

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: 101195

This is to certify that Kevin P. Doree/Buchholz Construction
has permission to Swimming Pool Service; Creation of two interior office spaces, also replacement of windows and vinyl siding
AT 336 Warren Ave CB# 303 H011901

PERMIT ISSUED

OCT 27 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier
Health Dept. _____
Appeal Board _____
Other _____

Department Name

Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1195	Issue Date:	CBL: 303 H011001
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Location of Construction: 336 Warren Ave	Owner Name: Kevin P. Doree	Owner Address: 10 Stockholm Drive	Phone: 207-650-1790
Business Name: Christman Pool Service	Contractor Name: Buchholz Construction	Contractor Address: PO Box 364 Cumberland	Phone: 2076717752
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial <i>Change of Use</i>	Zone: <i>B-4</i>

Past Use: Commercial / Auto Service	Proposed Use: Commercial / Swimming Pool Service; Creation of two (2) <i>upgraded</i> interior office spaces, also <i>re-zoned</i> replacement of windows and vinyl siding.	Permit Fee: \$560.00	Cost of Work: \$54,000.00	CEO District: 5
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FIRE DEPT: Approved Denied
** See Conditions*

INSPECTION:
 Use Group: *B/S* Type: *SB*
IBC-2003
 Signature: *JMB 10/26/10*

Proposed Project Description:
 Swimming Pool Service; Creation of two (2) interior office spaces, also replacement of windows and vinyl siding.
upgraded re-zoned

Signature: *(KG)*
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: *gg* Date Applied For: *09/22/2010*

Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

- Special Zone or Reviews
- Shoreland
 - Wetland
 - Flood Zone
 - Subdivision
 - Site Plan

- Zoning Appeal
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review
 - Approved
 - Approved w/Conditions
 - Denied

Maj Min MM
OK with cond
 Date: *9/24/10*

Date: _____

Date: *S*

PERMIT ISSUED

OCT 27 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

10.27 2010

Received from

Christmas Pool

Location of Work

336 Webster Ave

Cost of Construction \$ _____

Building Fee: _____

Permit Fee \$ _____

Site Fee: _____

Certificate of Occupancy Fee: 75

Total: 75

Building (BL) _____

Plumbing (IS) _____

Electrical (I2) _____

Site Plan (U2) _____

Other _____

CBL: 303-11-11

Check #: 892

Total Collected \$ 75

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1195	Date Applied For: 09/22/2010	CBL: 303 H011001
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Location of Construction: 336 Warren Ave	Owner Name: Kevin P. Doree	Owner Address: 10 Stockholm Drive	Phone: 207-650-1790
Business Name: Christman Pool Service	Contractor Name: Buchholz Construction	Contractor Address: PO Box 364 Cumberland	Phone: (207) 671-7752
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial / Swimming Pool Service; Creation of two (2) interior office spaces, (upgrade mezanine) also replacement of windows and vinyl siding.	Proposed Project Description: Swimming Pool Service; Creation of two (2) interior office spaces (upgrade mezanine), also replacement of windows and vinyl siding.
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 09/24/2010
 Note: Ok to Issue:

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 10/26/2010
 Note: Ok to Issue:

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. Per the email dated 10/26/10 from Mark Burnes, the elevated (mezzanine) area above the offices will not be used for storage as a code compliant stair is required. A drop down stair is not approved and shall not be installed to access this space.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gautreau Approval Date: 10/01/2010
 Note: Ok to Issue:

- 1) Emergency lights are required to be tested at the electrical panel on the same circuit as the lighting for the area they serve.
- 2) Fire extinguishers required. Installation per NFPA 10
- 3) All means of egress to remain accessible at all times
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) All construction shall comply with City Code Chapter 10.
- 6) This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require ammendments and approval.

Comments:

9/24/2010-gg: entered pdf in the system. /gg

Location of Construction: 336 Warren Ave	Owner Name: Kevin P. Doree	Owner Address: 10 Stockholm Drive	Phone: 207-650-1790
Business Name: Christman Pool Service	Contractor Name: Buchholz Constructiou	Contractor Address: PO Box 364 Cumberland	Phone: (207) 671-7752
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

10/22/2010-jmb: Spoke with Mark B. @ Foreside for details, the mezzanines are existing, the one above the office needs structural upgrades. Table 302.3.2 allows ordinary storage without separation from B use, not really a mezz as it is not open to the floor below. He will email spec on pull down stair, this area is for long term record storage, floor plan for upper storage including new partitions, revised plan showing existing stair to warehouse mezz and spec for tempered "C" window next to egress door. Checked with Marge as this is a change of use for zoning and B/NFPA.

10/25/2010-jmb: Received email from Dave S. with details, responded with question on how the existing upper storage is currently accessed

10/26/2010-jmb: Received email from Mark B., the current access is via a ladder. I returned email with code justification to provide a stair to the storage mezzanine. Received email from Mark, the decision is this storage area will not be used, ok to issue.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

NOTE: There is a \$75.00 fee per inspection at this point.

 X **Condition on CO: The enclosed area (mezzanine) above the offices is not approved for storage or use due to egress.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

Apr 22 20

Received from Chapelman & Assoc

Location of Work 336 Union Lane

Amount of Construction \$ _____ Building Fee: _____

Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 560.00

Building (11) Plumbing (15) _____ Electrical (12) _____ Site Plan (17) _____

Other _____

Off: 303 Hall

Check # 880 Total Collected \$ 560.00

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

101195



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>336 WARREN AVE, PORTLAND ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>5360 SF.</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>303</u> Block# <u>H</u> Lot# <u>011</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>KEVIN P. DOREE</u> Address <u>10 STOCKHOLM DR.</u> City, State & Zip <u>CUMBERLAND ME 04021</u>	Telephone: <u>(207) 650-1790</u>
RECEIVED SEP 22 2010 Dept. of Building Inspections City of Portland, Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>54,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>560.00</u>
	Lessee/LBA (if applicable) Current legal use (i.e. single family) If vacant, what was the previous use? <u>AUTO SERVICE/DETAILING</u> Proposed Specific use: <u>SWIMMING POOL SERVICE CTR</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>NEW MEZANINE & VINYL SIDING & REPLACEMENT WINDOWS.</u> <u>CREATION OF INTERIOR OFFICE SPACES</u> <u>TWO</u>	Received PDF
Contractor's name: <u>BUGHOLE CONSTRUCTION</u> NOT HERE Address: <u>PO BOX 364</u> City, State & Zip: <u>CUMBERLAND ME 04021</u> Telephone: <u>671-7752</u> Who should we contact when the permit is ready: <u>KEVIN DOREE</u> not Telephone: <u>650-1790</u> Mailing address: <u>10 STOCKHOLM DRIVE, CUMBERLAND, ME 04021</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 9/17/10

