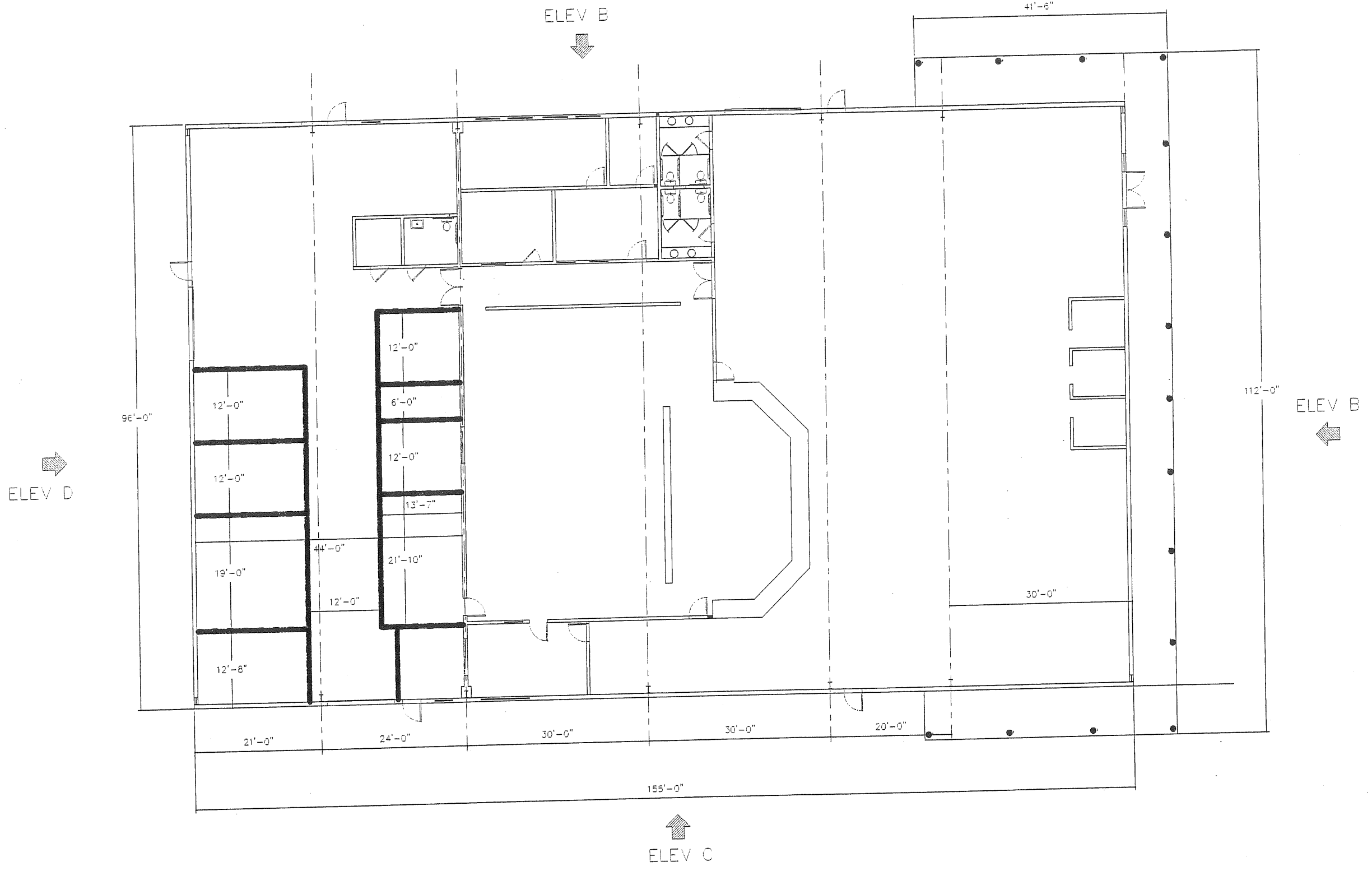


ELEVATION D
1/8" = 1'-0"

Drawn By: -
Checked: -
Revisions
9/7/00 REVISED PER SITE PLAN
Date: 9/28/00
Scale: 1/8
Drawing Name
Drawing No.

TO THE BEST OF OUR KNOWLEDGE THIS PLAN ACCURATELY REPRESENTS THE LATEST, MOST ACCURATE SCHEMATIC PLAN BASED ON THE OWNERS REQUIREMENTS. THIS FILE HAS BEEN E-MAILED TO BRUCE YENNACO & DANA MORTON ON 8-24-00.

AH3.3



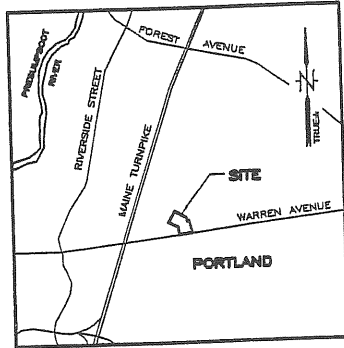
SCHEMATIC FLOOR PLAN

1/8" = 1'-0"
5/20/00

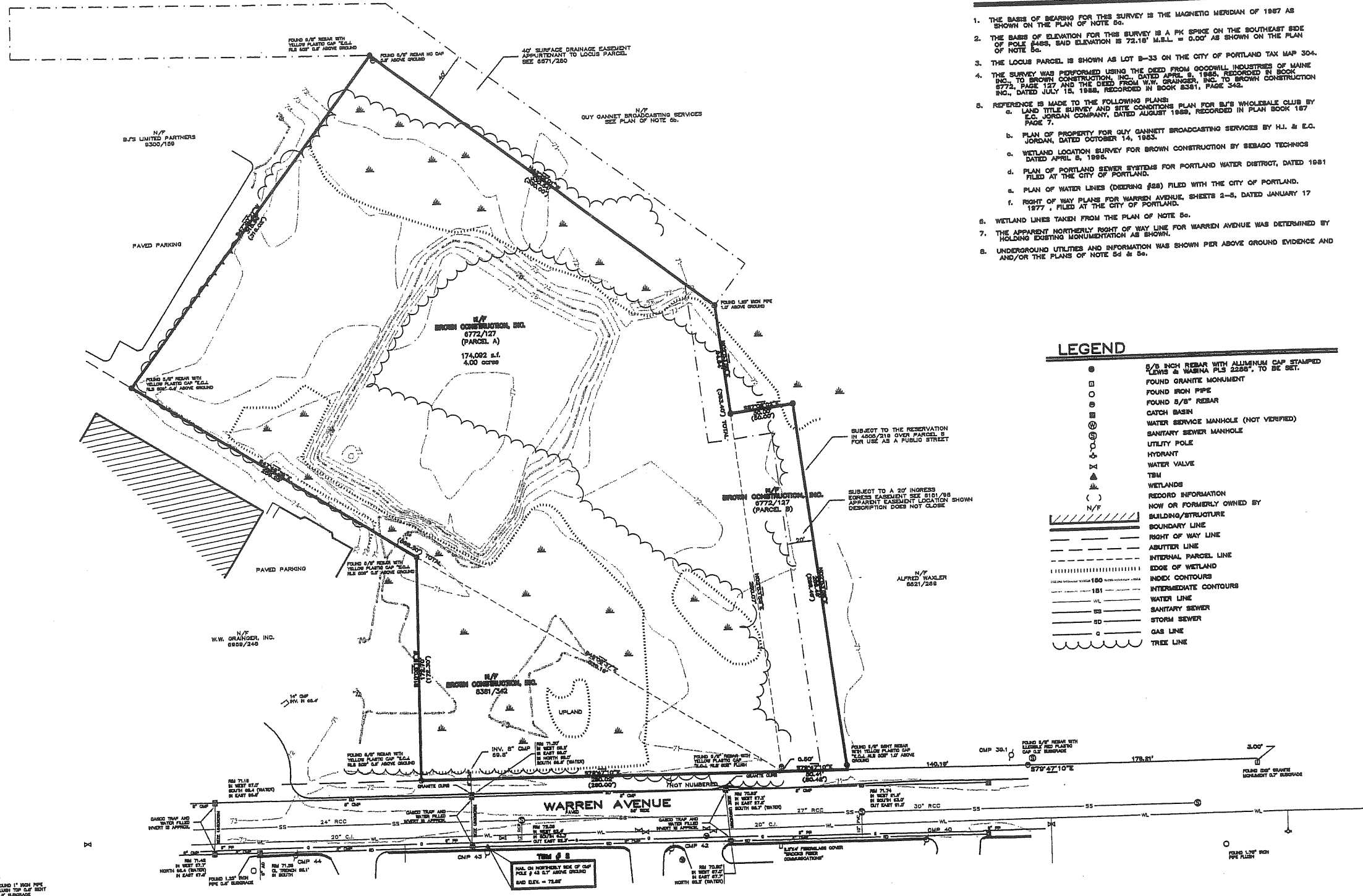
TO THE BEST OF OUR KNOWLEDGE THIS PLAN ACCURATELY REPRESENTS THE LATEST, MOST ACCURATE SCHEMATIC PLAN BASED ON THE OWNERS REQUIREMENTS. THIS FILE HAS BEEN E-MAILED TO BRUCE YENNACO & DANA MORTON ON 8-24-00.

Drawn By: -
Checked: -
Revisions
9/28/00 REVISED PER SITE PLAN
Date: 9/20/00
Scale: 1/8
Drawing Name
Drawing No.

