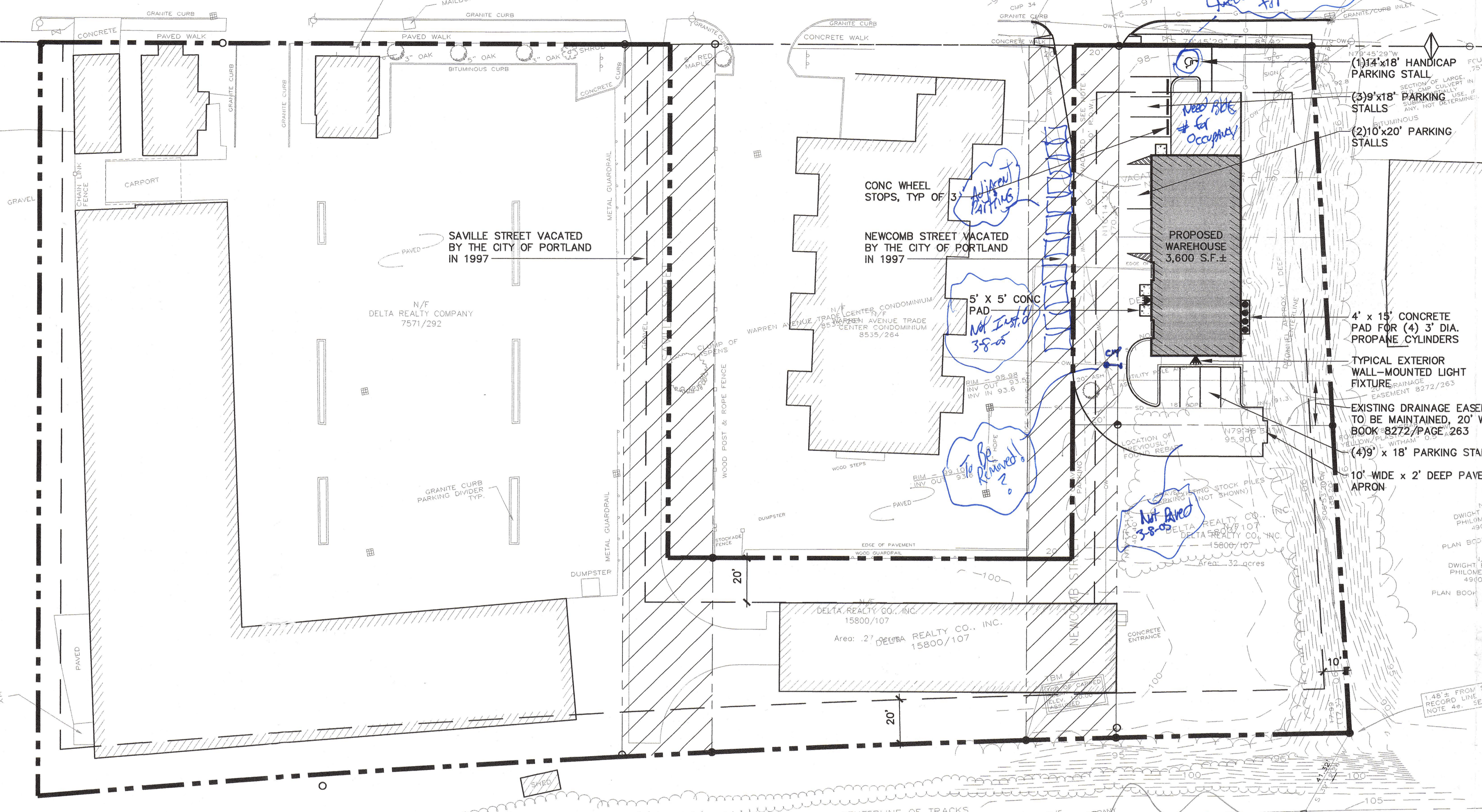


NORTH

WARREN AVENUE  
66' R.O.W.

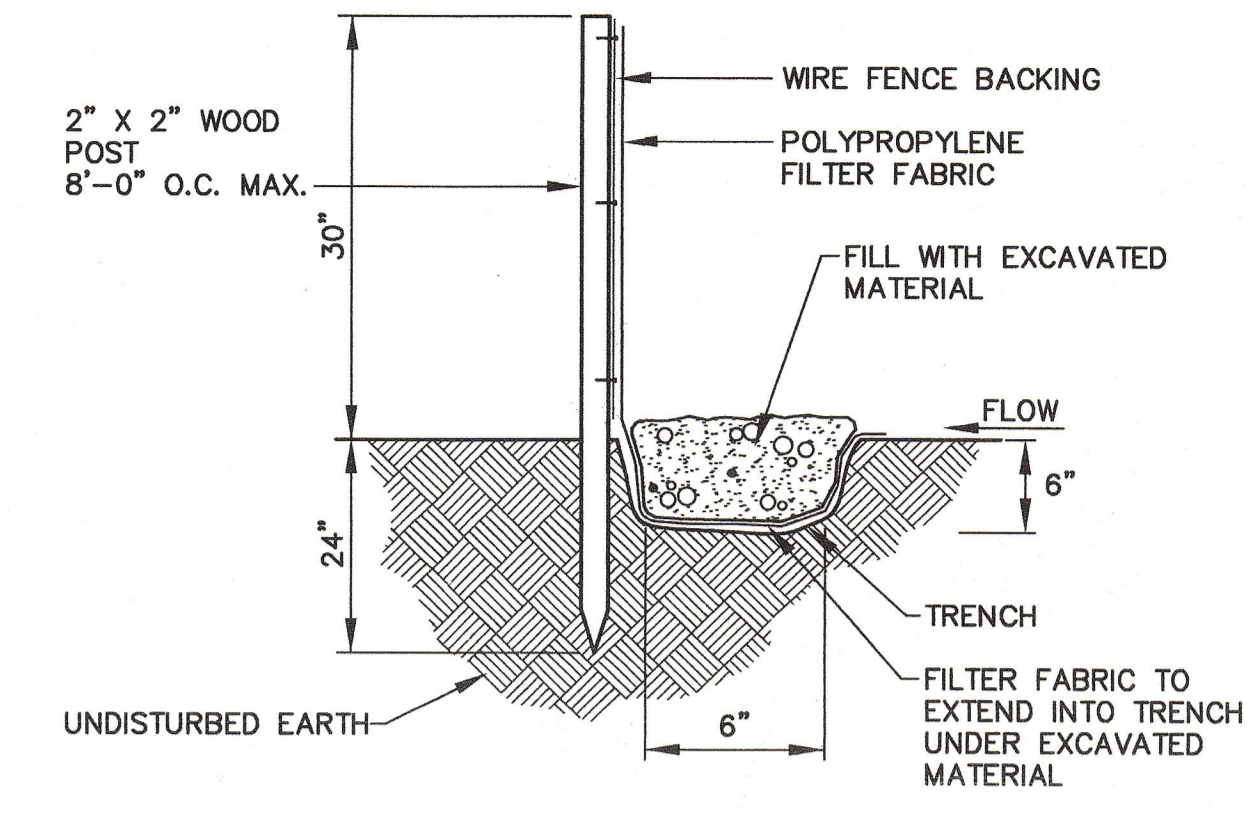


**OVERALL SITE PLAN**

SCALE: 1" = 30'

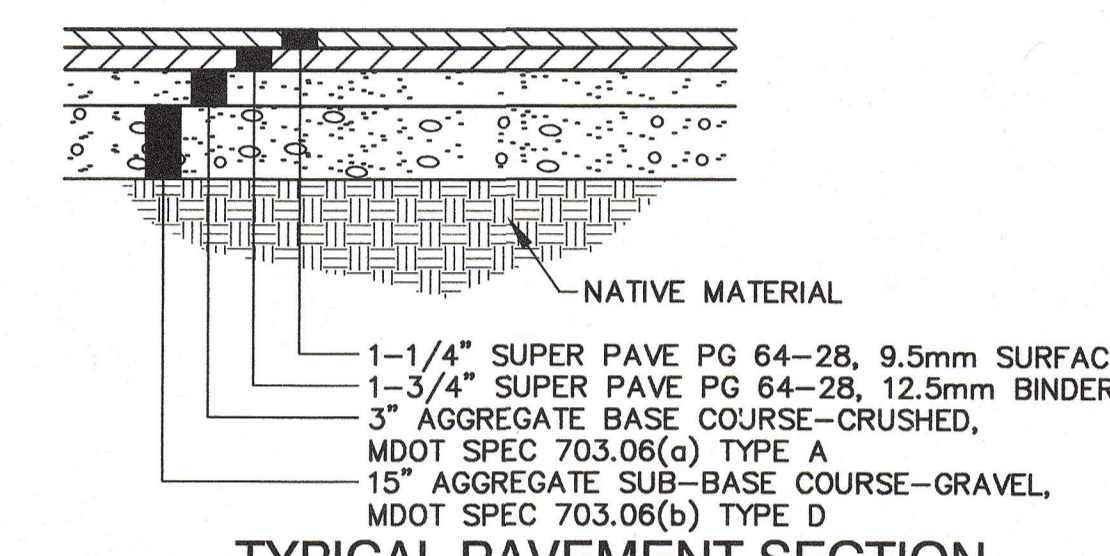
**GENERAL NOTES**

- EXISTING SOILS ARE BgB - BELGRADE
- NO WATER OR SANITARY SERVICES TO BE PROVIDED TO THE PROPOSED STRUCTURES.