This is not a permit; you may not commence ANY work until the permit is issued



Certificate of Design Application

From Designer: FORESIDE ARCHITECTS LLC, MARK J. BURNES
 Date: SEPTEMBER 17, 2010
 Job Name: CHRISTMAN POOL SERVICE RENOVATIONS
 Address of Construction: 336 WARREN AVE., PORTLAND

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) (B) BUSINESS

Type of Construction TYPE I (COMBUSTIBLE)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) N/A

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO
(MONITORED BY CUNNINGHAM SECURITY SERVICES)

Structural Design Calculations

YES Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
OFFICE	50 PSF
RETAIL	100 PSF
LOBBY/EXITS	100 PSF
STORAGE (LGT.)	125 PSF (GRASS STEPS)

Wind loads (1603.1.4, 1609)

1609.6 Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (1809.3)
II / 1.0 Building category and wind importance factor, I_w
 (table 1604.5, 1609.5)
B Wind exposure category (1609.4)
+/- 0.18 Internal pressure coefficient (ASCE 7)
18 PSF / -19.5 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)
14.6 PSF / 22.2 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

1616 Design option utilized (1614.1)
I Seismic use group ("Category")
0.35 / 0.16 Spectral response coefficients, S_a & S_1 (1615.1)
D Site class (1615.1.5)

N/A Live load reduction
45 PSF Roof live loads (1603.1.2, 1607.11)
45 PSF Roof snow loads (1603.7.3, 1608)
50 PSF Ground snow load, P_g (1608.2)
45 PSF If $P_g > 10$ psf, flat-roof snow load P_f
0.9 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
45 PSF Sloped roof snowload, P_s (1608.4)
C Seismic design category (1616.3)
1-J Basic seismic force resisting system (1617.6.2)
1.5 Response modification coefficient, R , and
 deflection amplification factor, C_d (1617.6.2)
1616.6 Analysis procedure (1616.6, 1617.5)
0.28 W Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- Flood I hazard area (1612.3)
- Elevation of structure

Other loads

2,000* Concentrated loads (1607.4)
20 PSF Partition loads (1607.5)
- Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- N/A Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- (*) Complete electrical and plumbing layout. *RENOVATION CONTRACTORS (MECH/ELEC) TO LOOP W/INSP.*
- (*) Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review (*) *ABOVE*
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records. *(OWNER TO FURNISH DOCS.)*
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including: *(N/A)*

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for **(TO BE PROVIDED BY CUMMINGHAM SECURITY FOR DETECTION SYSTEM ONLY PER LT. GUTRO, PFD)**
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- N/A** Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



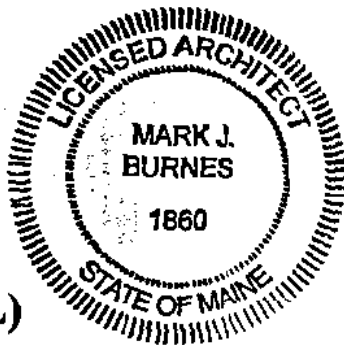
Accessibility Building Code Certificate

Designer: FORESIDE ARCHITECTS, LLC/MARK J. BURNES


Address of Project: 336 WARREN AVE, PORTLAND, ME

Nature of Project: RENOVATIONS TO EXISTING STRUCTURE
AND TENANT FIT-OUT.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: 

Title: PRESIDENT

Firm: FORESIDE ARCHITECTS, LLC

Address: 281 VERANDA STREET
PORTLAND, ME 04103

Phone: (207) 781-3344

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: SEPTEMBER 17, 2010

From: FORESIDE ARCHITECTS / MARK J. BURNES

These plans and / or specifications covering construction work on:

RENOVATIONS AND TENANT FIT-OUT TO EXISTING
STRUCTURE LOCATED AT 336 WARREN AVE, PORTLAND.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: 

Title: PRESIDENT

(SEAL)

Firm: FORESIDE ARCHITECTS, LLC

Address: 281 VERANDA STREET
PORTLAND, ME 04103

Phone: (207) 781-3344

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Jeanie Bourke - Christman Pool Updated Drawings

From: "Dave Shanks" <dshanks@foresidearchitects.com>
To: <jmb@portlandmaine.gov>
Date: 10/22/2010 3:39 PM
Subject: Christman Pool Updated Drawings
CC: <mburnes@foresidearchitects.com>
Attachments: Calvert USA, Attic stairs.pdf; Christman Pools A-1.1 102210.pdf; Christman Pools A-2.1 102210.pdf; Christman Pools A-0.0 102210.pdf; Christman Pools A-1.2 102210.pdf

Jeanne,

Please find attached the updated Christman Pool Service drawings per your request, as well as the drop down stair cut sheet. Pending approval, we will be using stair model number 4096, 1 hour rated.

For the attic wall types, you can find the wall type descriptions on sheet G-2.

Thank you for your time on this, we appreciate it very much. Let us know if there is anything else you require.

Thanks,

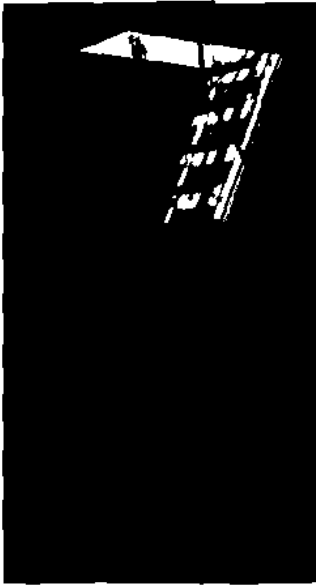
Dave

Dave Shanks CID, ASID, LEED^{AP}
Foreside Architects, LLC
281 Veranda St
Portland, ME 04103
P: 207.781.3344
F: 207.699.5564

RECEIVED

OCT 25 2010

Dept. of Building Inspections
City of Portland Maine



Incredible attic stairs

www.CalvertStairs.com



Commercial fire resistant attic stairs

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[Description](#) [Photo Gallery](#) [Specifications DWG's](#) [Common questions certificates](#) [Installation Instructions](#) [Customer comments](#)

Series 4000

- Solid construction intended for heavy duty use where fire protection is important
- Compact stairs easy to operate
- 300 lb capacity user and materials combined
- Extruded aluminum ladder
- Wide steps, 16" x 3.5"
- Ladder provides solid and comfortable support for user
- Welded metal frame with built in metal ceiling flange to provide tight seal
- High temperature sealing gasket between the door and frame
- 30 or 60 minute fire rated cover door panels, please read next page*
- Locking latch keeps stairs cover securely closed
- Attic access opening sizes from 28" x 44" to 28" x 52"
- Ceiling heights from 7' 2" to 10' 6", cut to length
- Unique spring dosing system ensures smooth operation and eliminates binding problems common on other attic stairs
- Cover door and frame has white paintable finish, painting not required.
- Fully assembled
- Pull down rod is included

*Please read the common questions page. We do not guarantee the fire rating will be accepted by your local authority.