Att 19



VICINITY MAP
SCALE: 1" = 2000'

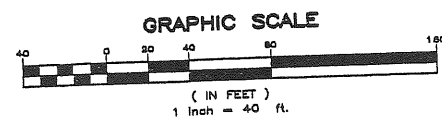


NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE MAGNETIC MERIDIAN OF 1987 AS SHOWN ON THE PLAN OF NOTE 5d.
2. THE BASIS OF ELEVATION FOR THIS SURVEY IS A PK SPIKE ON THE SOUTHEAST SIDE OF POLE 6488, SAID ELEVATION IS 72.18' M.B.L. = 0.00' AS SHOWN ON THE PLAN OF NOTE 5d.
3. THE LOCUS PARCEL IS SHOWN AS LOT B-33 ON THE CITY OF PORTLAND TAX MAP 304.
4. THE SURVEY WAS PERFORMED USING THE DEED FROM GOODWILL INDUSTRIES OF MAINE INC. TO BROWN CONSTRUCTION, INC. DATED APRIL 9, 1988, RECORDED IN BOOK 877A, PAGE 127 AND THE DEED FROM W.W. GRANGER, INC. TO BROWN CONSTRUCTION INC., DATED JULY 15, 1988, RECORDED IN BOOK 8381, PAGE 348.
5. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. LAND TITLE SURVEY AND SITE CONDITIONS PLAN FOR B.I.'S WHOLESALE CLUB BY E.C. JORDAN COMPANY, DATED AUGUST 1988, RECORDED IN PLAN BOOK 167 PAGE 7.
 - b. PLAN OF PROPERTY FOR GUY GANNETT BROADCASTING SERVICES BY H.I. & E.C. JORDAN, DATED OCTOBER 14, 1983.
 - c. WETLAND LOCATION SURVEY FOR BROWN CONSTRUCTION BY SEBAGO TECHNICS DATED APRIL 8, 1986.
 - d. PLAN OF PORTLAND SEWER SYSTEMS FOR PORTLAND WATER DISTRICT, DATED 1981 FILED AT THE CITY OF PORTLAND.
 - e. PLAN OF WATER LINES (DERRING #88) FILED WITH THE CITY OF PORTLAND.
 - f. RIGHT OF WAY PLANS FOR WARREN AVENUE, SHEETS 2-5, DATED JANUARY 17 1977, FILED AT THE CITY OF PORTLAND.
6. WETLAND LINES TAKEN FROM THE PLAN OF NOTE 5c.
7. THE APPARENT NORTHERLY RIGHT OF WAY LINE FOR WARREN AVENUE WAS DETERMINED BY HOLDING EXISTING MONUMENTATION AS SHOWN.
8. UNDERGROUND UTILITIES AND INFORMATION WAS SHOWN PER ABOVE GROUND EVIDENCE AND AND/OR THE PLANS OF NOTE 5d & 5e.

LEGEND

○	5/8" INCH REBAR WITH ALUMINUM CAP STAMPED LEWIS & WASINA PLS 2288", TO BE SET.
□	FOUND GRANITE MONUMENT
○	FOUND IRON PIPE
○	FOUND 5/8" REBAR
⊙	CATCH BASIN
⊙	WATER SERVICE MANHOLE (NOT VERIFIED)
⊙	SANITARY SEWER MANHOLE
⊙	UTILITY POLE
⊙	HYDRANT
⊙	WATER VALVE
⊙	TBM
⊙	WETLANDS
⊙	RECORD INFORMATION
⊙	HOW OR FORMERLY OWNED BY
⊙	BUILDING/STRUCTURE
⊙	BOUNDARY LINE
⊙	RIGHT OF WAY LINE
⊙	ABUTTER LINE
⊙	INTERNAL PARCEL LINE
⊙	EDGE OF WETLAND
⊙	INDEX CONTOURS
⊙	INTERMEDIATE CONTOURS
⊙	WATER LINE
⊙	SANITARY SEWER
⊙	STORM SEWER
⊙	GAS LINE
⊙	TREE LINE



STATE OF MAINE
COUNTY SS REGISTRY OF DEEDS
RECEIVED _____ M. AND RECORDED IN
AT _____ M. AND RECORDED IN
PLAN BOOK _____ PAGE _____
PLAN ATTEST _____ REGISTER

CERTIFICATE
LEWIS & WASINA, INC. HEREBY CERTIFIES THAT THIS SURVEY CONFORMS TO THE MAINE STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS CATEGORY NO. 1, CONDITION 1, STANDARD BOUNDARY SURVEY.
EXCEPTIONS:
1. LEGAL DESCRIPTION NOT PREPARED
2. SURVEY REPORT NOT PREPARED

SEAL

Lewis & Wasina, Inc.
SURVEYORS & ENGINEERS
90 Skidgs Street - P.O. Box 163
Westbrook, Maine 04091-0163
Tel (207) 856-5610 Fax (207) 856-5420

3	RLW	8/27/00	ADDED GAS LINE AND GULVERT INVERT
2	RLW	08/22/00	FINAL PLAN
1	RLW	08/18/00	BOUNDARY CALC
REV.	BY	DATE	STATUS
Designed: RLW			
Drawn: APL			
Checked: RLW			
Date: 08/15/00			
Scale: 1"=40'			
Field Book: FS3			
Project: 20054			
File Name: 20054TOP			
Contour Int.: 1 FOOT			
SHEET 1 OF 1			

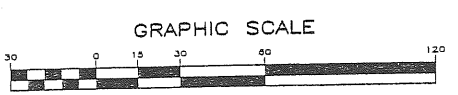
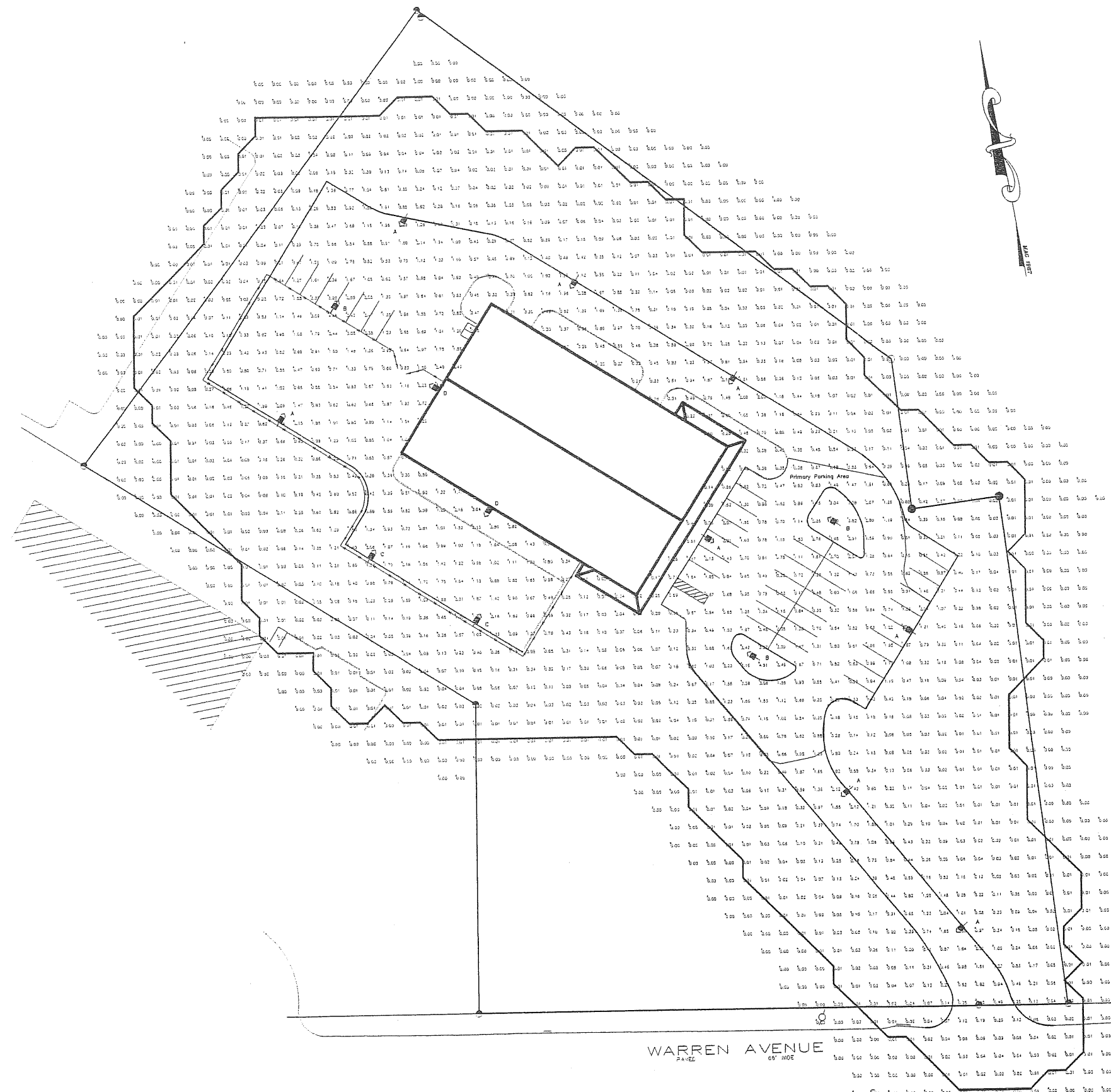
STANDARD BOUNDARY SURVEY
TOPOGRAPHIC SURVEY
425-449 WARREN AVENUE
CITY OF PORTLAND, COUNTY
OF CUMBERLAND, STATE OF MAINE
for
DANA R. MORTON, INC.
RECORD OWNERS: BROWN CONSTRUCTION, INC.
233 WARREN AVENUE
PORTLAND, ME 04103

Project: Turf Depot - Portland, ME
Specifier: Don Hawkins P.E. - Dana R. Morton, Inc.
Agent:
Calculations By:
Date: 10/25/00
Scale: 1" = 20'
Filename: w:\apps\10-0200\TurfDepot\161-9048.A32
Photometric data used is based on established IES procedures and published lamp ratings.
Field performance will depend on actual lamp, ballast, electrical, and site characteristics.
Values shown are maintained horizontal illuminance at grade, in footcandles.
Luminaire height shown is overall mounting height above finished grade.