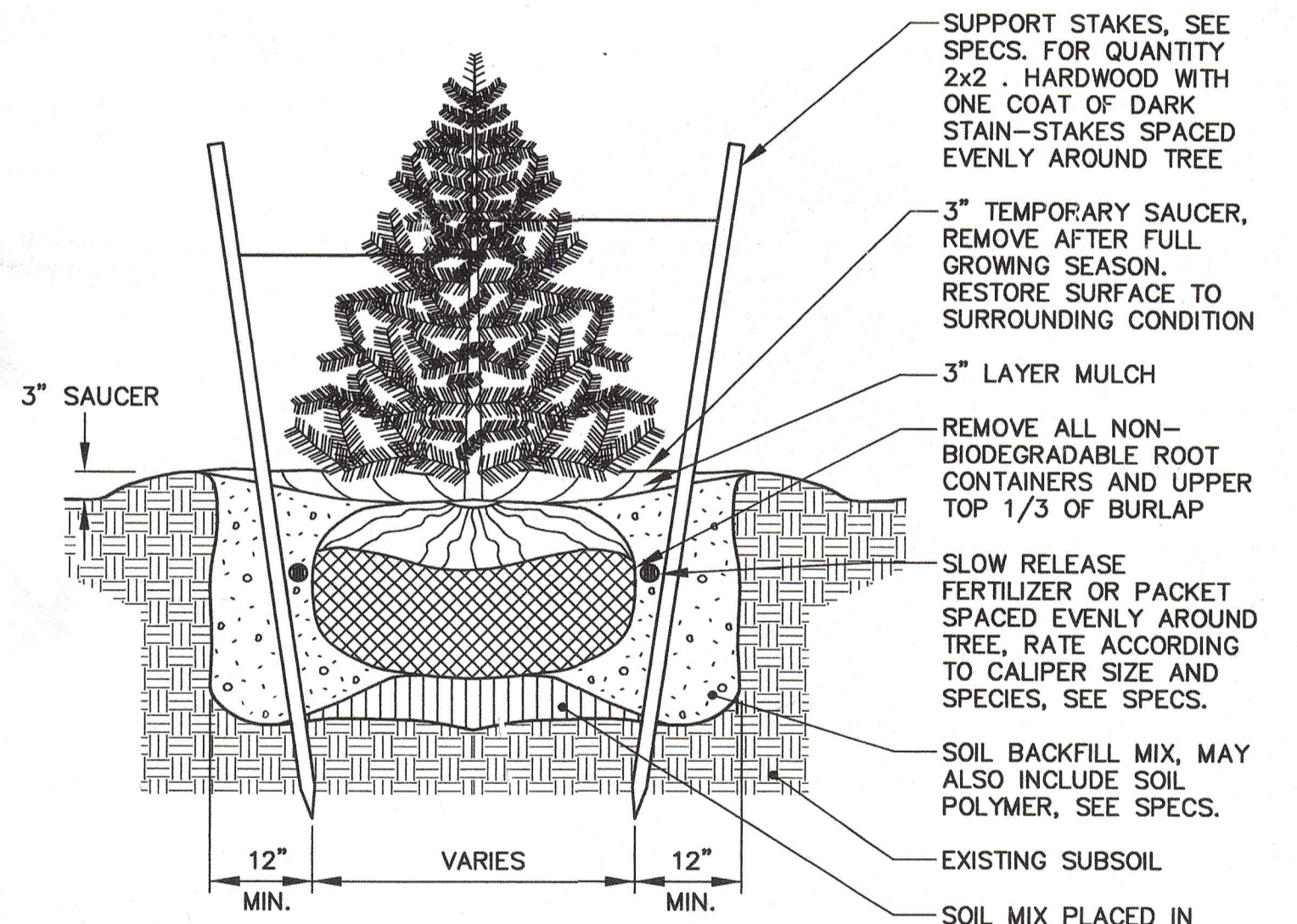
**EROSION CONTROL FENCE DETAIL**

NOT TO SCALE



**TYPICAL PAVEMENT SECTION**

NOT TO SCALE



- NOTES:**
- NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
  - SEE SPECS. FOR ADDITIONAL REQUIREMENTS
  - TREE GUYS SHALL BE GUYING CHAIN, WEB STRAPPING OR TIE WIRE, RUBBER HOSE AND TURNBUCKLES

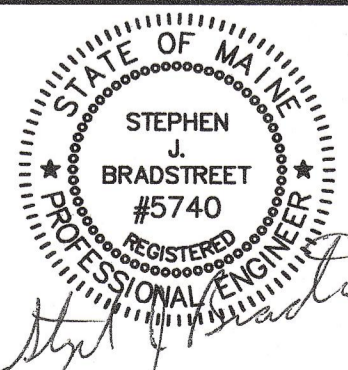
**EVERGREEN TREE PLANTING & STAKING DETAIL**

NOT TO SCALE

E	SJB	06/17/04	ISSUED FOR: PER SEBAGO TECHNICS COMMENTS ON 06/16/04	851-01_c_100
D	SJB	06/07/04	ISSUED FOR: PER SEBAGO TECHNICS COMMENTS	851-01_c_100
REV.	BY	DATE	STATUS	CAD NO.

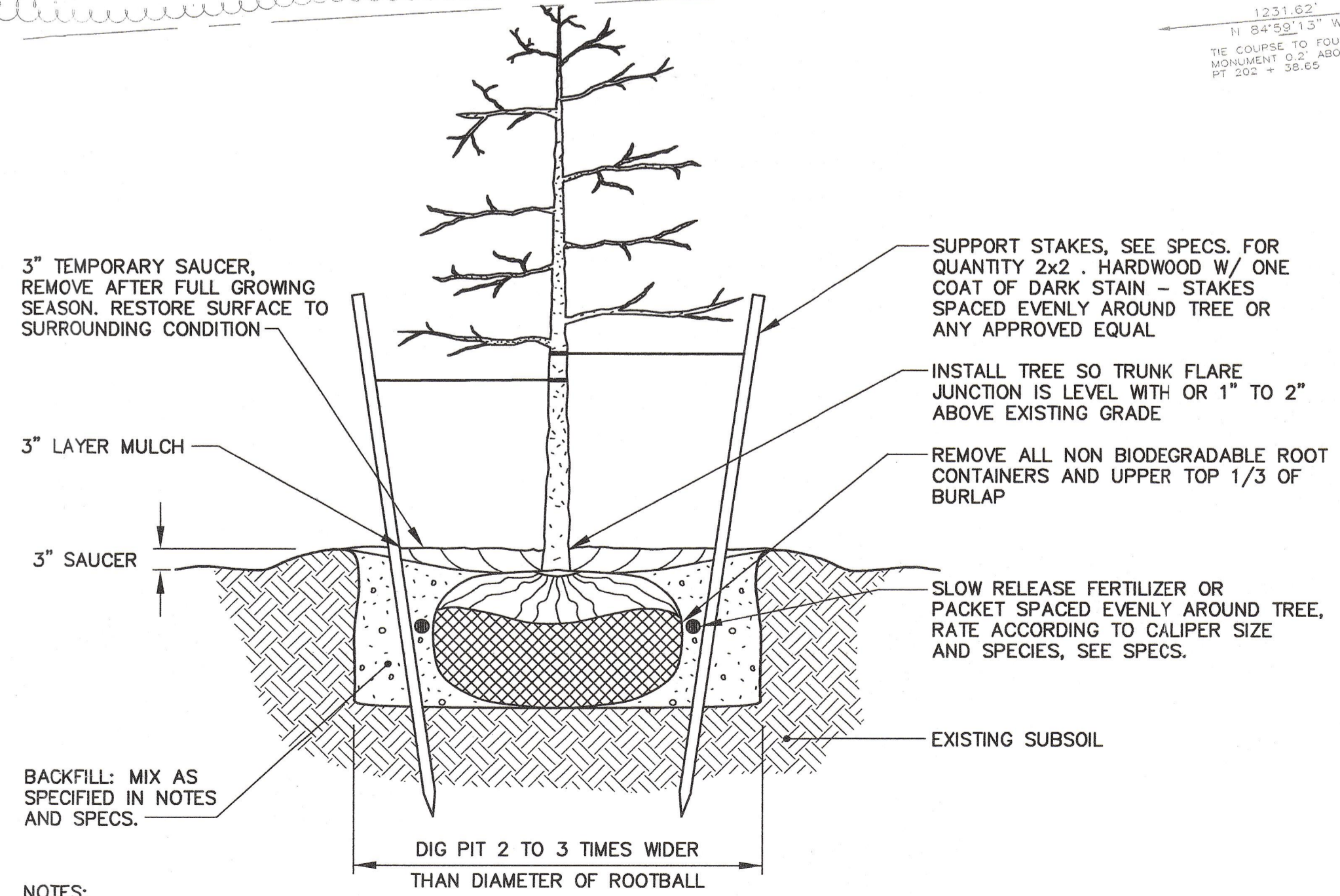
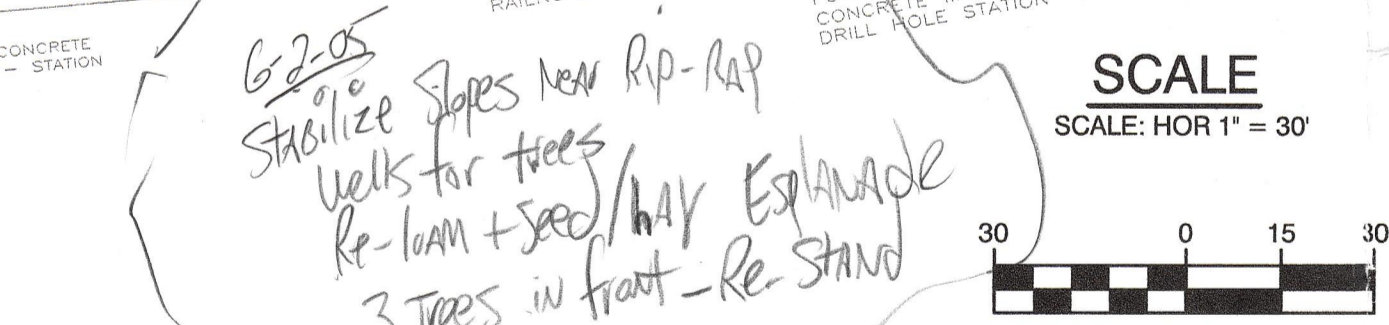
**DELTA REALTY  
WARREN AVENUE  
WAREHOUSE FACILITY**