Not Approved
JMB

powered by

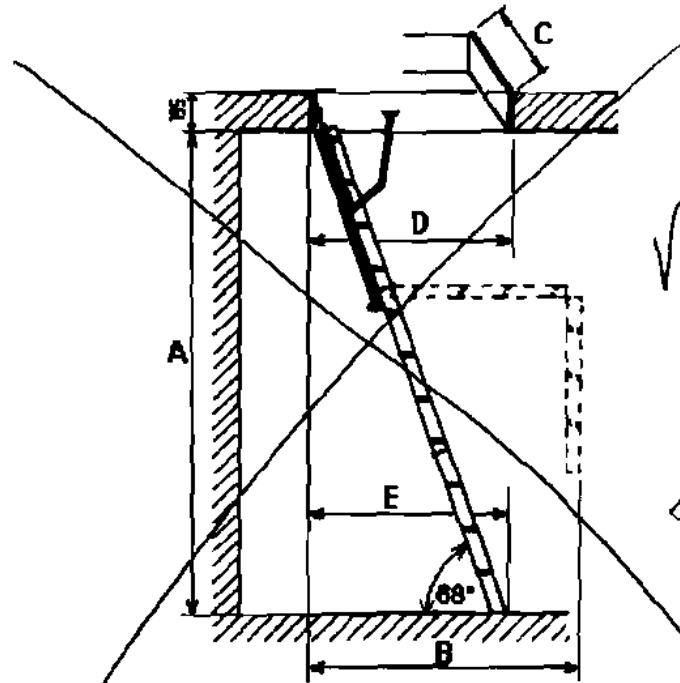
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Dept. of Building Inspections
City of Portland Maine



not approved
JMB

RECEIVED
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City of Portland Maine

30 minute fire rated stairs cover door features:

White sheet metal clad bottom side, 3/4" particle board core, 1.5" polystyrene foam panel on the top of the cover door, White MDF panel on the top of insulation, 30 minute Fire rating available.

Model#	(A) Floor to ceiling height	(C,D) Rough opening	Door cover thickness	Order by clicking ADD to or VIEW your shopping cart
4085 In stock	7' 2" to 9' 1"	28" x 48"	3/4" cover panel plus 1.5" foam	\$805.00 Qty 1 Freight not incl.
4086 Will ship Nov. 2010	7' 8" to 10' 6"	28" x 52"	3/4" cover panel plus 1.5" foam	\$865.00 Qty 1 Freight not incl.
4087 In stock	7' 2" to 9' 1"	28" x 44"	3/4" cover panel plus 1.5" foam	\$764.00 Qty 1 Freight not incl.
4088 In stock	7' 2" to 9' 1"	24" x 44"	3/4" cover panel plus 1.5" foam	\$764.00 Qty 1 Freight not incl.

[Print](#)



Indicated price does not include the cost of shipping. Commercial stairs have to be shipped by common carrier, truck. Please continue with your purchase to get a freight quote.

60 minute Fire rated stairs cover door features:

White sheet metal clad all sides, 7/8" Grenamat(R) board core

COPYRIGHT 2009
 STATE OF MAINE DEPARTMENT OF THE ENVIRONMENT
 THIS DOCUMENT IS NOT VALIDATED WITHOUT
 WRITTEN PERMISSION OF FORESIDE ARCHITECTS

GENERAL NOTES:

1. REFER TO THE PROPOSED LIFE SAFETY PLAN FOR ALL NOTES AND SPECIFICATIONS. THE PROPOSED LIFE SAFETY PLAN IS THE PRIMARY REFERENCE FOR ALL NOTES AND SPECIFICATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE BUILDING CODE AND ALL APPLICABLE REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE MECHANICAL CODE AND ALL APPLICABLE REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE FIRE CODE AND ALL APPLICABLE REGULATIONS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE HEALTH CARE FACILITY CODE AND ALL APPLICABLE REGULATIONS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE OCCUPANCY CODE AND ALL APPLICABLE REGULATIONS.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE SAFETY CODE AND ALL APPLICABLE REGULATIONS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ACCESSIBILITY CODE AND ALL APPLICABLE REGULATIONS.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENERGY CODE AND ALL APPLICABLE REGULATIONS.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE HISTORIC PRESERVATION CODE AND ALL APPLICABLE REGULATIONS.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE LAND USE CODE AND ALL APPLICABLE REGULATIONS.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ZONING CODE AND ALL APPLICABLE REGULATIONS.

REVISIONS
 10/22/10 - SHOWING EXISTING BACK
 MEZZANINE STAIRS AND UPDATES
 OCCUPANCY CALLS



FORESIDE ARCHITECTS
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 Owners @ foresidearchitects.com



Project Status
 CONSTRUCTION DOCUMENTS
 Project Number
 CPS 1810

Project Title
 CHRISTMAN POOL SERVICE
 BUILDING RENOVATIONS
 336 Warren Avenue
 Portland, Maine 04103

Drawing Name
 Building Life Safety Floor Plan

Scale
 3/16"=1'-0"