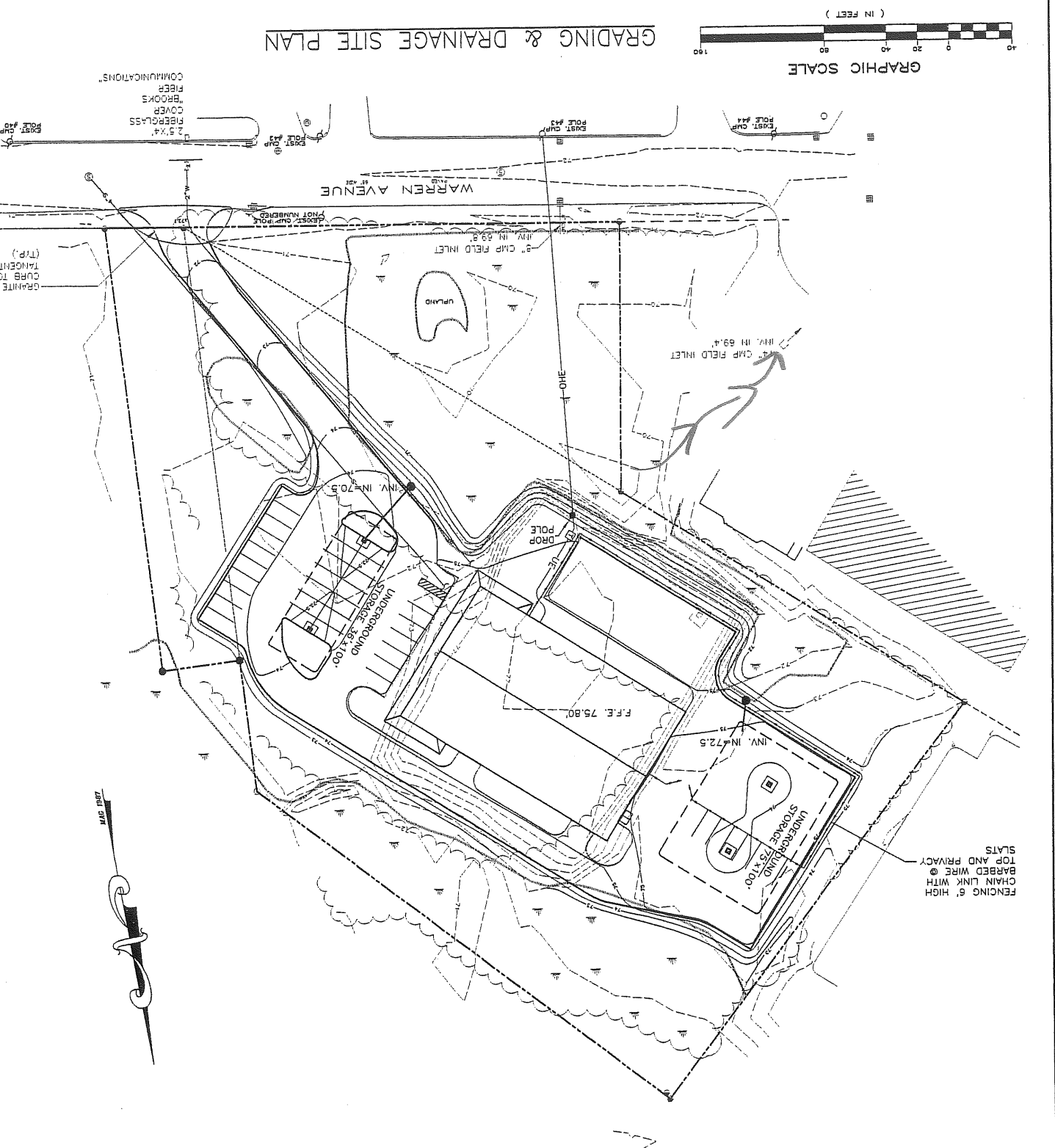
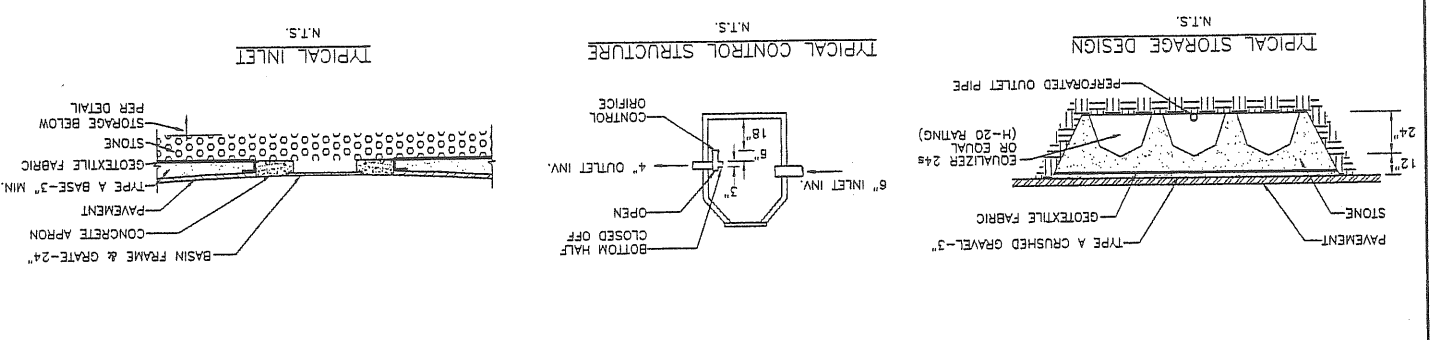
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Filename
—A—	8	A	SINGLE	15000	0.72	Emco ECA14-1-2H-175MH...-HS 18'	EC2H17M5.IES
—B—	3	B	SINGLE	15000	0.72	Emco ECA14-1-QH-175MH 18'	ECQH17M.IES
—C—	2	C	SINGLE	15000	0.72	Emco ECA14-1-3H-175MH...-HS 18'	EC3H17M5.IES
—D—	2	D	SINGLE	15000	0.72	Emco ECW14-1-2H-175MH 18'	EC2H17M5.IES