**OVERALL SITE PLAN  
AND DETAILS**



<b>EER</b> Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 314 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 12/04/03 JOB NO: 851 SCALE: AS NOTED C-100 SHEET 1 OF 3
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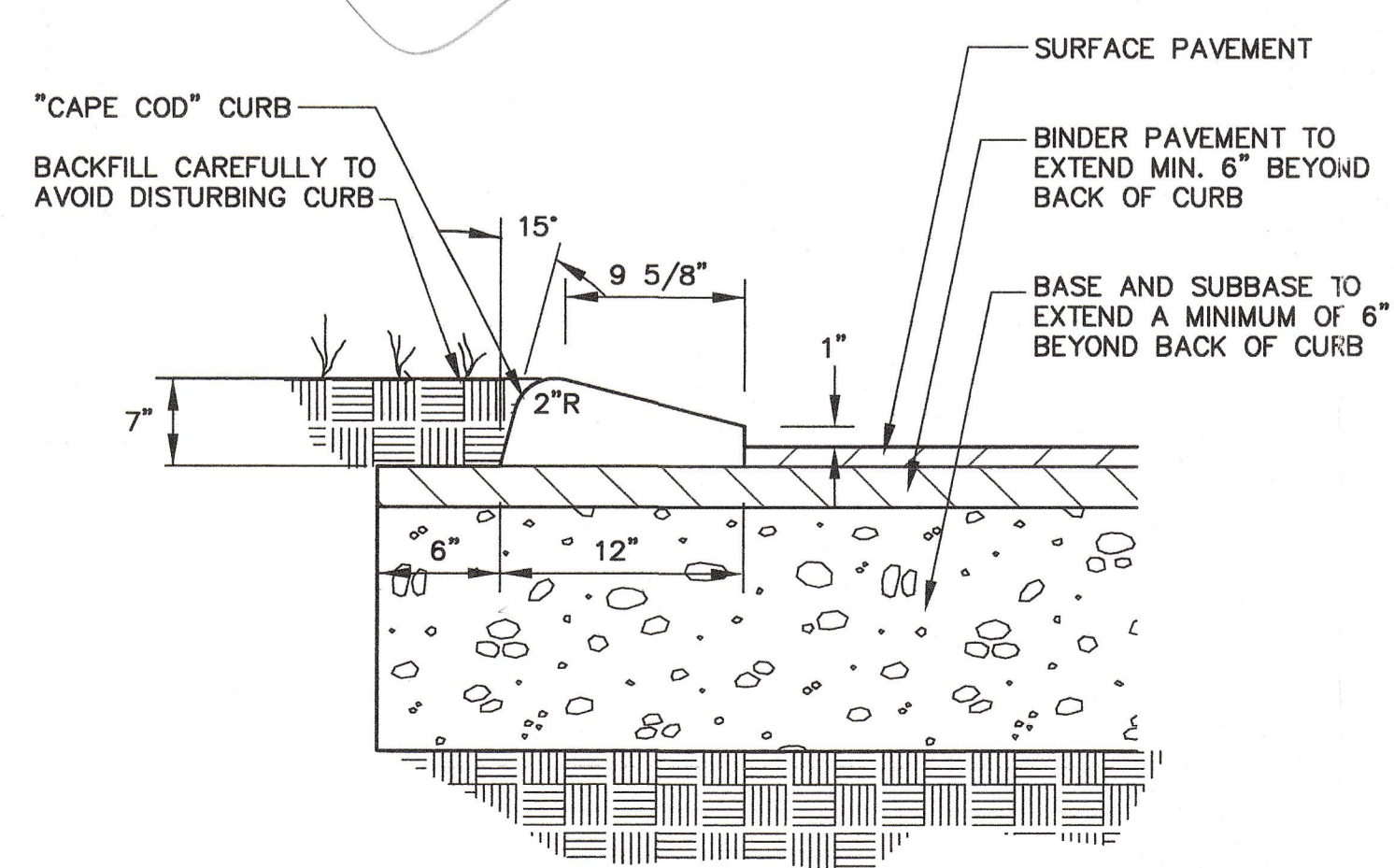
CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 1/24/04



- NOTES:**
- NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
  - SEE SPECS. FOR ADDITIONAL REQUIREMENTS
  - TREE GUYS SHALL BE GUYING CHAIN OR WEB STRAPPING
  - WATER AT TIME OF PLANTING-SEE NOTES AND SPECS.