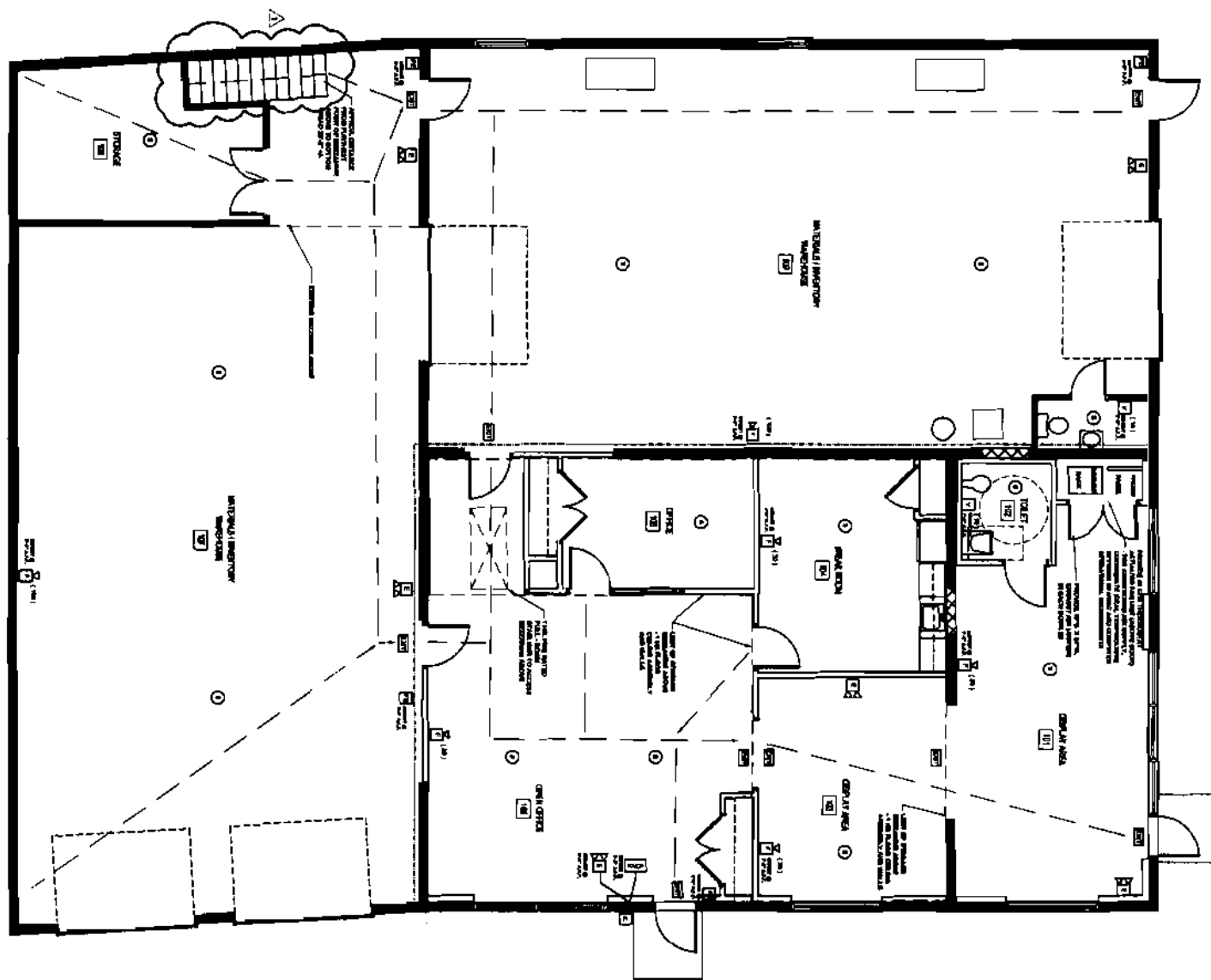
DATE
 08/13/10

SHEET
 A-0.0

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1
 PROPOSED BUILDING LIFESAFETY PLAN
 SHEET A-0.0



EYE RATED WALL LEGEND
 1 HOUR WALLS

NEW WALLS
 EXISTING WALLS

DOOR TO BE INSTALLED
 EXISTING DOORS

DOOR TO BE REMOVED
 EXISTING DOORS

LEGEND - LIFESAFETY

1	NEW WALL
2	EXISTING WALL
3	NEW DOOR
4	EXISTING DOOR
5	NEW WINDOW
6	EXISTING WINDOW
7	NEW STAIR
8	EXISTING STAIR
9	NEW ELEVATOR
10	EXISTING ELEVATOR
11	NEW ESCAPE ROUTE
12	EXISTING ESCAPE ROUTE
13	NEW EXIT
14	EXISTING EXIT
15	NEW EXIT SIGN
16	EXISTING EXIT SIGN
17	NEW EXIT LIGHT
18	EXISTING EXIT LIGHT
19	NEW EXIT SIGNAGE
20	EXISTING EXIT SIGNAGE
21	NEW EXIT SIGNAGE
22	EXISTING EXIT SIGNAGE
23	NEW EXIT SIGNAGE
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GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING DEPARTMENT REGULATIONS AND THE INTERNATIONAL BUILDING CODE (IBC) 2006 EDITION.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING DEPARTMENT REGULATIONS AND THE INTERNATIONAL BUILDING CODE (IBC) 2006 EDITION.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING DEPARTMENT REGULATIONS AND THE INTERNATIONAL BUILDING CODE (IBC) 2006 EDITION.
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10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING DEPARTMENT REGULATIONS AND THE INTERNATIONAL BUILDING CODE (IBC) 2006 EDITION.

REVISIONS:

- 10/22/10 - SHOWING EXISTING BACK MEZZANINE STAIRS AND ATTIC WALL TYPES AND PLAN



FORESIDE ARCHITECTS LLC

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 PORTLAND, MAINE 04103
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 Fax: 207-881-5584
 Office @ lvs@foresidearch.com

Project Status: CONSTRUCTION DOCUMENTS
 Project Number: CPS 1810



Project Title: CHRISTMAN POOL SERVICE BUILDING RENOVATIONS
 335 Warren Avenue
 Portland, Maine 04103

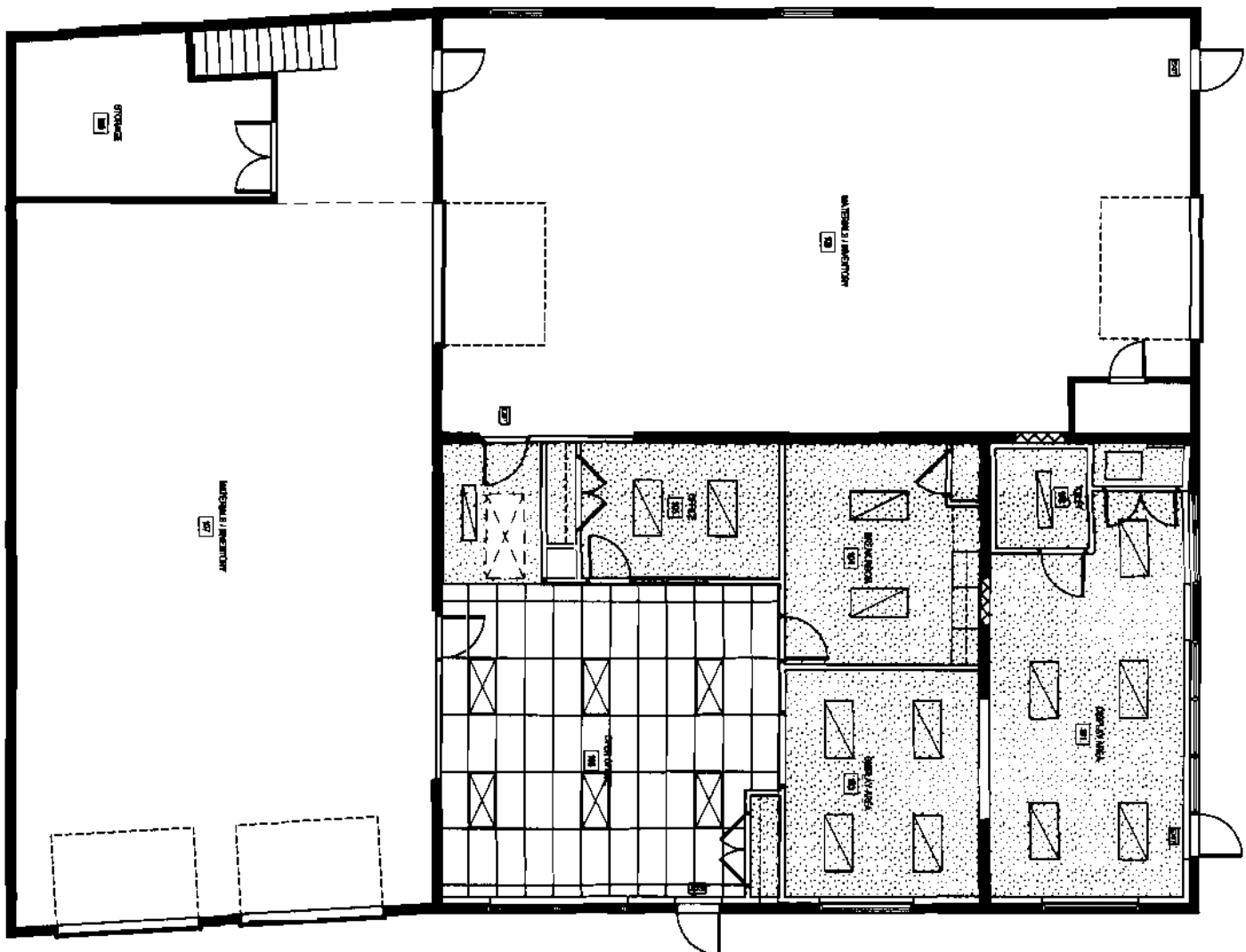
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Scale: 3/16"=1'-0"
 SHEET: A-1.2