Label	Avg	Max	Min	Avg/Min	Max/Min
Primary Parking Area	1.26	4.5	0.3	4.2	15

LEGEND:
 ——— 0.01 FLC Minimum

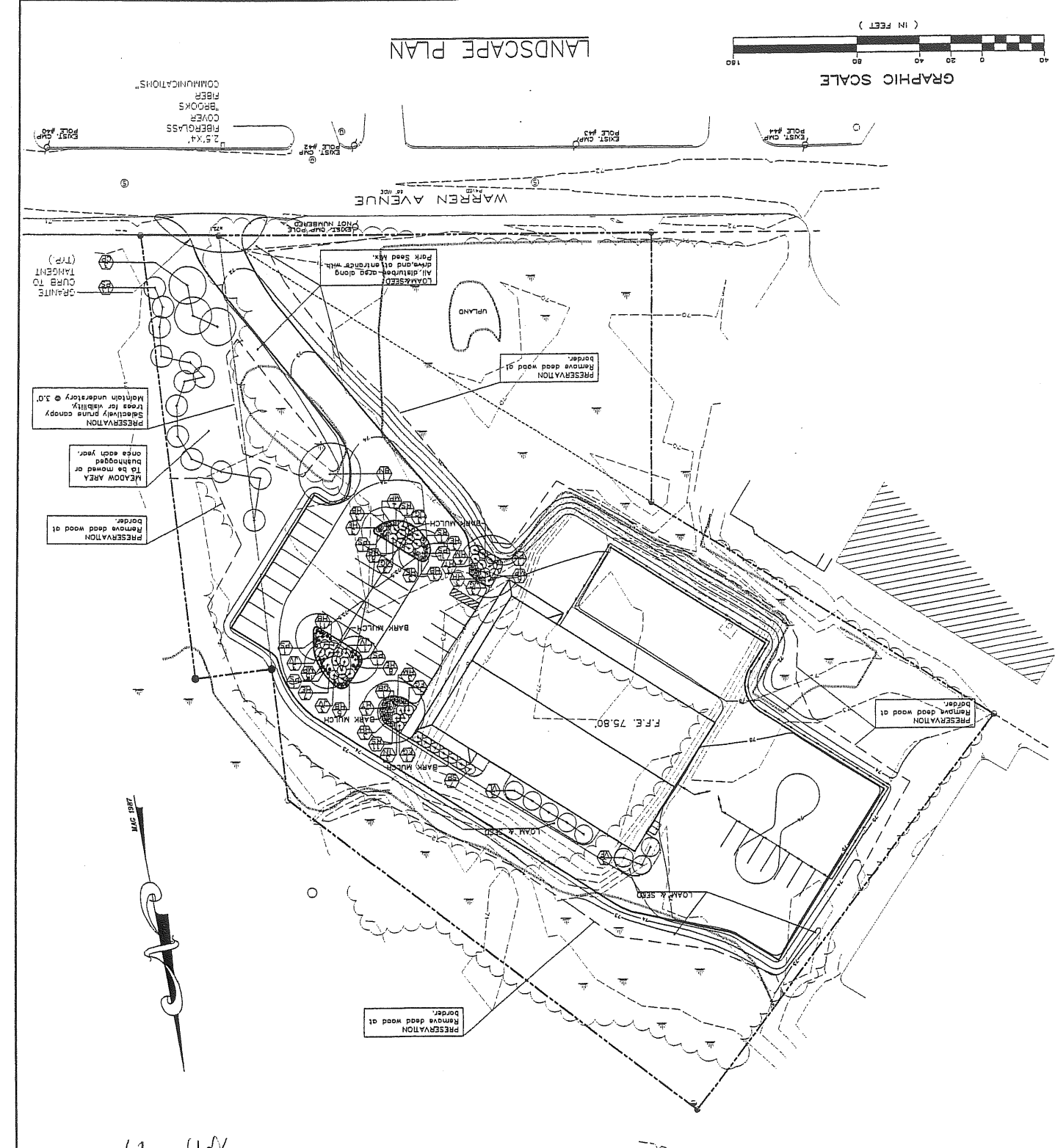


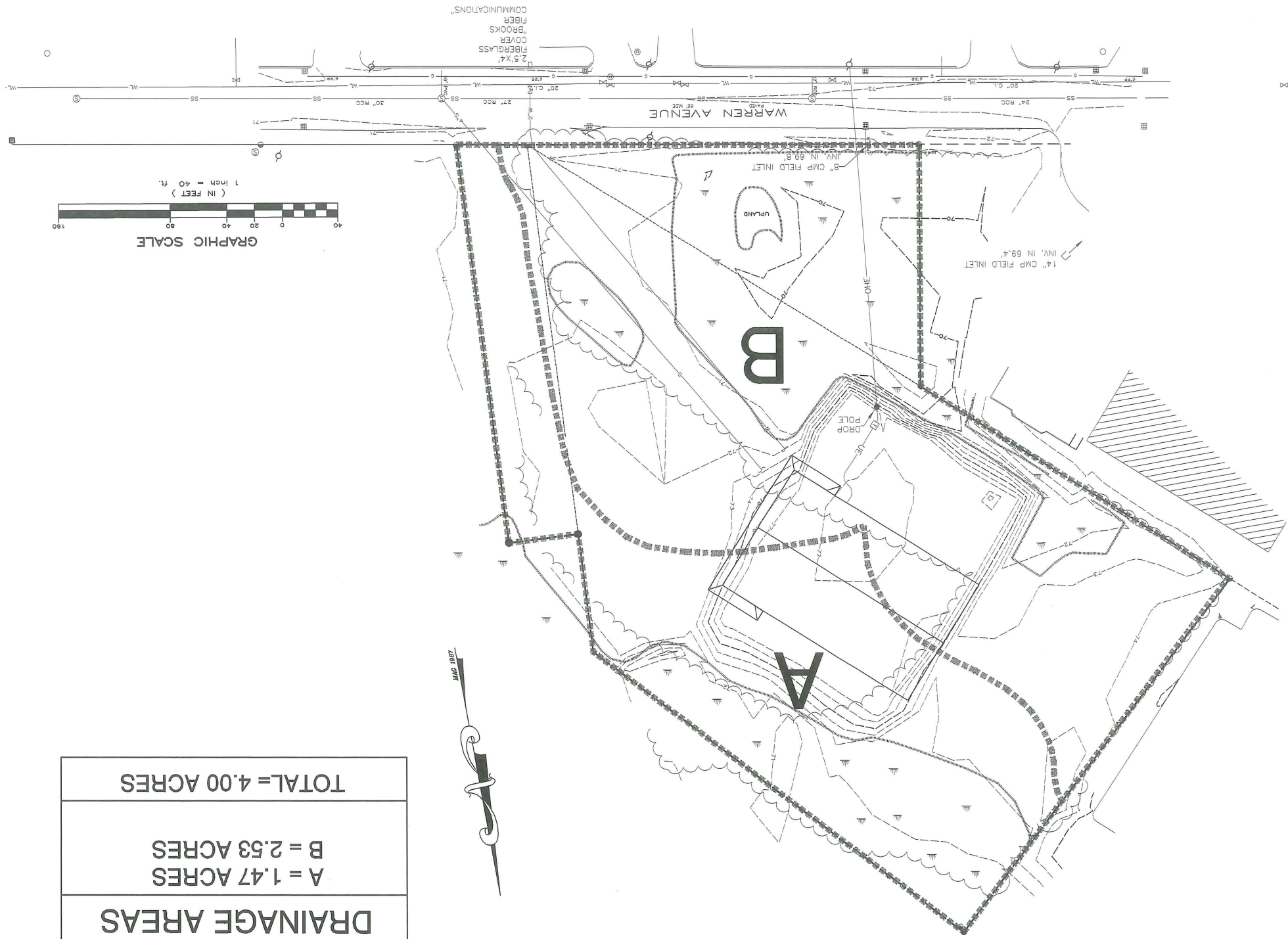
REVISIONS:	
Turf Depot Warren Ave., Portland, ME. Site Lighting Submittal	
DANA R. MORTON, INC. <small>P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 731-2944 FAX: (207) 731-8469 Email: office@dmorton.com</small>	
DATE: 11/1/00	SCALE: 1"=30'
DESIGNED BY: DRM	DRAWN BY: LMG
S1	



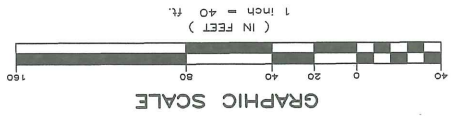
DESIGNED BY: DMH DRAWN BY: JPM
DATE: 10-01-00 SCALE: 1"=40'
DANA R. MORTON, INC. P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 753-2544 Fax: (207) 753-4188 Email: drmc@drmcinc.com

REVISIONS:





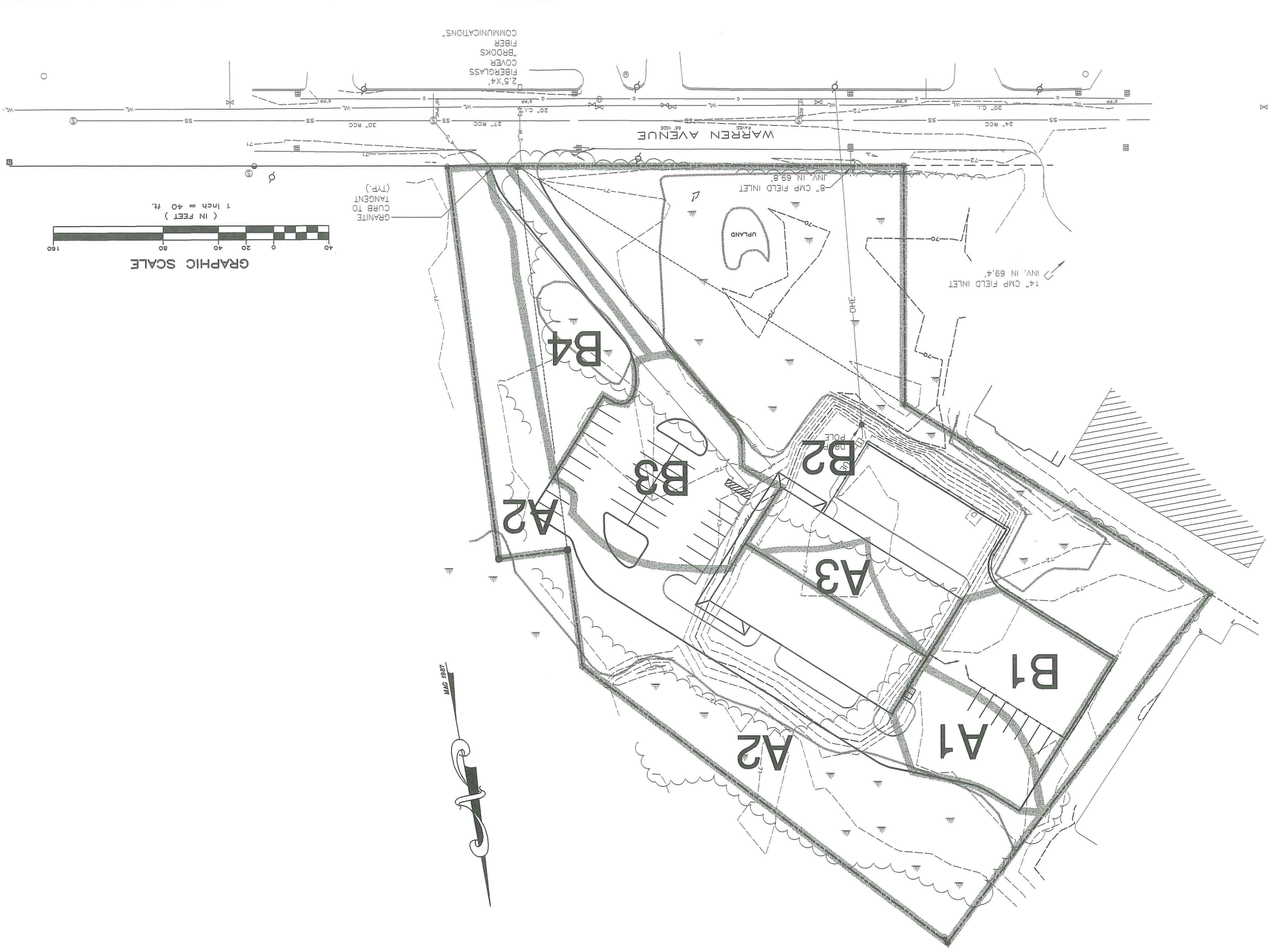
PRE-DEVELOPED DRAINAGE AREAS	A = 1.47 ACRES	B = 2.53 ACRES	TOTAL = 4.00 ACRES
-------------------------------------	-----------------------	-----------------------	---------------------------



D1	DATE: 10-01-00	DESIGNED BY: DRM	DRAWN BY: JPM
	SCALE: 1"=40'	P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 TEL: (207) 793-2644 FAX: (207) 793-8489 Email: office@dmrinc.com	
DANA R. MORTON, INC. Turf Depot Warren Ave., Portland, ME.			
Pre-development Drainage Plan			
REVISIONS:			

At 12.1

D2	DESIGNED BY: DRM	DATE: 10-01-00
	DRAWN BY: JPM	SCALE: 1"=40'
DANA R. MORTON, INC. P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 793-2944 Fax: (207) 793-8469 Email: office@dmorton.com Tel: (207) 793-2944		
Revisions: Turf Depot Warren Ave., Portland, ME. Post-development Drainage Plan		



A# 12.2

TO THE BEST OF OUR KNOWLEDGE THIS PLAN ACCURATELY REPRESENTS THE LATEST, MOST ACCURATE SCHEMATIC PLAN BASED ON THE OWNERS REQUIREMENTS. THIS FILE HAS BEEN E-MAILED TO BRUCE YENNAO & DANA MORTON ON 8-24-00.

Drawing No.

Drawing Name

Scale: 1/8"