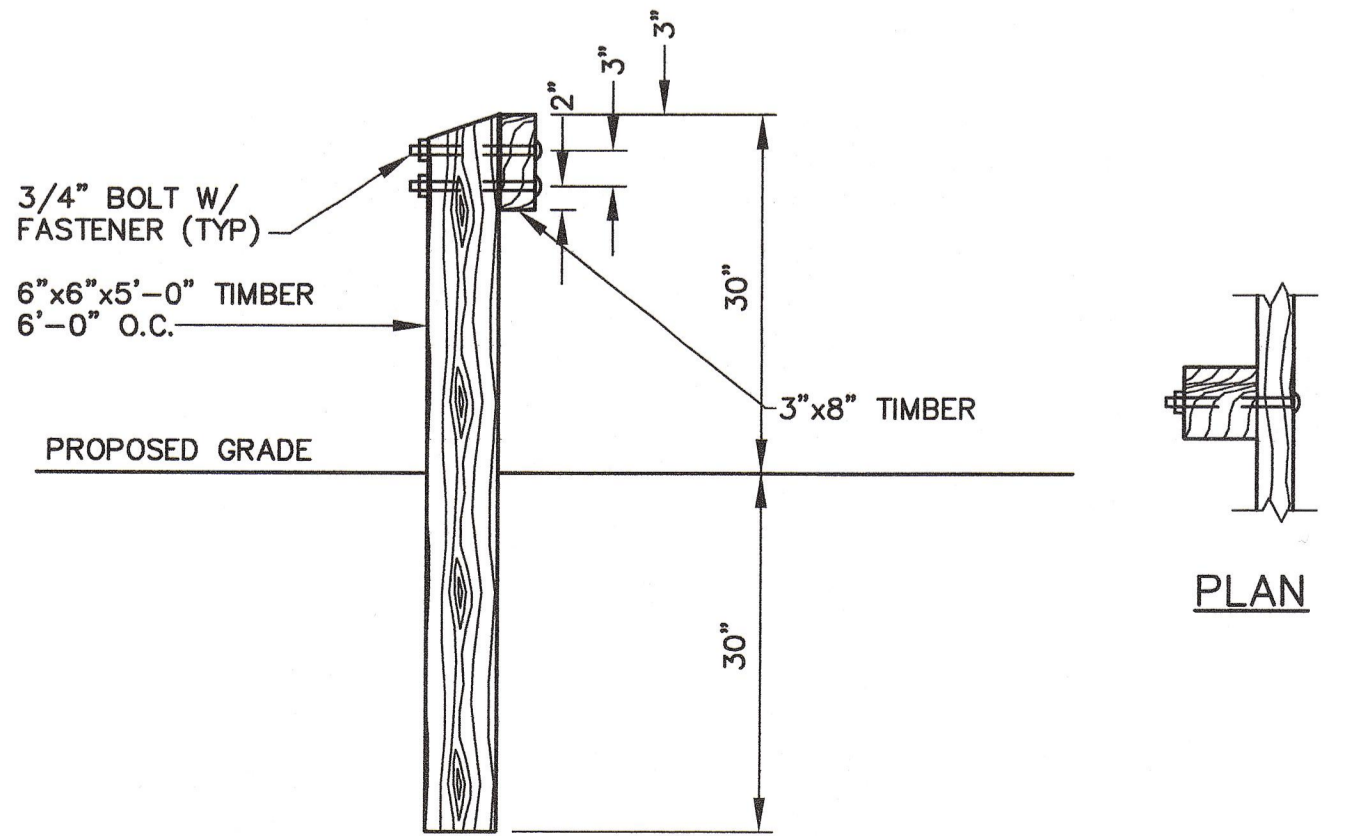
**TREE PLANTING & STAKING DETAIL**

NOT TO SCALE



**"CAPE COD" SLOPED FACE  
BITUMINOUS CONCRETE CURB**

NOT TO SCALE



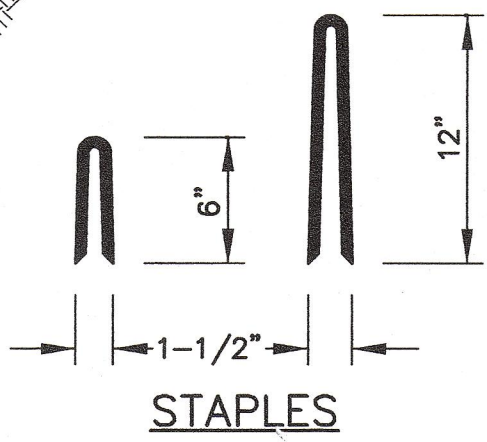
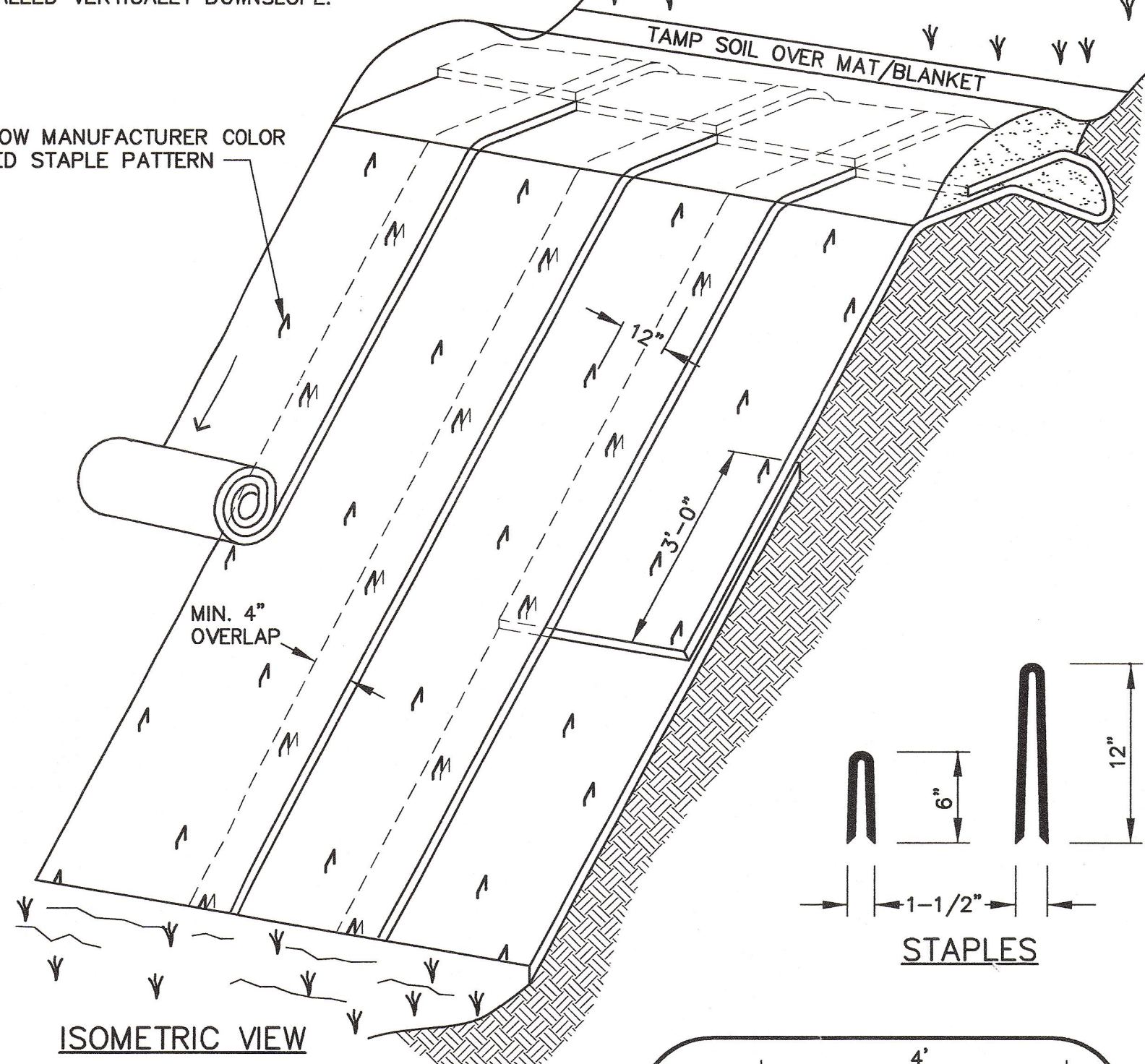
**WOOD GUARD RAIL**

NOT TO SCALE

NOTE:  
ALL TIMBERS TO BE PRESSURE TREATED.

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE.

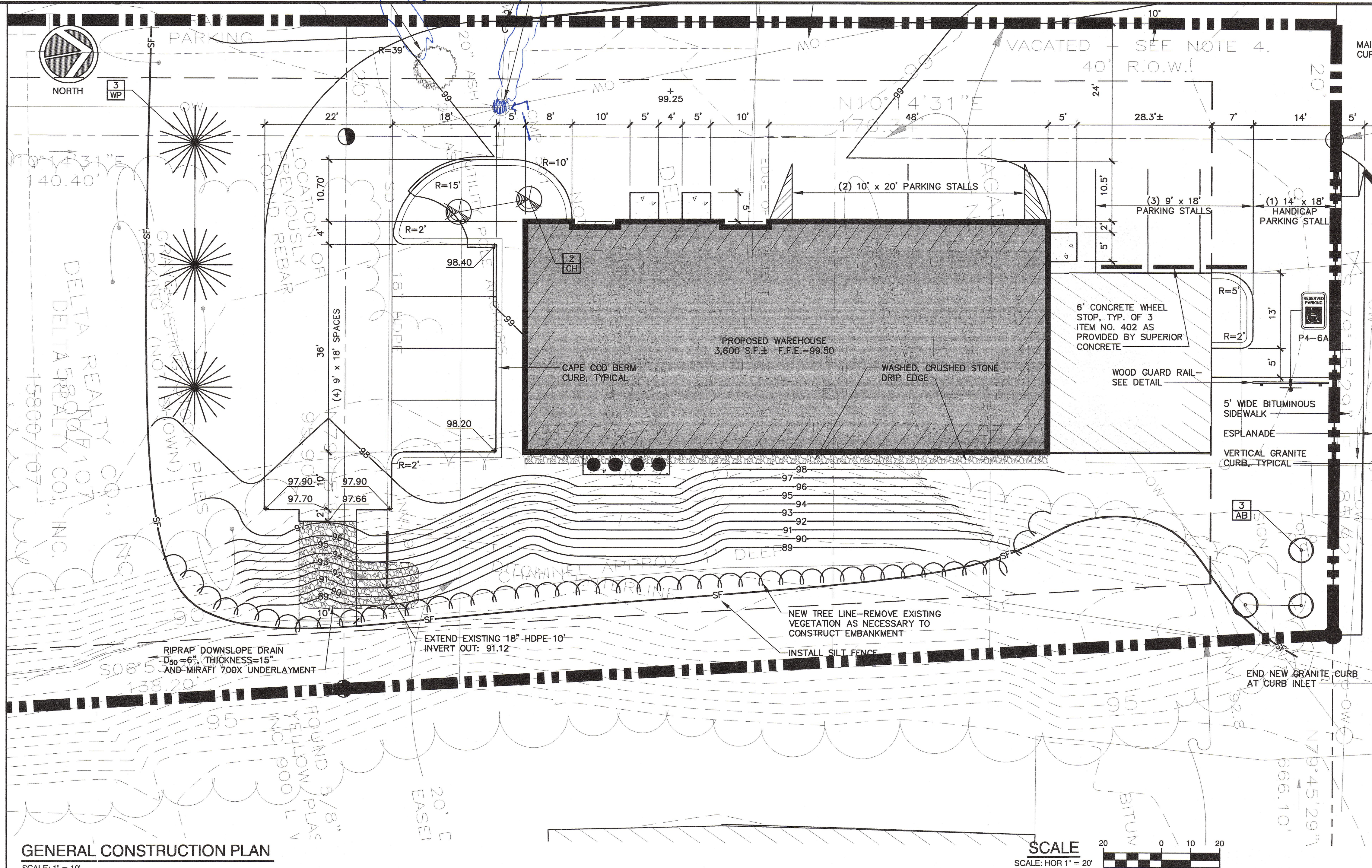
FOLLOW MANUFACTURER COLOR CODED STAPLE PATTERN



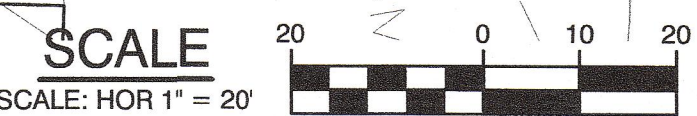
**NOTES:**

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
4. CHOOSE MATERIAL BASED ON SLOPE, SOILS, APPLICATION.

**TYPICAL SLOPE SOIL STABILIZATION**  
NOT TO SCALE



**GENERAL CONSTRUCTION PLAN**  
SCALE: 1" = 10'



**EROSION CONTROL NOTES**

1. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
2. SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
3. PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
4. PERMANENT SEEDING SHALL BE:
 

SEED	LB/1,000 SQ. FT.	SEEDING DEPTH	RECOMMENDED SEEDING DATES
BIRDSFOOT TREFLOIL	.18		
CROWNVEATCH	.34		
CREeping RED FESCUE OR TALL FESCUE	.46		
5. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:
 

SEED	LB/1,000 SQ. FT.	SEEDING DEPTH	RECOMMENDED SEEDING DATES
WINTER RYE	2.6	1-1.5"	8/15-10/1
OATS	1.8	1-1.5"	4/1-7/1 8/15-9/15
ANNUAL RYEGRASS	0.9	.25"	4/1-7/1
SUDANGRASS	0.9	.5-1"	5/15-8/15
PERENNIAL	0.9	.25"	8/15-9/15
6. FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
7. LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.

8. MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
9. WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 150 LBS/1,000 S.F.
10. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY, AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
11. SEEDING AND MULCHING AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISHED THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDING AND REMULCHED.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
14. EROSION CONTROL AND CONSTRUCTION SEQUENCE:
  - a) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
  - b) CONSTRUCT THE BUILDING.
  - c) CONSTRUCT THE ACCESS DRIVE AND PARKING.
  - d) INSTALL LANDSCAPING AND LOAM, SEED AND MULCH ALL DISTURBED AREAS.
  - e) REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75 PERCENT CATCH OF GRASS.
  - f) INSTALL PERMANENT EROSION CONTROL MEASURES.