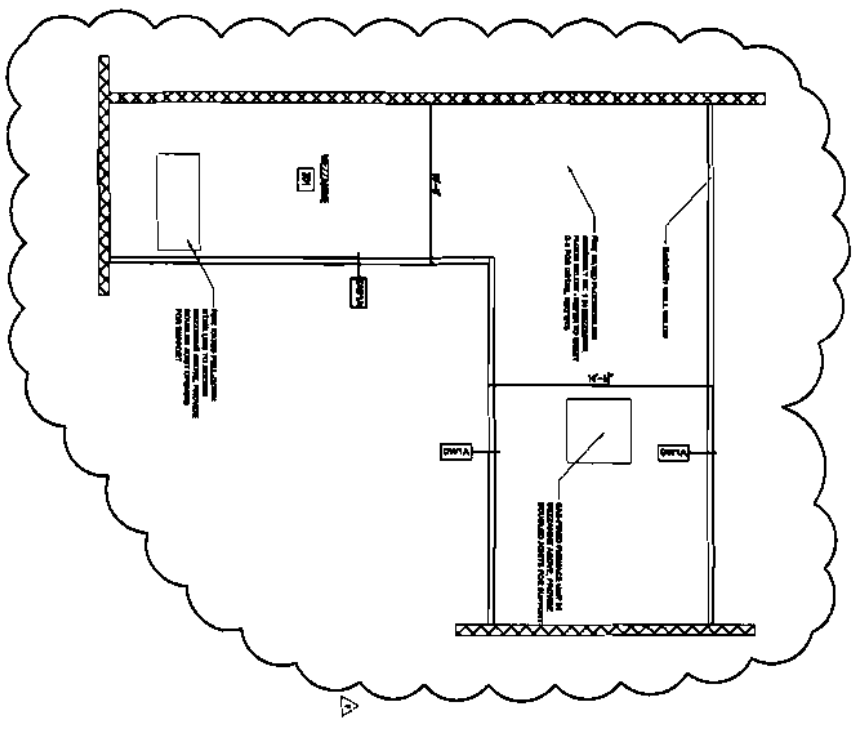
Date: 10/27/10

REFLECTED CEILING LEGEND

	2' x 4' x 8' PAINT CEILING GRID
	2' x 2' x 4' LIGHT FIXTURE
	LIGHT CONCEALED, RECESSED DOWN HUNG CEILING
	2' x 2' x 4' REAR AISC INSULATED LIGHT FIXTURE
	1' x 2' x 4' REAR AISC INSULATED LIGHT FIXTURE
	SQUARE SPACING ON DIAGONAL LIGHT FIXTURE



1 REFLECTED CEILING PLAN
 SHEET = 109



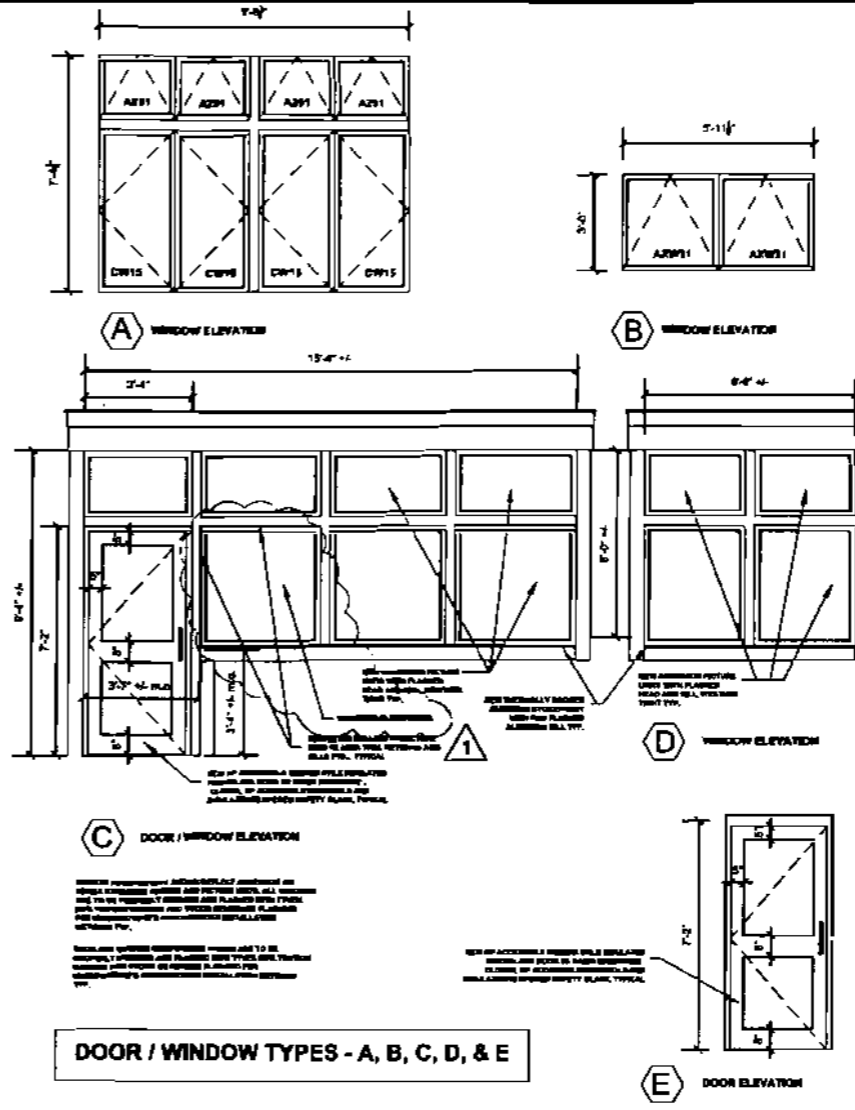
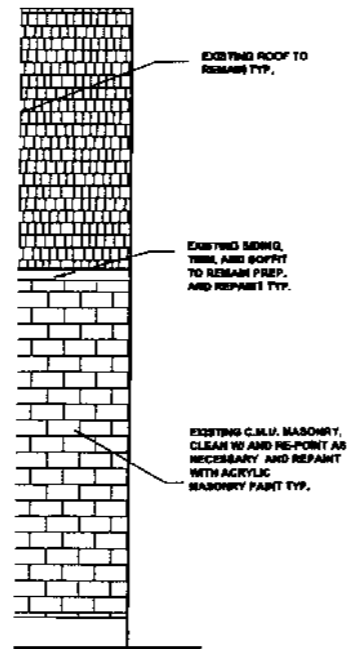
2 ATTIC PLAN
 SHEET = 109