Date: 9/20/00

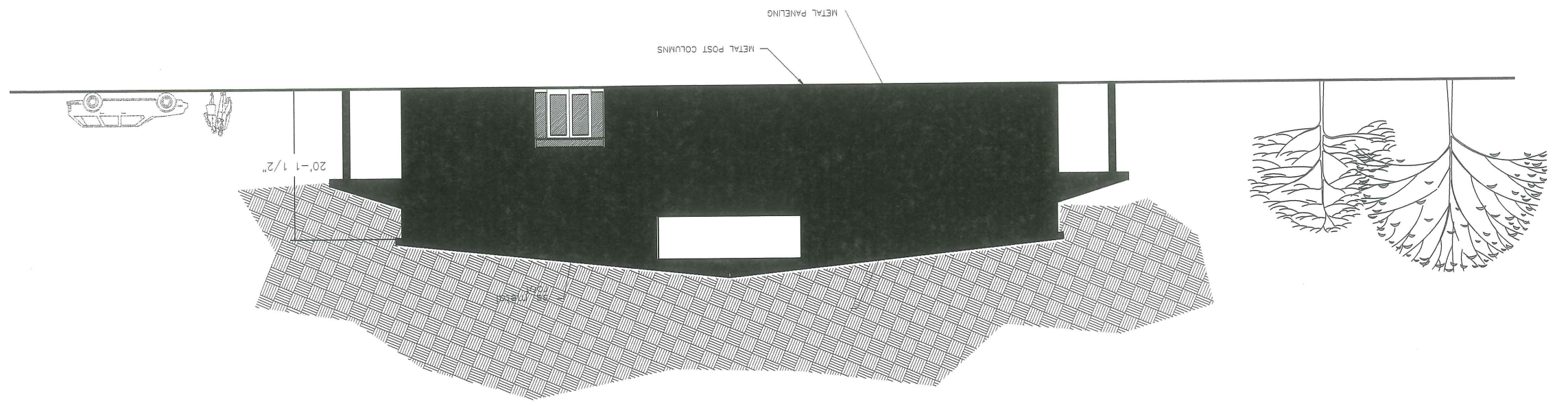
9/28/00
REVISED PER SITE PLAN

Revisions

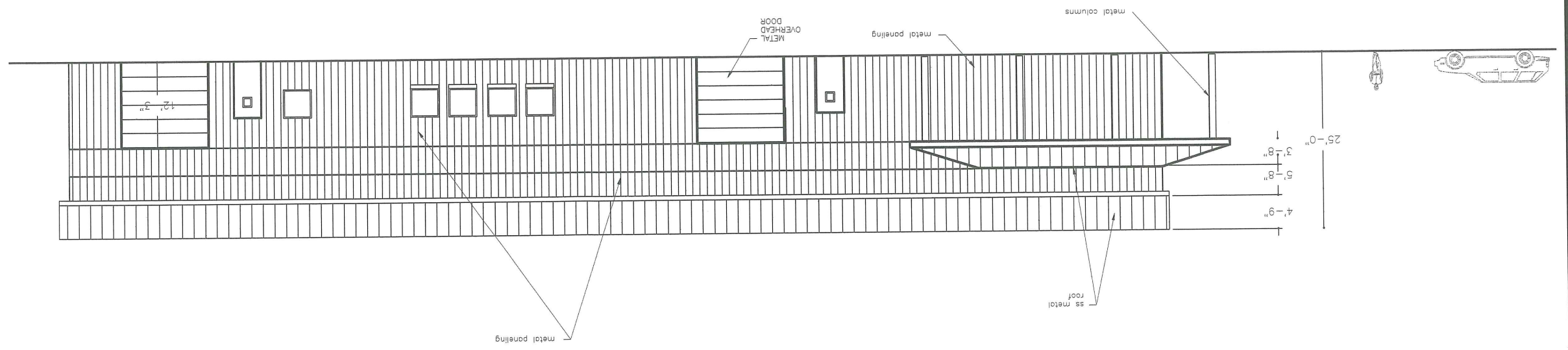
Checked: -

Drawn By: -

ELEVATION A
1/8" = 1'-0"



ELEVATION B
1/8" = 1'-0"



AH13.1

TO THE BEST OF OUR KNOWLEDGE THIS PLAN ACCURATELY REPRESENTS THE LATEST, MOST ACCURATE SCHEMATIC PLAN BASED ON THE OWNERS REQUIREMENTS. THIS FILE HAS BEEN E-MAILED TO BRUCE YENNACO & DANA MORTON ON 8-24-00.

Drawing No.

Drawing Name

Scale: 1/8"

Date: 9/28/00

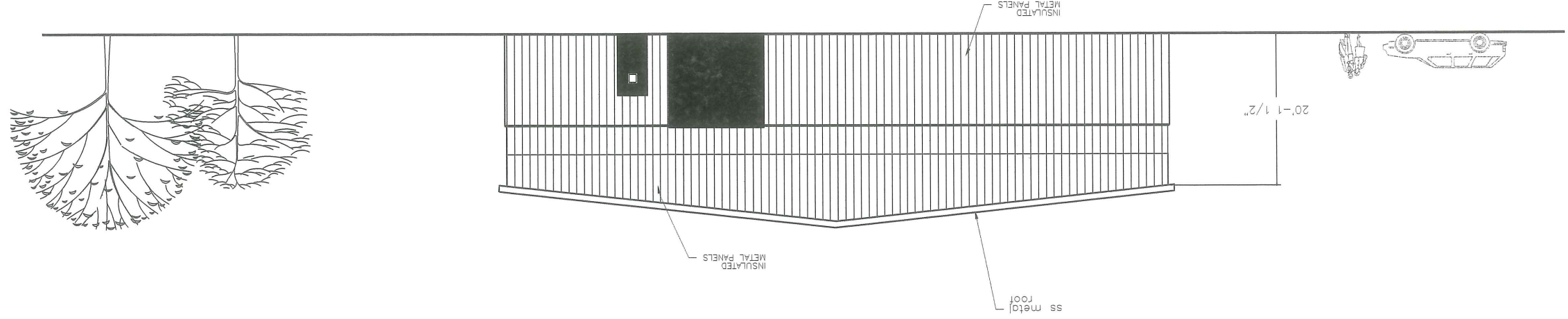
9/7/00
REVISED PER SITE PLAN

Revisions

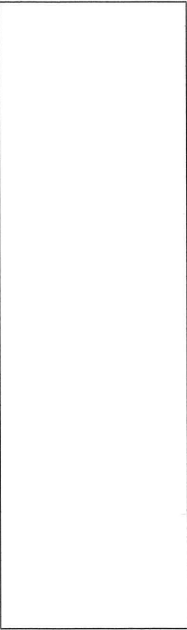
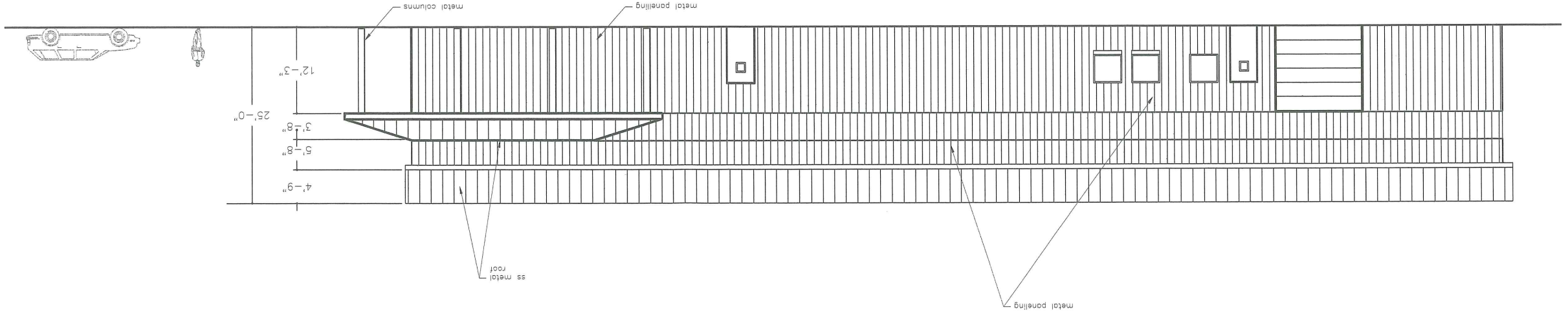
Checked: -

Drawn By: -

ELEVATION D
1/8" = 1'-0"



ELEVATION B
1/8" = 1'-0"



A# 13.2

TO THE BEST OF OUR KNOWLEDGE THIS PLAN ACCURATELY REPRESENTS THE LATEST, MOST ACCURATE SCHEMATIC PLAN BASED ON THE OWNERS REQUIREMENTS. THIS FILE HAS BEEN E-MAILED TO BRUCE YENNAGO & DANA MORTON ON 8-24-00.

5/20/00
1/8" = 1'-0"

SCHEMATIC FLOOR PLAN

Drawing No.

Drawing Name

Scale: 1/8"