**PLANTING NOTES**

1. PLANTING OF SHRUBS SHALL NOT OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
2. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1 - NURSERY STOCK, LATEST REVISION.
3. ALL PLANTS SHALL HAVE NON-BIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT WOULD LATER GIRBLE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD."
4. BACKFILL MIX SHALL BE COMPOSED OF A 80/20, LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO TWICE THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF DEPTH OF PIT AT A TIME AND COMPACT. SEE NOTE 5 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT.
5. ALL PLANTING SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE AGRIFORM 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: 3 TABLETS PER PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED WITH "ROOTS" OR AN APPROVED EQUAL. MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: 1.5 GAL. PER SHRUB.
6. THREE SUPPORT STAKES INSTALLED SHALL BE REQUIRED FOR ALL PLANTINGS.
7. ALL PLANTS SHALL BE MULCHED. MULCH SHALL BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEMLOCK BARK.
8. ALL SHRUBS SHALL BE ORIENTED FOR BEST APPEARANCE.
9. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED.
10. ALL PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON. ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
11. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. LOAM SHALL BE SCREENED AND PLACED 4" IN DEPTH IN LAWN AREAS AND 12" IN DEPTH IN PLANTING AREAS. THE LAWN AREA SHALL BE SEEDING WITH LOFTS TRI-PLEX GENERAL GENERAL OR APPROVED EQUAL AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.

**PLANT SPECIES LIST**

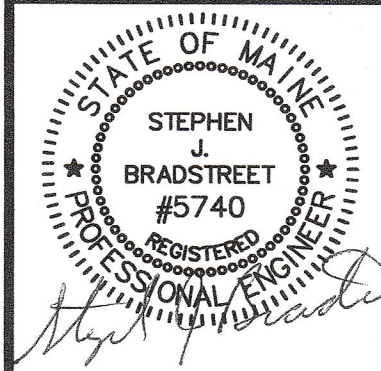
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AB	3	X FREEMANI "AUTUMN BLAZE"	AUTUMN MAPLE	2-2.5" CAL.	B&B
WP	3	STROBUS	WHITE PINE	5-6' HGT.	B&B
CH	2	CRUSGALLI "INERMIS"	CRUSGALLI HAWTHORNE	2-2.5" CAL.	B&B

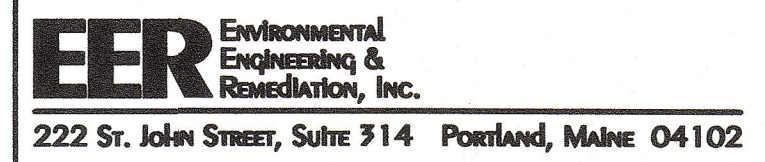
REV.	BY	DATE	STATUS	CAD NO.
E	SJB	06/17/04	ISSUED FOR: PER SEBAGO TECHNICS COMMENTS ON 06/16/04	851-01_c_C101
D	SJB	06/07/04	ISSUED FOR: PER SEBAGO TECHNICS COMMENTS	851-01_c_C101

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**DELTA REALTY**  
WARREN AVENUE  
WAREHOUSE FACILITY

**GENERAL  
CONSTRUCTION PLAN**

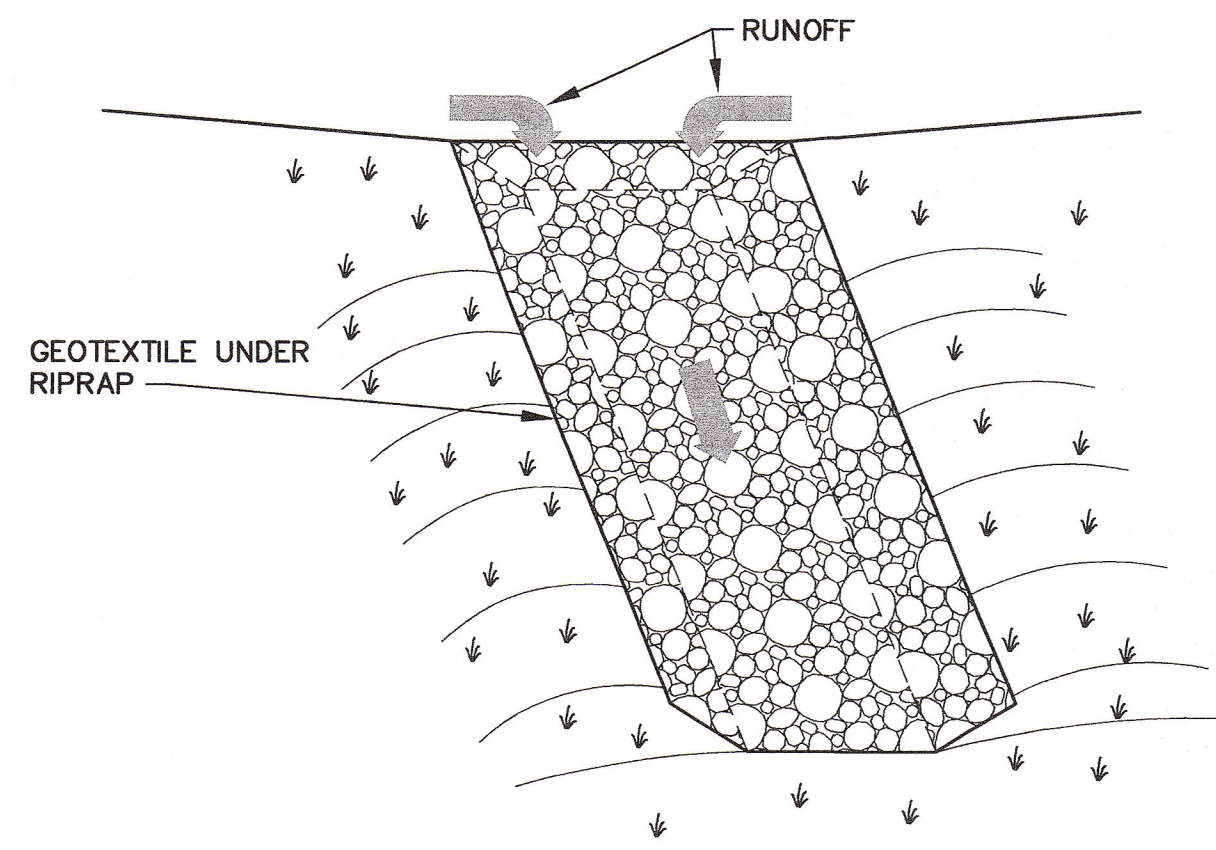




222 St. John Street, Suite 314 Portland, Maine 04102

DESIGN BY: SJB  
DRAWN BY: JAR  
CHECKED BY: SJB  
DATE: 11/14/03  
JOB NO: 851  
SCALE: 1" = 20'  
C-101  
SHEET 2 OF 3

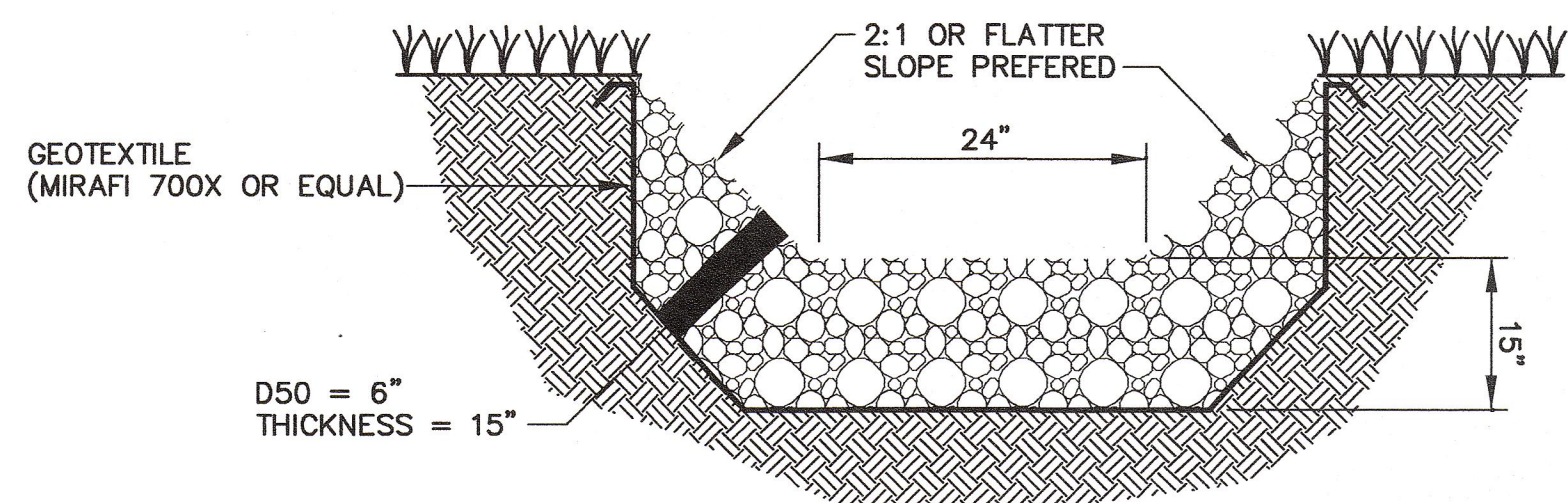
CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 10-22-04