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REAR ELEVATION - SOUTH
3/16" = 1'-0"

WITH ACRYLIC MASONRY PAINT TYP.



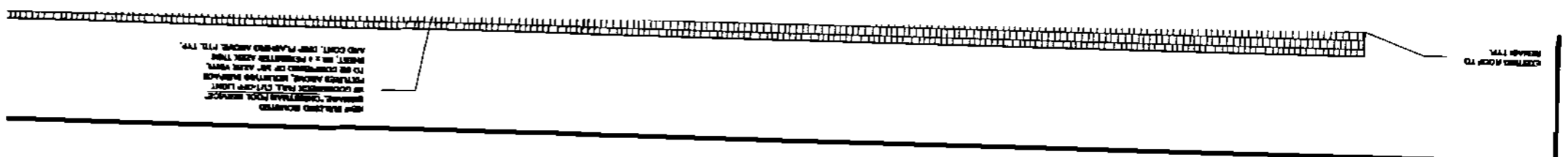
FORESIDE ARCHITECTS LLC

281 VERANDA ST. Phone: 207-781-3344
 PORTLAND, Maine 04103 Fax: 207-699-5564
 Online @ foresidearchitects.com

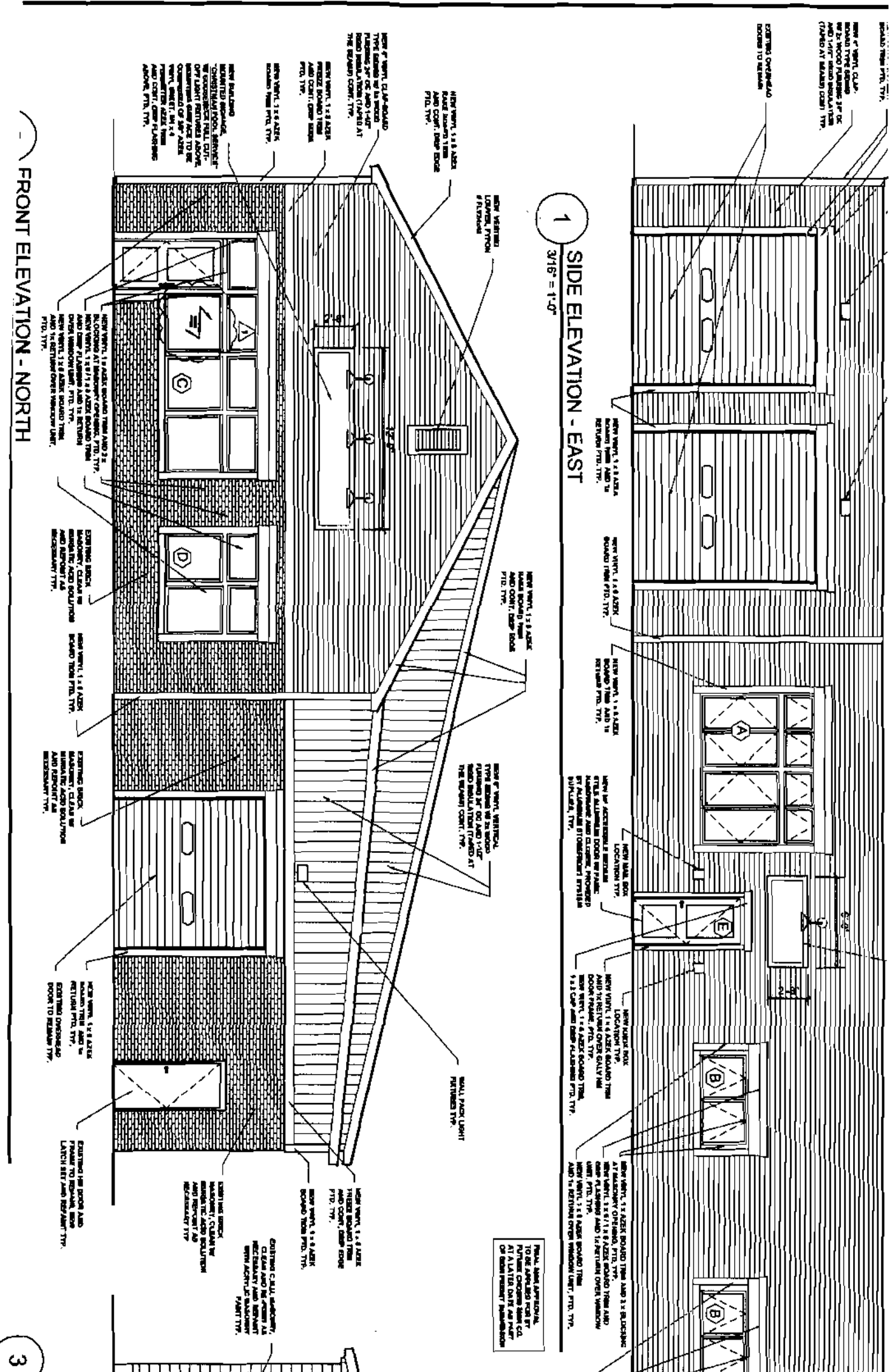
Project Status: CONSTRUCTION DOCUMENTS	
Project Number: CPS 1810	