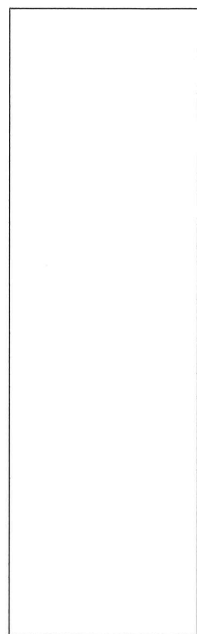
Date: 9/20/00

9/28/00
REVISED PER SITE PLAN

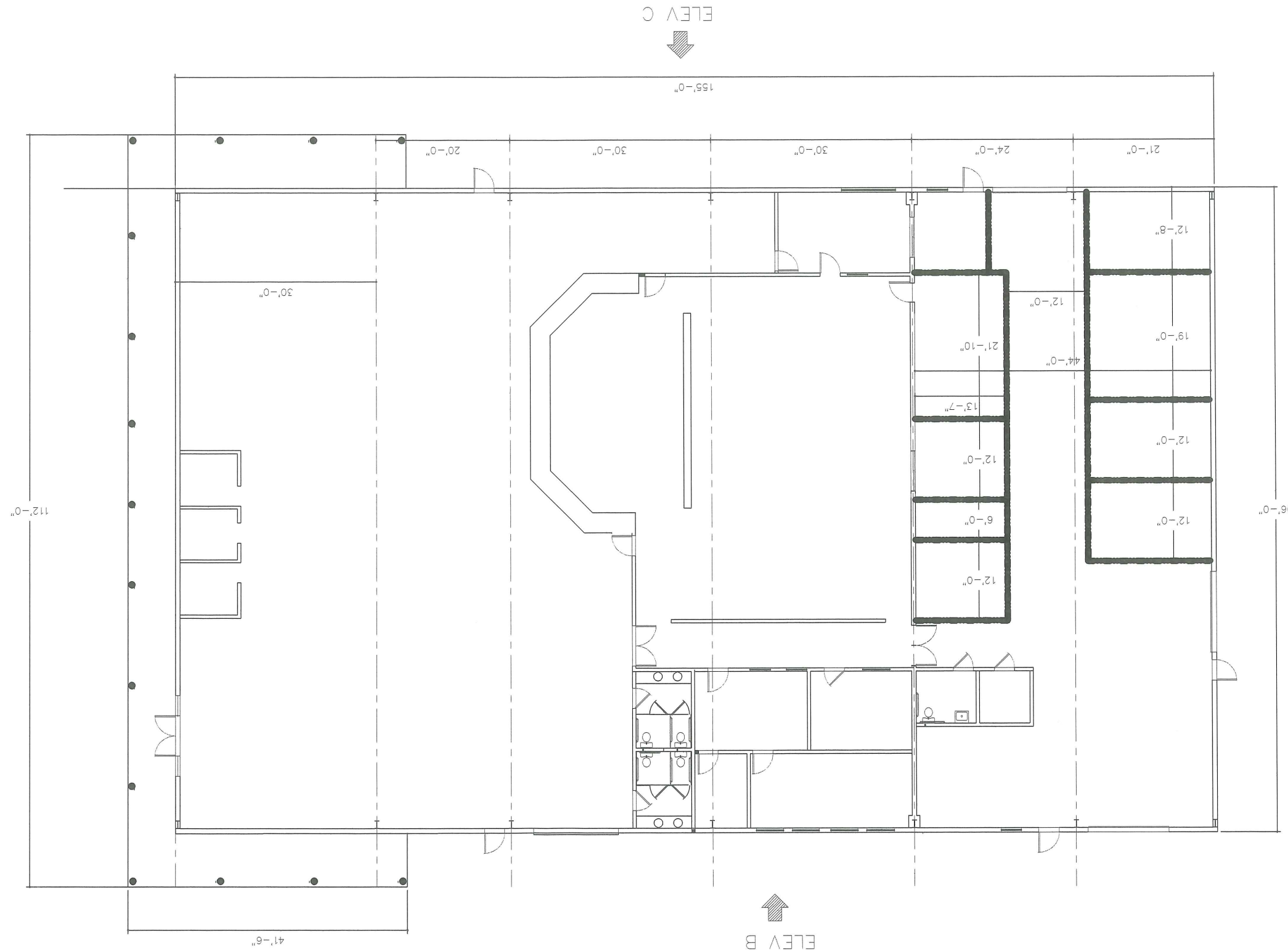
Revisions

Checked: -

Drawn By: -



ATTN: 3
P1

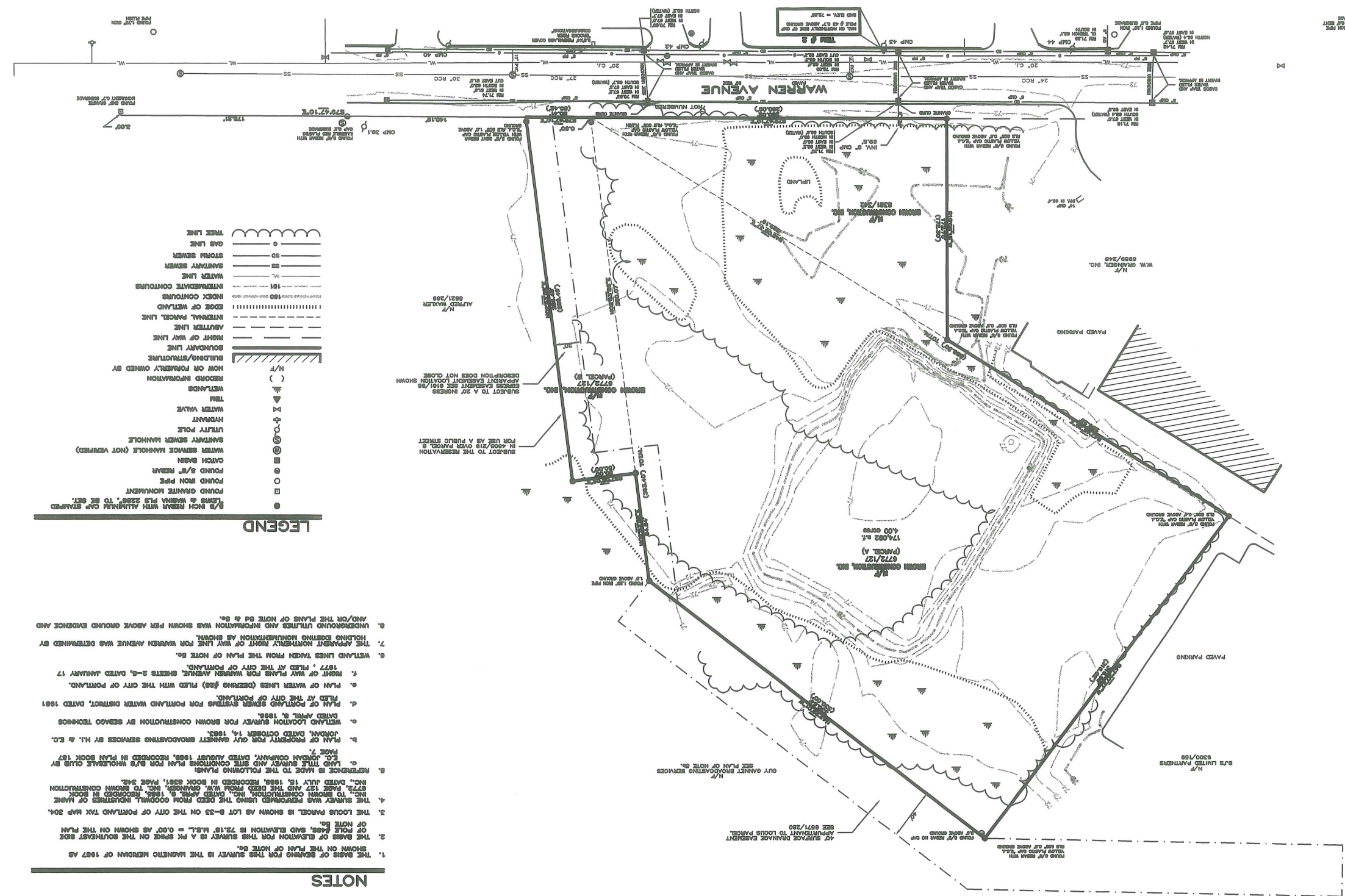
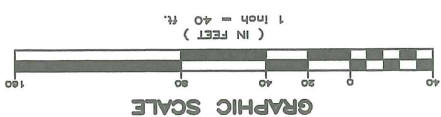


SHEET 1 OF 1 Project: 20054 Field Book: FS3 Scale: 1"=40' Date: 08/15/00 Checked: RLW Drawn: APL Designed: RLW		Contract No.: 1 F001 File Name: 20054TDP Record Owner: BROWN CONSTRUCTION, INC. 223 WARREN AVENUE PORTLAND, ME 04103	
REV	BY	DATE	STATUS
1	RLW	08/15/00	BOUNDARY CALC
2	RLW	08/22/00	FINAL PLAN
3	RLW	07/27/00	ADDED GAS LINE AND CULVERT INVERT

Lewis & Wasina, Inc.
 SURVEYORS & ENGINEERS
 90 Bridge Street - P.O. Box 183
 Westbrook, Maine 04090-0183
 Tel: (207) 856-5510 Fax: (207) 856-5520

CERTIFICATE
 RICHARD L. WASINA, II
 PLS #2268
 DATE _____
 I, _____, Surveyor, do hereby certify that this survey complies with the Maine State Board of License for Professional Land Surveyors Chapter 601, Section 1, Condition 1, Standard 1.1. I have personally supervised the work of the surveyors and the accuracy of the data is guaranteed. I have also personally checked the calculations and the accuracy of the data is guaranteed. I have also personally checked the accuracy of the data is guaranteed.

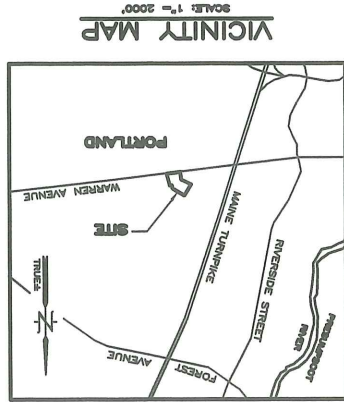
STATE OF MAINE
 COUNTY SS REGISTRY OF DEEDS
 RECEIVED _____
 AT _____ m _____
 PLAN BOOK _____
 PAGE _____
 PLAN ATTEST _____
 REGISTER



LEGEND

●	8" BURN BEARS WITH ALUMINUM CAP STAMPED
○	FOUND GRANITE MONUMENT
○	FOUND IRON PIPE
○	FOUND 8" Ø REBAR
○	CATCH BASIN
○	WATER SERVICE MANHOLE (NOT VERIFIED)
○	SEWER SERVICE MANHOLE
○	UTILITY POLE
○	HYDRANT
○	WATER VALVE
○	TRENCH
○	WETLANDS
()	RECORD INFORMATION
N/P	NOW OR FORMERLY OWNED BY
---	BUILDING/STRUCTURE
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	ADJUTERS LINE
---	INTERNAL PARCEL LINE
---	EDGE OF WETLAND
---	INDEX CONTOURS
---	INTERMEDIATE CONTOURS
---	WATER LINE
---	SEWER LINE
---	STORM SEWER
---	GAS LINE
---	TRAIL LINE

- NOTES**
1. THE BASIS OF BEARING FOR THIS SURVEY IS THE MAGNETIC MERIDIAN OF 1987 AS SHOWN ON THE PLAN OF NOTE 6a.
 2. THE BASIS OF ELEVATION FOR THIS SURVEY IS A PK SPICE ON THE SOUTHWEST SIDE OF POLE #425, SAID ELEVATION IS 22.18' M.S.L. = 0.00' AS SHOWN ON THE PLAN OF NOTE 6a.
 3. THE LOCUS PARCEL IS SHOWN AS LOT B-23 ON THE CITY OF PORTLAND TAX MAP 204. THE SURVEY WAS PERFORMED UNDER THE DEED FROM THE COMPANY OF LAND INC. TO BROWN CONSTRUCTION, INC. DATED APRIL 9, 1988, RECORDED IN BOOK 6772, PAGE 137 AND THE DEED FROM W.W. GRANBERG, INC. TO BROWN CONSTRUCTION, INC., DATED JULY 12, 1988, RECORDED IN BOOK 6881, PAGE 242.
 4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. LAND TITLE SURVEY AND SITE CONDITIONS PLAN FOR B.F.'S WHOLESALE CLUB BY J.C. JORDAN COMPANY, DATED AUGUST 1989, RECORDED IN PLAN BOOK 187 PAGE 7.
 - b. JORDAN, DATED OCTOBER 14, 1982.
 - c. JORDAN, DATED OCTOBER 14, 1982.
 - d. JORDAN, DATED OCTOBER 14, 1982.
 - e. WETLAND LOCATION SURVEY FOR BROWN CONSTRUCTION BY SBAQO TECHNIQUES DATED APRIL 9, 1988.
 - f. PLAN OF PORTLAND SEWER SYSTEMS FOR PORTLAND WATER DISTRICT, DATED 1981.
 - g. PLAN OF PORTLAND SEWER SYSTEMS FOR PORTLAND WATER DISTRICT, DATED 1981.
 - h. PLAN OF WATER LINES (SEWER) FILED WITH THE CITY OF PORTLAND.
 - i. RIGHT OF WAY PLANS FOR WARREN AVENUE, SHEETS 2-5, DATED JANUARY 17, 1977, FILED AT THE CITY OF PORTLAND.
 - j. WETLAND LINES TAKEN FROM THE PLAN OF NOTE 6a.
 - k. THE ADJUTERS MONUMENT RIGHT OF WAY LINE FOR WARREN AVENUE WAS DETERMINED BY 7. THE HOLDING EXISTING MONUMENTATION AS SHOWN.
 - l. UNDERGROUND UTILITIES AND INFORMATION WAS SHOWN PER ABOVE GROUND EVIDENCE AND AND/OR ON THE PLAN OF NOTE 6a & 6b.