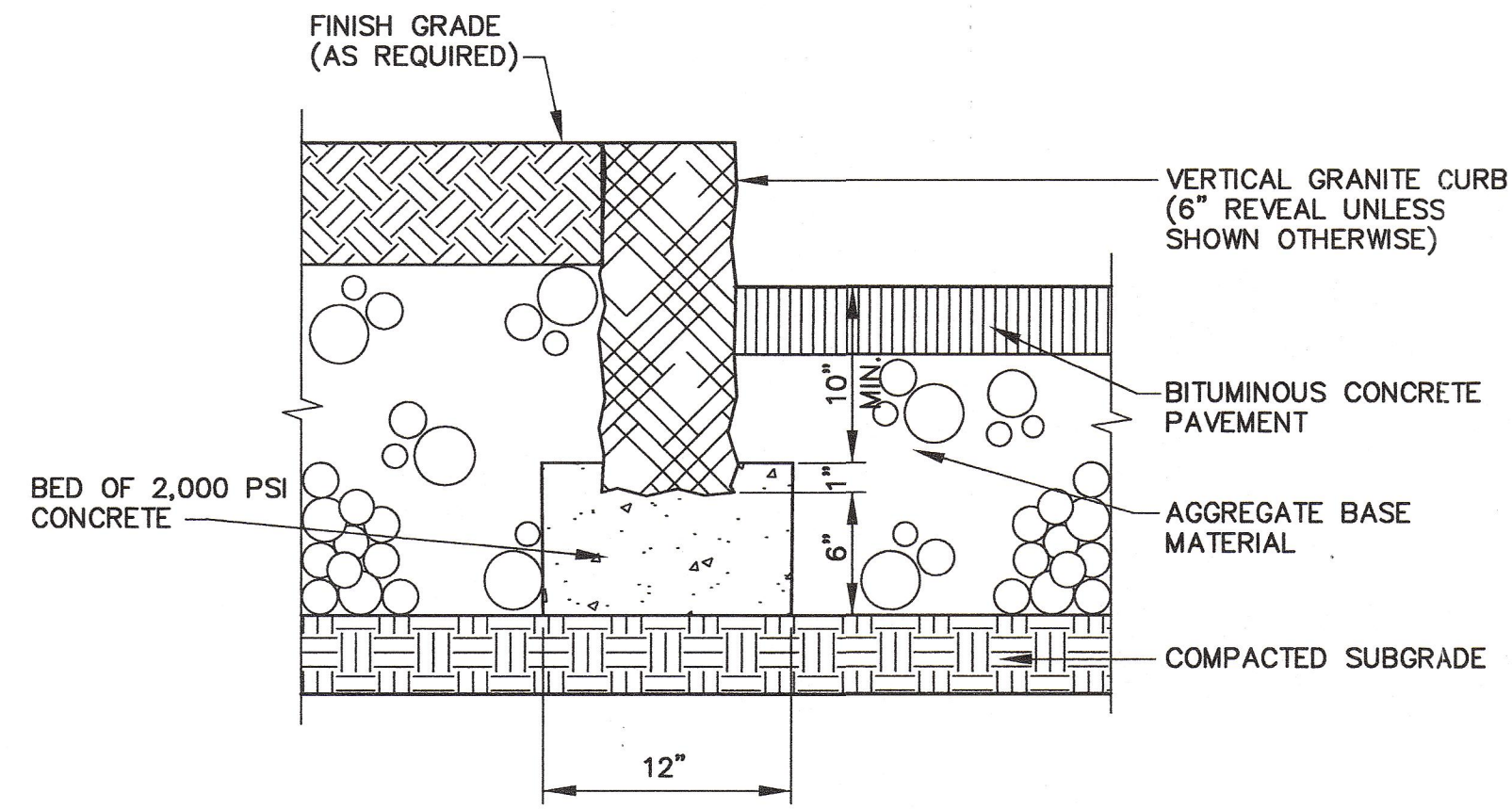
SECTION

**RIPRAP SLOPE DRAIN**

NOT TO SCALE

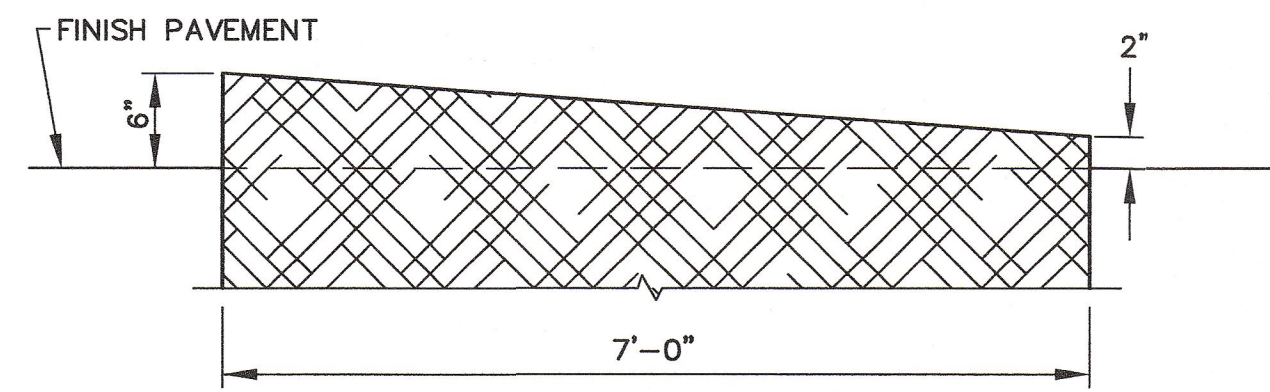


D50 = 6"  
THICKNESS = 15"



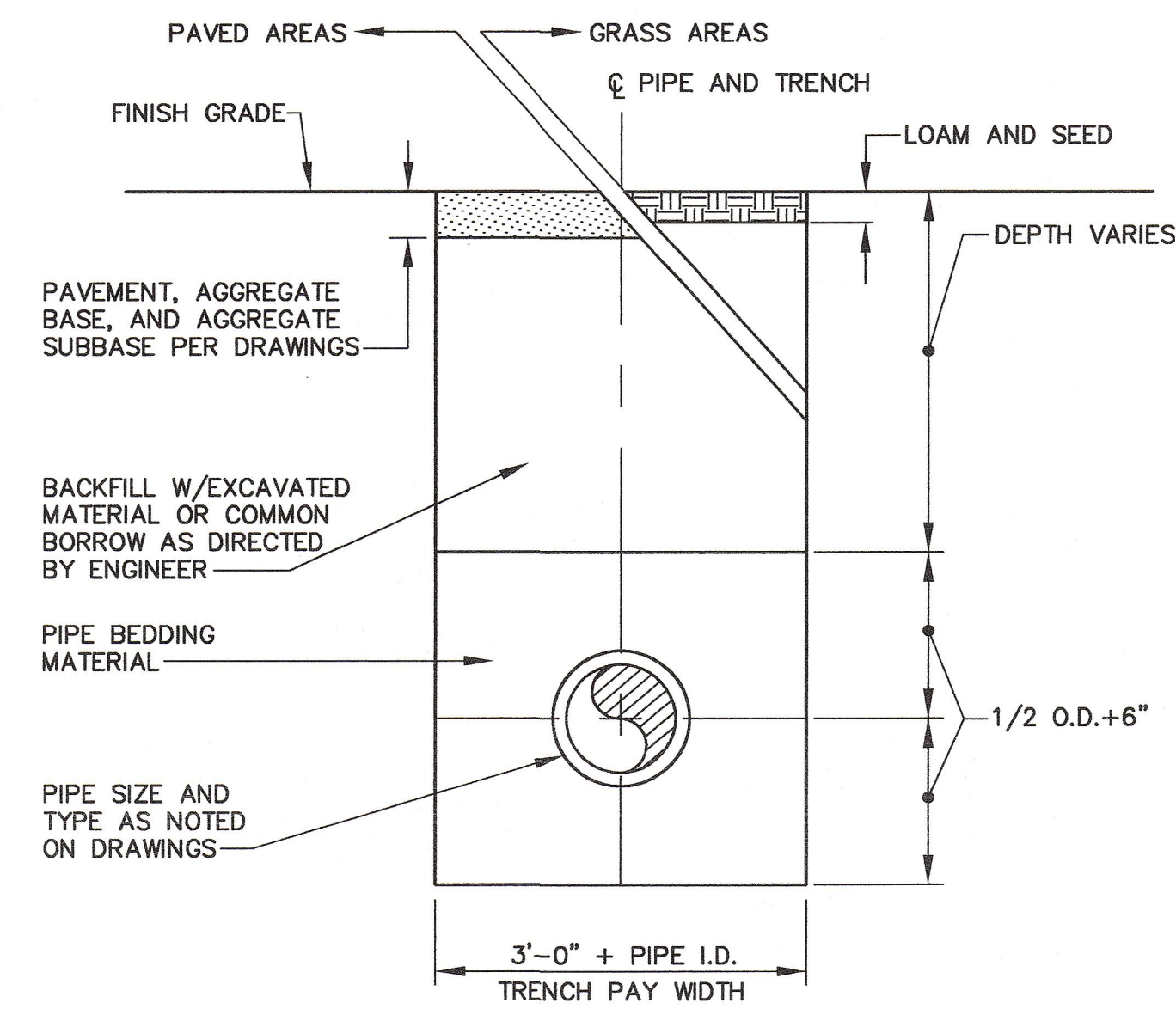
**VERTICAL GRANITE CURBING**

NOT TO SCALE



**TYPICAL GRANITE CURB TIPDOWN INSTALLATION**

NOT TO SCALE



**TYPICAL TRENCH DETAIL**

NOT TO SCALE

**GENERAL NOTES**

1. THE CONTRACTOR AND/OR THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING BUILDING PERMITS, STREET OPENING PERMITS OR OTHER PERMITS AS MAY BE NECESSARY TO CONSTRUCT THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGSAFE FOR THE LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION.
3. ANY FIELD CHANGES TO THE PLANS AS APPROVED BY THE CITY SHALL BE FIRST APPROVED BY THE ENGINEER WHO WILL COORDINATE WITH THE CITY TO DETERMINE IF A FORMAL PLAN AMENDMENT WILL BE NECESSARY.