Project Title:
CHRISTMAN POOL SERVICE BUILDING RENOVATIONS
 336 Warren Avenue
 Portland, Maine, 04103

Drawing Name: Building Elevations	
Scale: 3/16"=1'-0"	SHEET A-2.1
Date: 10/22/10	



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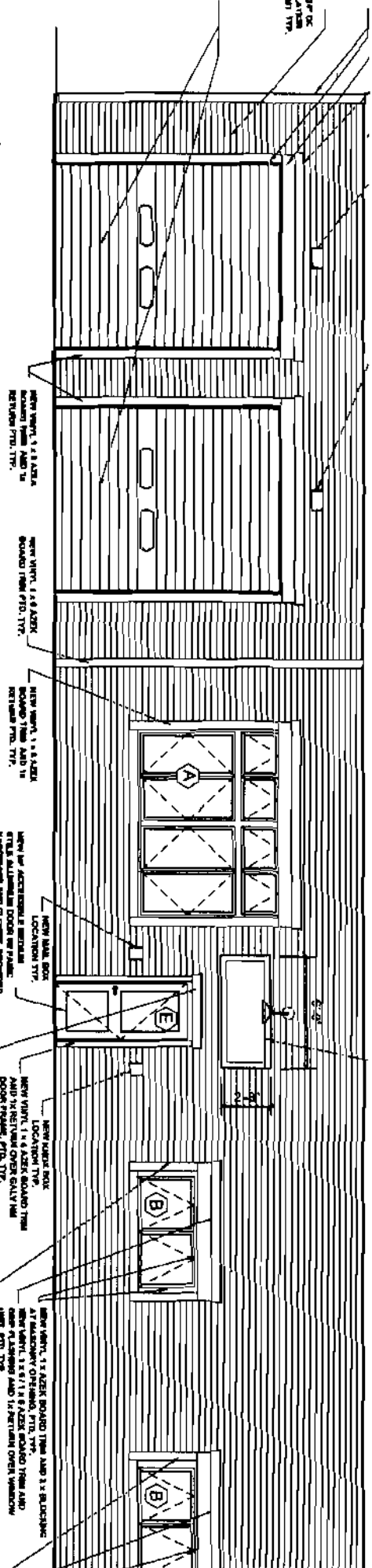


NEW 4" VENT. CLAMP
ROOF TYPE GABLE
BY 2x4 WOOD PLANKING 24" OC
AND 1/2" WOOD BRACKETS
FIXED AT BRACKET CORNERS
ROOF TYPE GABLE

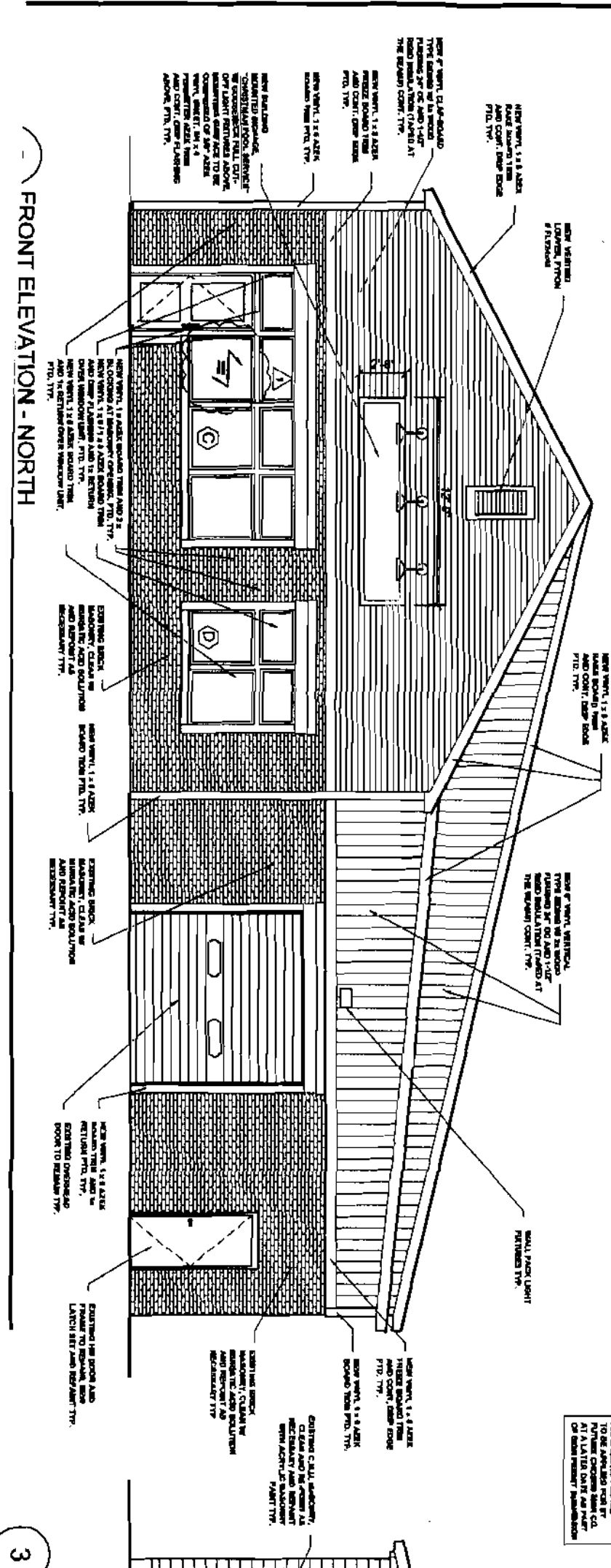
EXISTING OVERHEAD
DOORS TO BE REMOVED

1
3/16" = 1'-0"

