

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that DELTA REALTY CORP

Located At 342 WARREN AVE

Job ID: 2011-05-990-CH OF USE

CBL: 303 - - H - 001 - 001 - - - -

has permission to Change of use from Vacant space to Motorcycle Sales and Service
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of
the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of
the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured
before this building or part thereof is lathed or otherwise
closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner
before this building or part thereof is occupied. If a
certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 5/23/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD



Certificate of Occupancy

CITY OF PORTLAND, MAINE
Department of Planning and Urban Development
Building Inspections Division



Issued to: DELTA REALTY CORP

Date Issued: 5/26/2011

Location: 342 Warren Ave.

CBL: 303 H001001

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-05-990, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Cumberland County Choppers

Use Group B/F-1

Type 5B

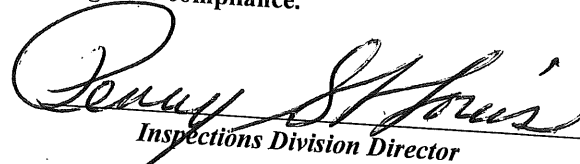
BOCA-1999

Limiting Conditions: This is a change of use permit only, it does not certify building code compliance.

Approved:

5-26-11

Inspector


Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-990-CH OF USE	Date Applied: 4/29/2011	CBL: 303 - - H - 001 - - - - -	
Location of Construction: 342 WARREN AVE	Owner Name: DELTA REALTY CORP	Owner Address: 380 WARREN AVE., PORTLAND, ME 04101	Phone:
Business Name: Cumberland County Choppers & Cycles	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name: Peter Gordon	Phone: 207-210-6701	Permit Type: BLDG - Building	Zone: B-4
Past Use: Manufacturing & Sales of casino chips	Proposed Use: Motorcycle sales & repair – “Cumberland County Choppers & Cycles”	Cost of Work: 1000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type: SB B/F-1 Signature: <i>[Signature]</i> PREVIOUS CO APPL 1999
Proposed Project Description: 342 Warren Ave - Cumberland County Choppers – change of use		Pedestrian Activities District (P.A.D.) 5/23/11	
Permit Taken By:	Zoning Approval		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/condition</i> 5/10/11 <i>ABM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABM</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-05-990-CH OF USE

Located At: 342 WARREN

CBL: 303 - - H - 001 - 001 - - - -

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.

Fire

1. This permit is for change of use only; any construction shall require additional permits. The occupancy shall comply with City Code Chapter 10 upon inspection.

Building

1. This is a Change of Use ONLY permit. It does NOT authorize any construction activities.
2. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. The approval of this mixed use is based on information from a previous permit #04-1233, which had a similar use as reflected on the issued Certificate of Occupancy

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>342 Warren Ave. Portland, Me 04103</u>		
Total Square Footage of Proposed Structure/Area <u>4797 +/- sq feet</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>303 - 1-1 1</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>Peter Gordon</u> Address <u>50 Candlebrook Ln</u> City, State & Zip <u>So Portland Me 04106</u>	Telephone: <u>Cell 207-671-7508</u> <u>Office 207-210-6701</u>
Lessee/DBA (If Applicable) <u>Jolly Family LLC</u> <u>dba Cumberland County</u> <u>Choppers + Cycles</u>	Owner (if different from Applicant) Name <u>Delta Realty Co Inc /</u> <u>Alpine Realty Corp</u> Address <u>380 Warren Ave.</u> City, State & Zip <u>Portland Me 04103</u>	Cost Of Work: \$ <u>30</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>105</u>
Current legal use (i.e. single family) <u>vacant</u> If vacant, what was the previous use? <u>Casino Chip manuf. + Sales</u> Proposed Specific use: <u>New used scooter + motorcycles service parts + accessories repair</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>→</u>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Patti Conrath</u> Telephone: <u>210-6701</u> Mailing address: <u>314 Warren Ave Portland Me 04103</u>		

