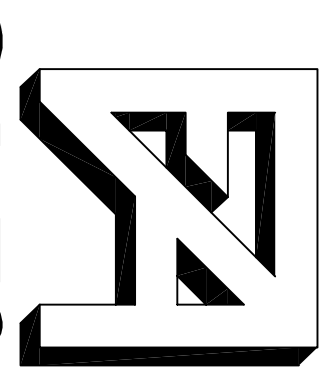


GENERAL NOTES:

1. REVIEW ALL REVISIONS TO THE ARCHITECT CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
2. EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
3. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH THE LATEST EDITIONS OF THE 2006 IBC, IFPA AND ANSI.
4. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES EXISTING CONDITIONS, DIMENSIONS AND MATERIALS. VERIFY DIMENSIONS AND CONDITIONS BEFORE COMMENCING FABRICATION.
5. DEMOLITION REQUIRES SELECTIVE REMOVAL AND PRESERVATION OF THE FOLLOWING:
 - a. ALL EXISTING MATERIALS TO BE REUSED OR RECYCLED FOR RE-USE, AND REMOVAL AND RECONNECTION, HEATING AND PLUMBING NOT USED IN THE NEW WORK.
 - b. THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY OF PRODUCT, I.E. ASBESTOS.
6. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO THE COMMENCEMENT OF THE WORK.
7. WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS SPECIFIED, THE CONTRACTOR SHALL OBTAIN APPROVED SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED THROUGH WRITTEN DIRECTIVE.
8. AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND SIMILAR DOCUMENTS.
9. COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT FINISHES, REPAIR AND RESTORE DAMAGED EXPOSED FINISHES.
10. THE LOCATION OF ALL CORPERSANTS NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
11. ALL PARTITIONS SHALL EXTEND FROM FLOOR TO CEILING UNLESS OTHERWISE NOTED.
12. ALL PARTITIONS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OR EQUIVALENT ABOVE CEILING UNLESS OTHERWISE NOTED.
13. INITIAL BLOCKING BEHIND ALL SURFACE APPLIED PARTICLES, TRIM, GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS AND BARE MOLDINGS.
14. IF TWO CONTRACTING CODES OR DETAILS EXIST IN THIS DRAWING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHICH ARCHITECTS CHOICE TO OBSERVE WHICH CONDITION OR DETAIL APPLIES AT NO ADDITIONAL COST.

REVISIONS:

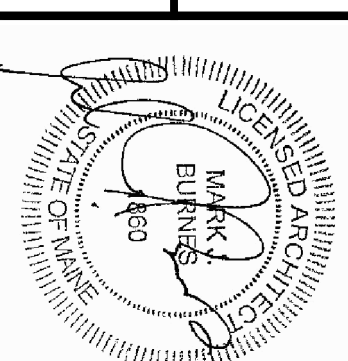
- 10/22/10 - SHOWING EXISTING BACK MEZZANINE STAIRS