SIDE ELEVATION - EAST



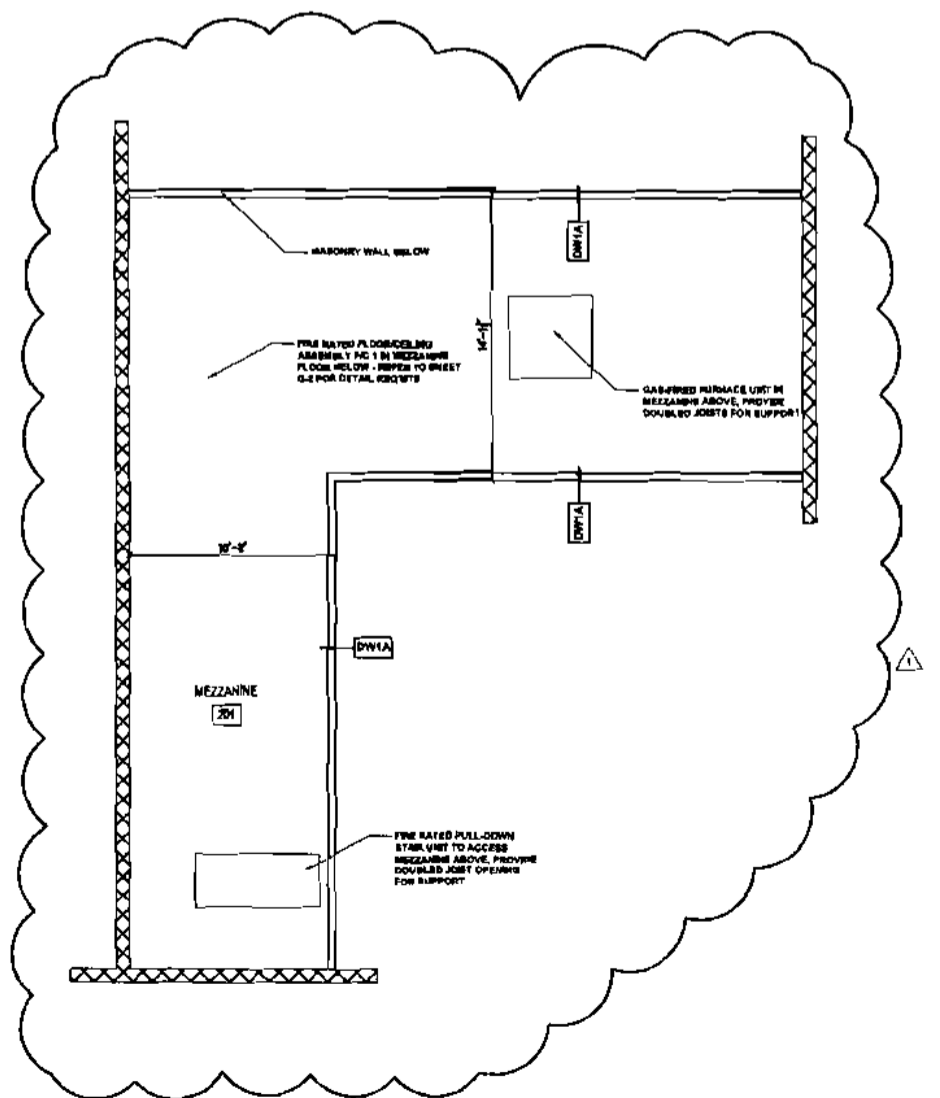
FINAL SHOWN APPROXIMATE
TO BE APPROVED FROM THE
PLANNING COMMISSION. SEE THE
DRAWING FOR THE DETAILED PLAN
OF THE SHOWN APPROXIMATE

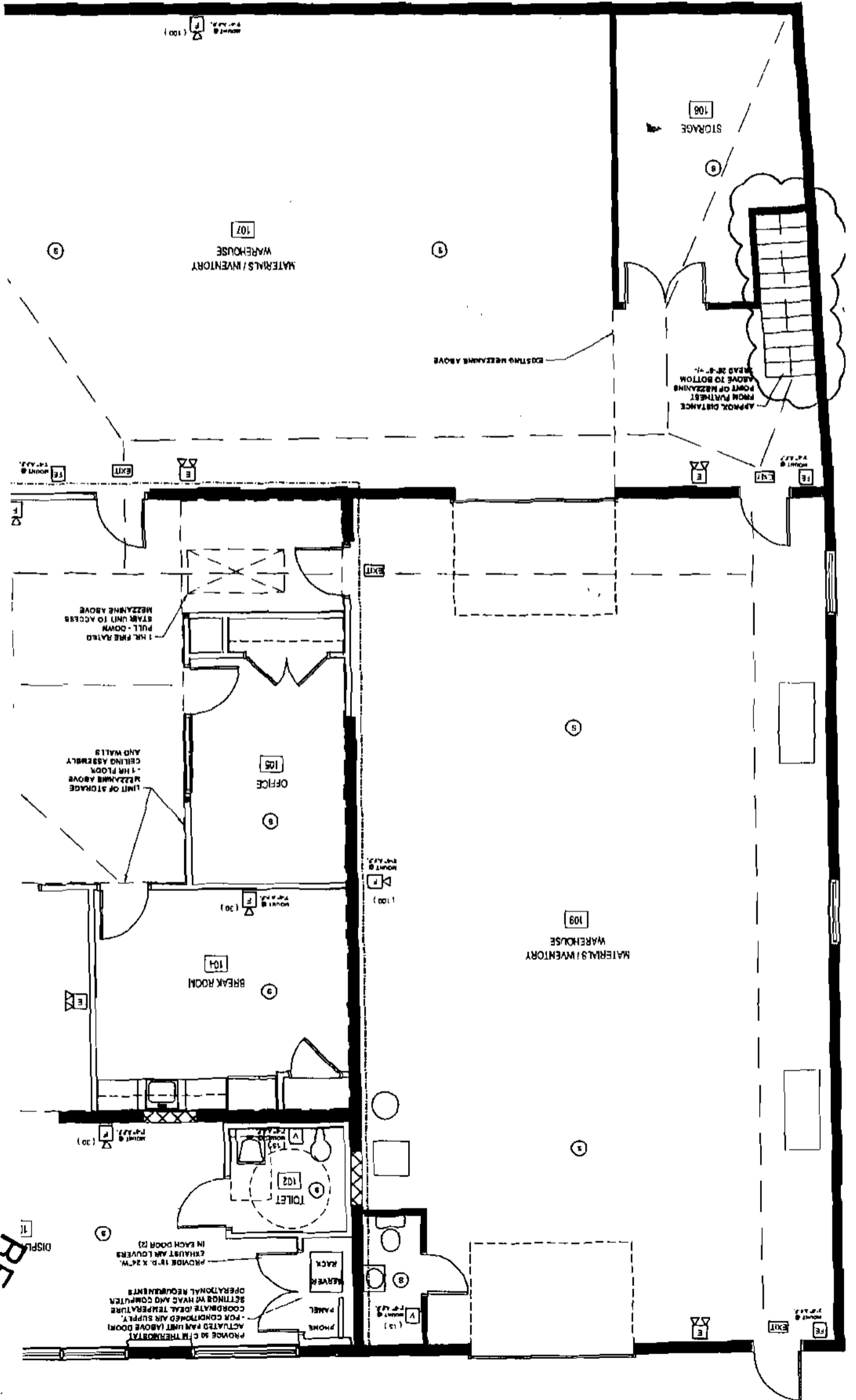


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