**OWNER/APPLICANT**

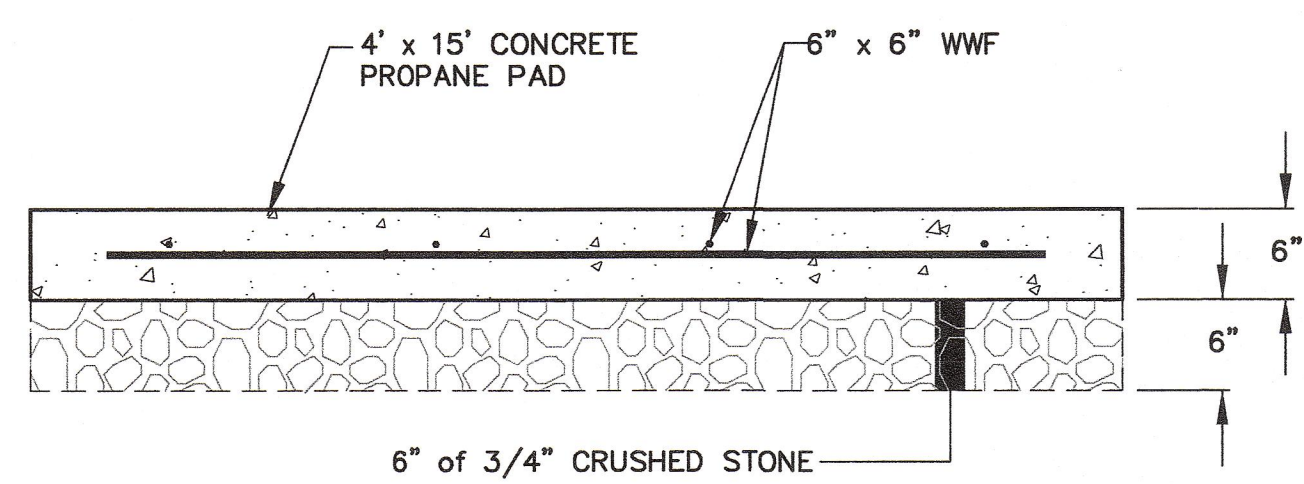
DELTA REALTY CO., INC.  
120 EXCHANGE STREET  
SUITE 204  
PORTLAND, MAINE 04101

**DEED REFERENCES**

DELTA REALTY CO., INC. BOOK 15800/PAGE 107  
DELTA REALTY CO., INC. BOOK 7571/PAGE 292

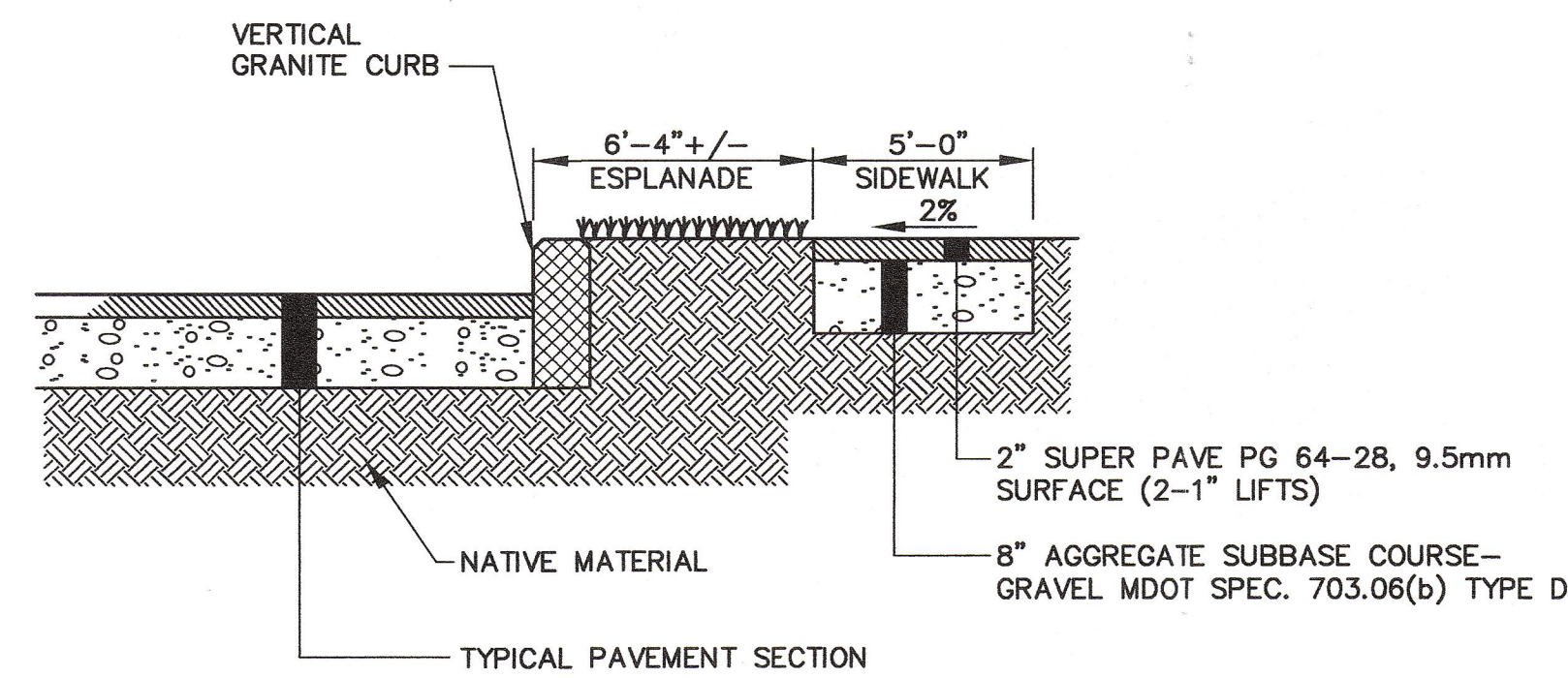
**SPACE AND BULK REQUIREMENTS**

<b>ZONE</b> B4 - COMMERCIAL CORRIDOR	<b>MINIMUM LOT WIDTH</b> 60 FEET
<b>MINIMUM LOT SIZE</b> 10,000 S.F.	<b>MAXIMUM BUILDING HEIGHT</b> 65 FEET
<b>MINIMUM STREET FRONTAGE</b> 60 FEET	<b>MAXIMUM IMPERVIOUS RATIO</b> 80 PERCENT
<b>MINIMUM YARD DIMENSIONS</b>	
FRONT YARD	20 FEET
REAR YARD	20 FEET
SIDE YARD (2 STORIES)	10 FEET