FORESIDE ARCHITECTS
 LLC

281 VERANDA ST.
 PORTLAND, MAINE 04103
 Online @ foresidearchitects.com

Project Status:
 CONSTRUCTION DOCUMENTS
 Project Number:
 CPS 1810

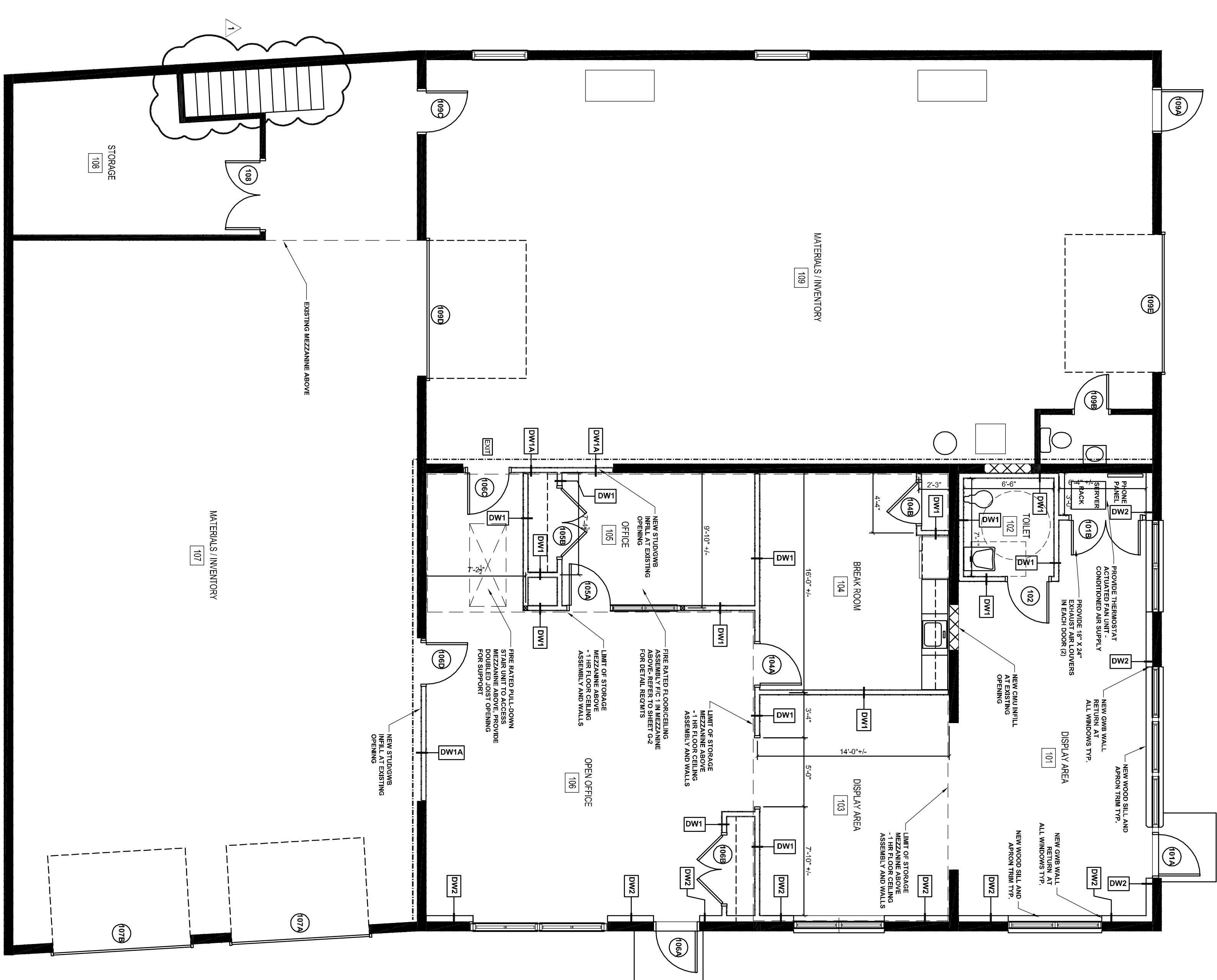


Project Title:
CHRISTMAN POOL SERVICE BUILDING RENOVATIONS
 336 Warren Avenue
 Portland, Maine, 04103

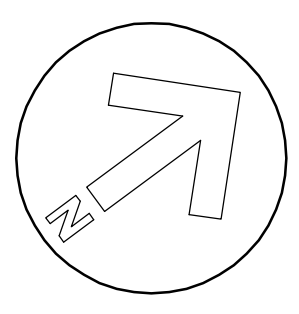
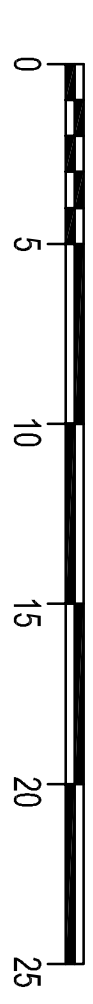
Drawing Name:
 Building Floor Plans

Scale:
 3/16"=1'-0"
 Date:
 10/22/10

SHEET
A-1.1



2 PROPOSED BUILDING FLOOR PLAN
 3/16" = 1'-0"



NEW WALLS
 EXISTING WALLS
FIRE RATED WALL LEGEND
 1 HOUR WALLS