Att 19

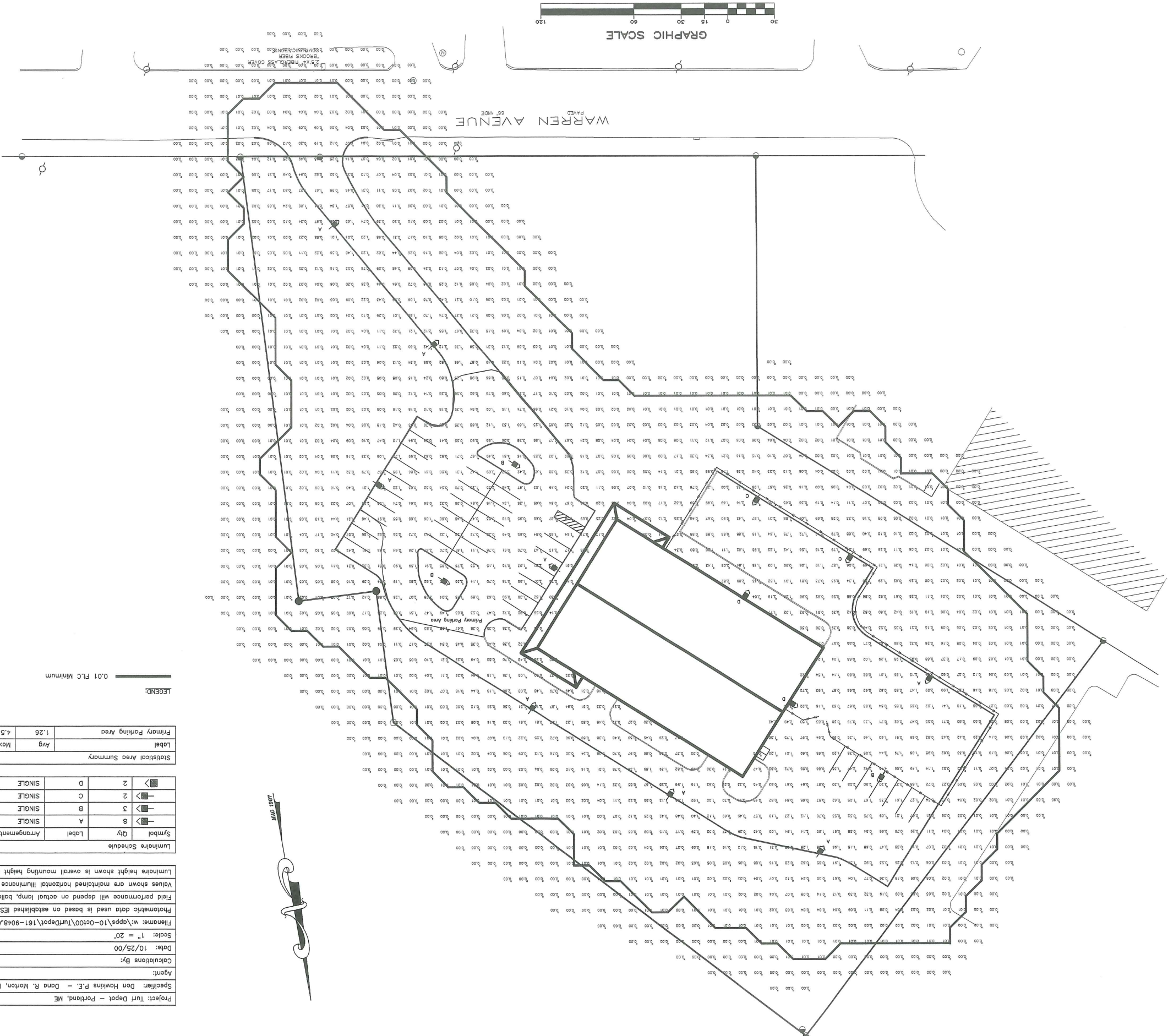
Att 15

Project: Turf Depot - Portland, ME
 Specifier: Don Hawkins P.L.C. - Dana R. Morton, Inc.
 Agent:
 Calculations By:
 Date: 10/25/00
 Scale: 1" = 20'
 Photometric data used is based on established IES procedures and published lamp ratings.
 Field performance will depend on actual lamp, ballast, electrical, and site characteristics.
 Values shown are maintained horizontal illuminance at grade, in footcandles.
 Luminaire height shown is overall mounting height above finished grade.

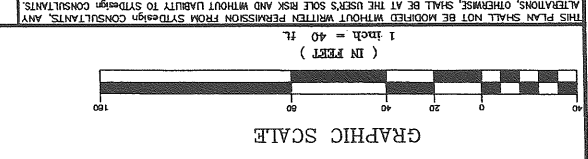
Symbol	Qty	Label	Arrangement	Lumens	LF	Description	Photometric Data
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3	1	B	SINGLE	15000	0.72	Emco ECA14-1-2H-175MH @ 18'	EC2H17MIES
2	1	C	SINGLE	15000	0.72	Emco ECA14-1-3H-175MH...HS @ 18'	EC3H17MIES
2	1	D	SINGLE	15000	0.72	Emco ECW14-1-2H-175MH @ 18'	EC2H17MIES

Label	Avg	Max	Min	Avg/Min	Max/Min
Primary Parking Area	1.26	4.5	0.3	4.2	15

LEGEND:
 0.01 F.L.C. Minimum



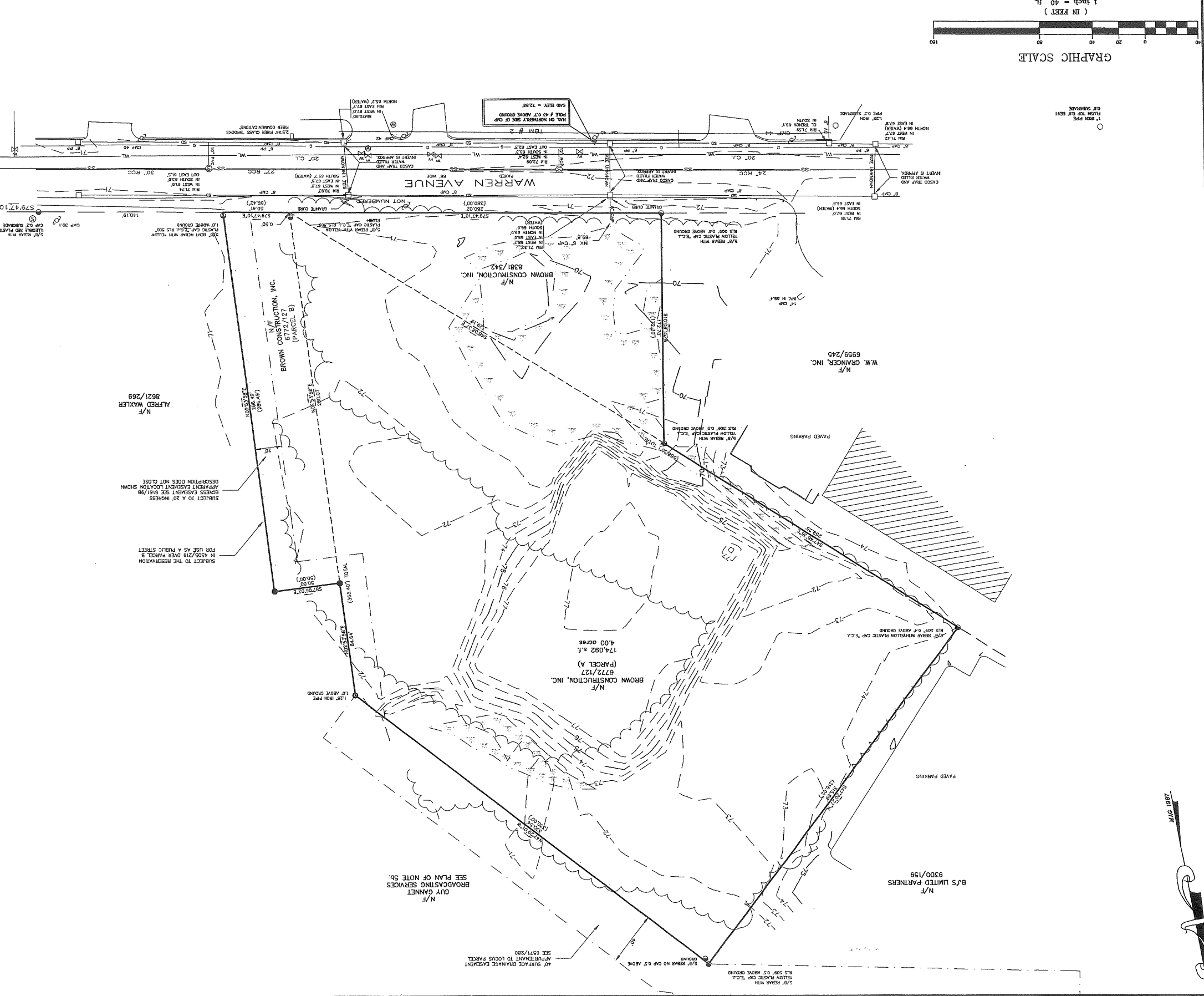
S1 TurfDepot.dwg CAD FILE:	DATE: 11/1/00 SCALE: 1"=30' DESIGNED BY: DRM DRAWN BY: LMG
	P.O. BOX 10 MAIN STREET LIMERICK, MAINE 04048 (207) 753-2944 FAX: (207) 753-8489 Email: office@dmorton.com
DANA R. MORTON, INC. Warren Ave., Portland, ME. Site Lighting Submittal	REVISIONS:



NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD
A		5/30/03		SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION	RMC	AAM	WSD
B		9/4/03		REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW	RMC	AAM	WSD
C		10/14/03		REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW	RMC	WSD	

CLIENT: 424 WARREN AVENUE LLC
 c/o HARBOUR AUTO BODY, 401 WARREN AVE. PORTLAND 04103
 P.O. BOX 864, CUMBERLAND CENTER, ME. 04021
 Phone: (207) 829-8994 Fax: (207) 829-2231 Email: info@sytdesign.com

NO.	FIELD BOOK #	DESIGN:	AAH
PROJECT:	WARREN AVENUE COMMERCIAL	424 WARREN AVENUE, PORTLAND ME. 04103	
NO. <th>DRWN:</th> <th>RMC</th>	DRWN:	RMC	
NO. <th>CHKD:</th> <th>WSD</th>	CHKD:	WSD	
NO. <th>DATE:</th> <th>December 2002</th>	DATE:	December 2002	
NO. <th>DWG. NO.:</th> <th>02-28101</th>	DWG. NO.:	02-28101	
NO. <th>SCALE:</th> <th>1"=40'</th>	SCALE:	1"=40'	
NO. <th>BASE AND C-100</th> <th></th>	BASE AND C-100		