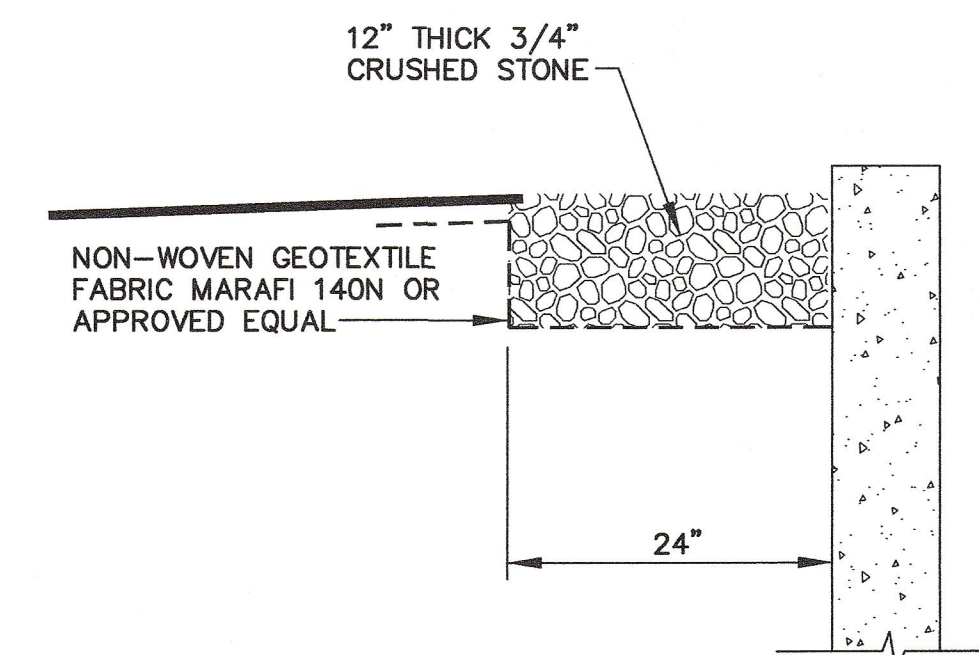
**CONCRETE PROPANE PAD DETAIL**

NOT TO SCALE



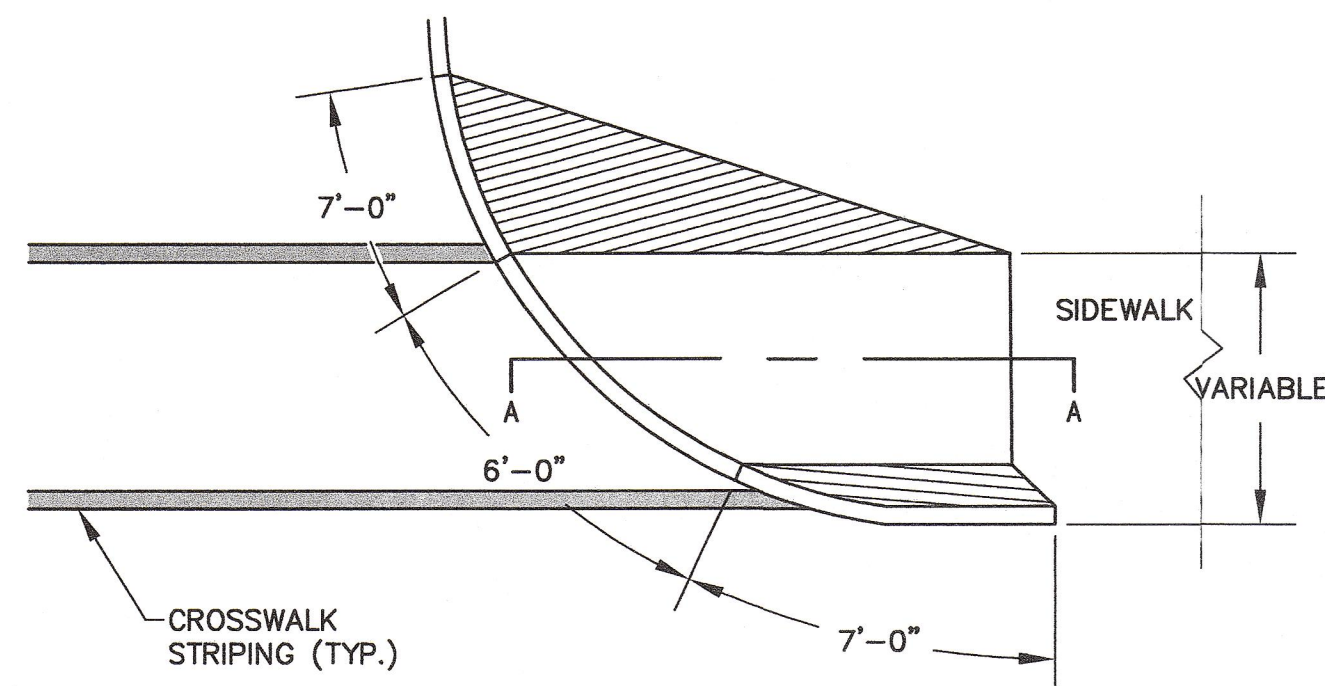
**TYPICAL SIDEWALK SECTION**

NOT TO SCALE



**CRUSHED STONE DRIP EDGE DETAIL**

NOT TO SCALE

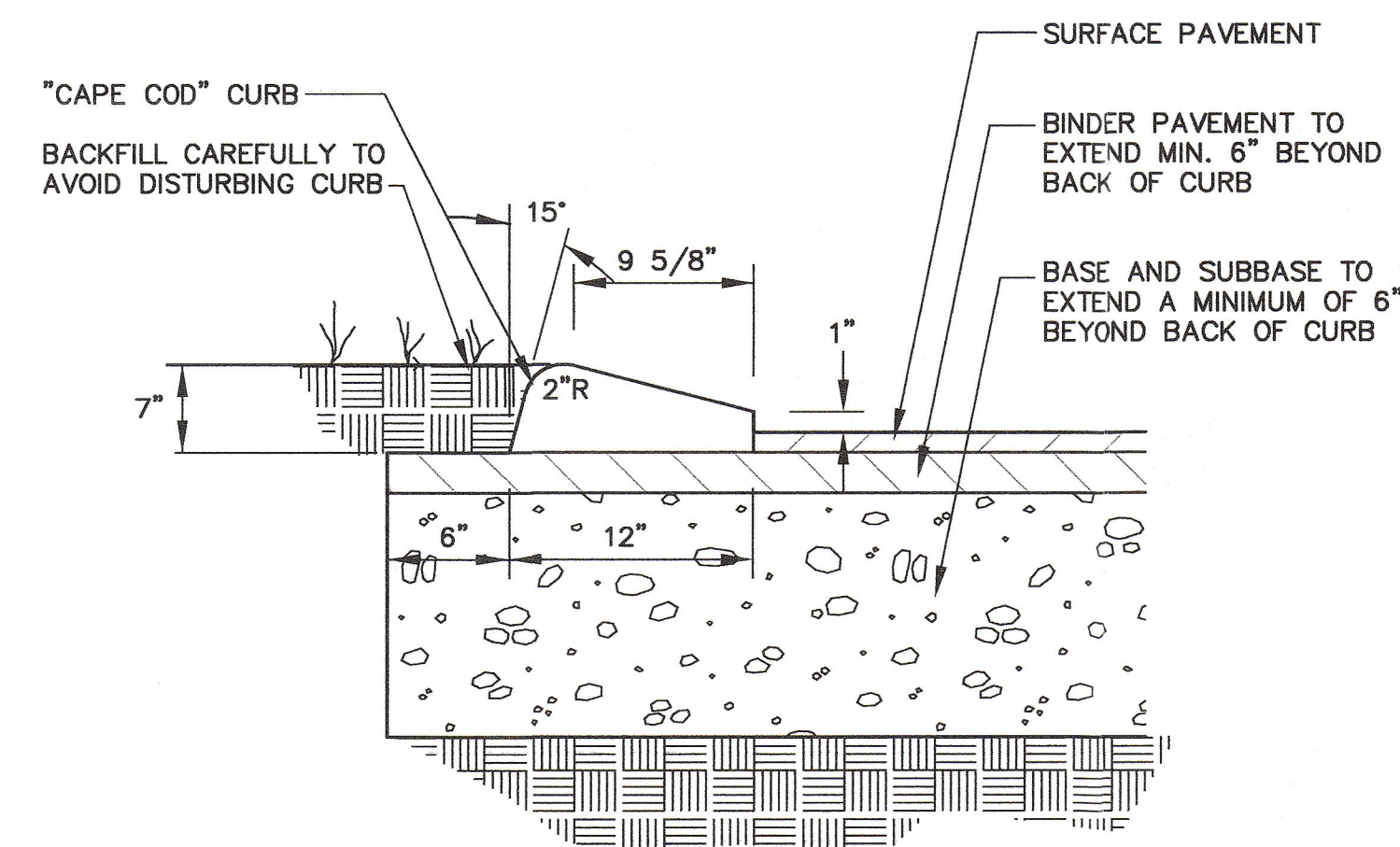


GUTTER LINE  
1:12 MAX.

SECTION A-A

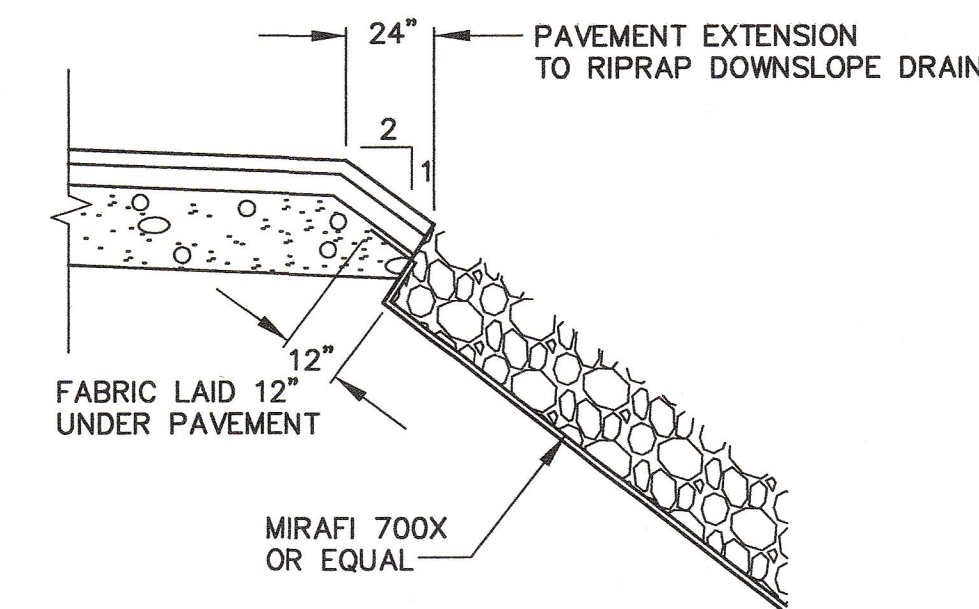
**ONE-WAY PEDESTRIAN RAMP**

NOT TO SCALE



**"CAPE COD" SLOPED FACE BITUMINOUS CONCRETE CURB**

NOT TO SCALE



**PAVED DOWNSLOPE APRON**

NOT TO SCALE

E	SJB	06/17/04	ISSUED FOR: PER SEBAGO TECHNICS COMMENTS ON 06/16/04	851-01_c_100
D	SJB	06/07/04	ISSUED FOR: PER SEBAGO TECHNICS COMMENTS	851-01_c_100
REV.	BY	DATE	STATUS	CAD NO.
<b>DELTA REALTY</b> WARREN AVENUE WAREHOUSE FACILITY  <b>CONSTRUCTION</b> DETAILS				
<b>EER</b> Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 714 Portland, Maine 04102			DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 12/04/03 JOB NO: 851 SCALE: AS NOTED C-102 SHEET 3 OF 3	CITY OF PORTLAND <b>APPROVED SITE PLAN</b> Subject to Dept. Conditions Date of Approval: 6-22-04