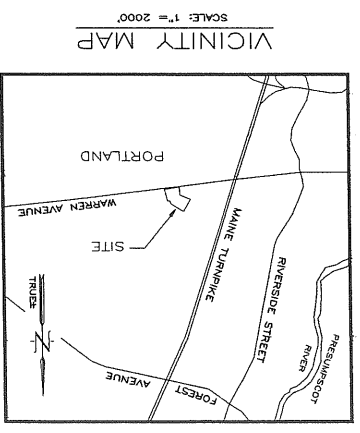
REQUIREMENTS FOR ZONE B-4 (COMMERCIAL CORRIDOR)

DESCRIPTION	MIN/MAX REQUIREMENTS	ACTUAL
LOT SIZE	10,000 S.F.	174,092.04
STREET FRONTAGE	MIN 60- FEET	330.43- FEET
SETBACKS:		
FRONT YARD	MIN 20- FEET (EXCEPT THE FRONT YARD NEED NOT EXCEED THE AVE. DEPTH OF FRONT YARDS ON EITHER SIDE OF LOT)	
REAR YARD	MIN 20- FEET	
SIDE YARD	MIN 10- FEET FOR 1-2 STORY BUILDINGS	
LOT WIDTH	MIN 60- FEET	AVE. 330- FEET
BUILDING HEIGHT	MAX 65- FEET	
IMPERVIOUS SURFACE RATIO	MAX 80%	60%
FLOOR AREA RATIO (F.A.R.)	MAX 65%	21.5%
OFFICE SPACE:	1 SPACE PER EA. 400 S.F.	3750 S.F.F.
OFFICE SPACE:	1 SPACE PER EA. 1000 S.F. OF FLOOR	33,750 S.F.F.
WAREHOUSE/STORAGE:	1 SPACE PER EA. 1000 S.F. OF FLOOR	34 SPACES

PLAN REFERENCE:
 1. STANDARD BOUNDARY SURVEY, & TOPOGRAPHIC SURVEY, FOR SITEDesign CONSULTANTS, RECORD OWNER BROWN CONSTRUCTION, INC., 253 WARREN AVENUE, PORTLAND, MAINE 04103, SHEET 1 OF 1, DATED 8/15/00, AND REVISED 1/24/03, AS PREPARED BY LEMIS & WASHNA, INC.

LEGEND

●	5/8" INCH REBAR WITH ALUMINUM CAP STAMPED "LEMIS & WASHNA PLS 2286" TO BE SET.
○	FOUND GRANITE MONUMENT
○	FOUND IRON PIPE
○	FOUND 6"/8" REBAR
○	CATCH BASIN
○	WATER SERVICE MANHOLE (NOT VERIFIED)
○	UTILITY POLE
○	HYDRANT
○	WATER VALVE
○	TM
()	RECORD INFORMATION
—	HOW ON FORMERLY OWNED BY
—	BUILDING/STRUCTURE
—	BOUNDARY LINE
—	RIGHT OF WAY LINE
—	ABUTTER LINE
—	INTERNAL PARCEL LINE
—	EDGE OF WETLAND
—	INDEX CONTOURS
—	INTERMEDIATE CONTOURS
—	WATER LINE
—	SANITARY SEWER
—	STORM SEWER
—	GAS LINE
—	TREE LINE

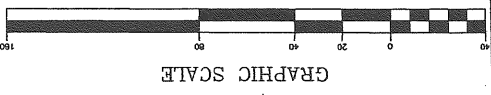


Att. 10

NO.	REV.	DATE	STATUS
	A	5/30/03	SUBMITTED WITH CITY SITE PLAN REVIEW APPLICATION
	B	8/19/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW
	C	9/8/03	REVISED AND SUBMITTED FOR PLANNING BOARD REVIEW
	D	10/14/03	REVISED AND RESUBMITTED FOR CITY SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYDESIGN CONSULTANTS. ANY ALTERATIONS, OMISSIONS, OR CHANGES SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYDESIGN CONSULTANTS.

1. STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY BY LEWIS & WASSINA
 INC., SEPTEMBER, 2000
 2. WETLANDS BOUNDARY DELINEATED BY MARK HAMPTON ASSOC., 2002



SYDESIGN Consultants
 CIVIL ENGINEERS & LAND SURVEYORS
 P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021
 Phone: (207) 829-8994 Fax: (207) 829-2321 Email: info@sydesign.com



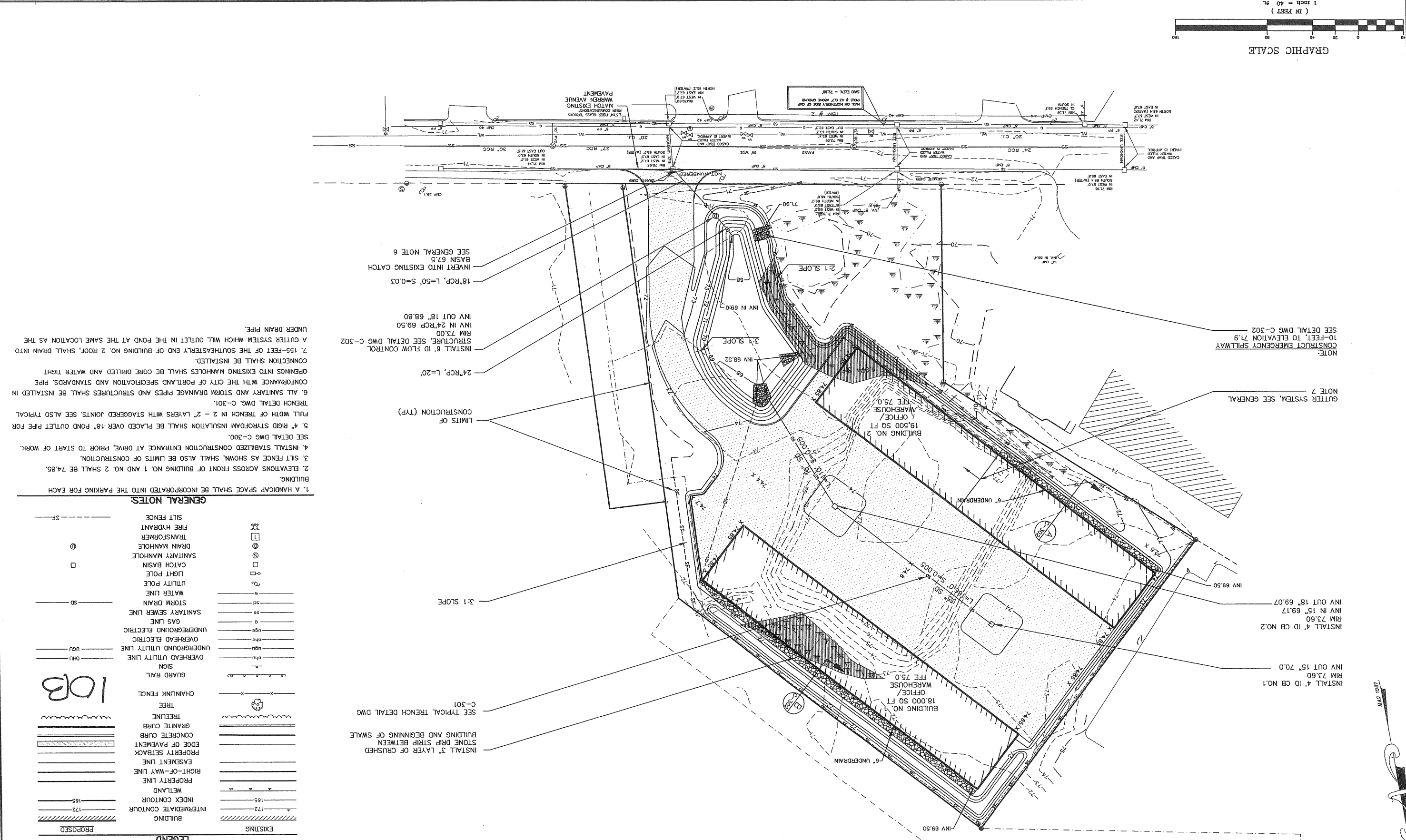
OWNER: 424 Warren Ave LLC
 c/o Harbor Auto Body, 401 Warren Ave, Portland, 04103

PROJECT	DESIGN	DRAWN	CHECKED
COMMERCIAL DEVELOPMENT	A4H	A4H	MSD

PROJECT: 424 Warren Ave., Portland, ME 04103

PROJECT	DATE	SCALE
EROSION, DRAINAGE AND SITE GRADING CONTROL PLAN	December 2002	1" = 40'

NO.	DWG.	NO.
02-28101	C-102	D



- GENERAL NOTES:**
- A HANDICAP SPACE SHALL BE INCORPORATED INTO THE PARKING FOR EACH BUILDING.
 - ELEVATIONS ACROSS FRONT OF BUILDING NO. 1 AND NO. 2 SHALL BE 74.85.
 - SILT FENCE AS SHOWN, SHALL ALSO BE LIMITS OF CONSTRUCTION.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AT DRIVE, PRIOR TO START OF WORK. SEE DETAIL DWG C-300.
 5. 4" RIGID STYROFOAM INSULATION SHALL BE PLACED OVER 18" POND OUTLET PIPE FOR FULL WIDTH OF TRENCH IN 2 - 2" LAYERS WITH STAGGERED JOINTS. SEE ALSO TYPICAL TRENCH DETAIL DWG. C-301.
 6. ALL SANITARY AND STORM DRAINAGE PIPES AND STRUCTURES SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY OF PORTLAND SPECIFICATION AND STANDARDS. PIPE OPENINGS INTO EXISTING MANHOLES SHALL BE CORE DRILLED AND WATER TIGHT CONNECTION SHALL BE INSTALLED.
 7. 155- FEET OF THE SOUTHEASTERN END OF BUILDING NO. 2 ROOF, SHALL DRAIN INTO A GUTTER SYSTEM WHICH WILL OUTLET IN THE POND AT THE SAME LOCATION AS THE UNDER DRAIN PIPE.

EXISTING	PROPOSED

10B

LEGEND

NOTE: GUTTER SYSTEM, SEE GENERAL NOTE 7
 CONSTRUCT EMERGENCY SPILLWAY 10- FEET, TO ELEVATION 71.9
 SEE DETAIL DWG C-302