- Plot #

RECEIVED
APR 29 2011
Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

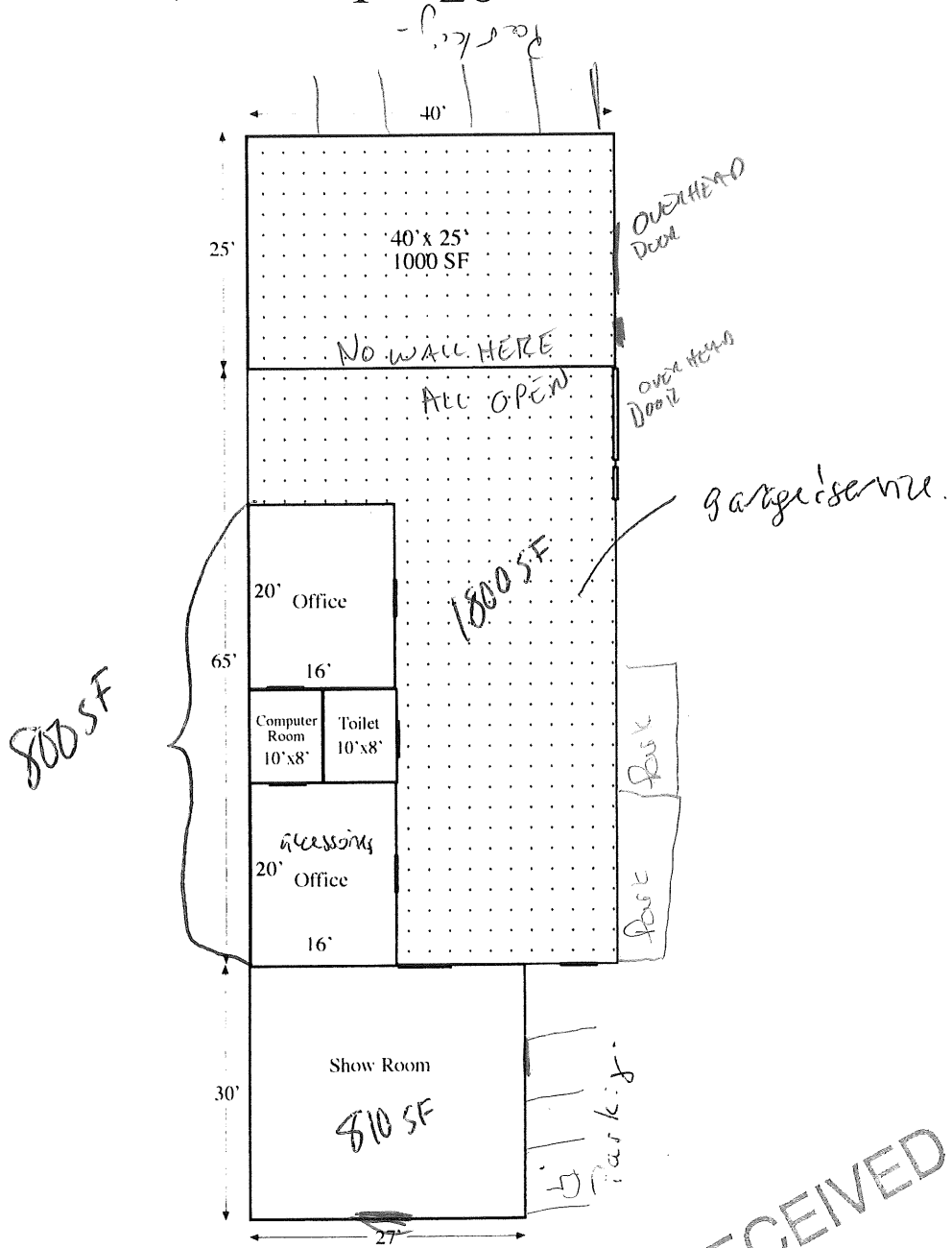
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 4/29/2011

This is not a permit; you may not commence ANY work until the permit is issue

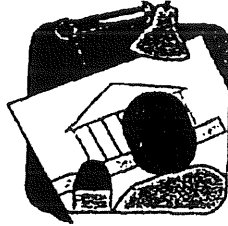
1" = 20'



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APR 29 2011
Dept. of Building Inspections
City of Portland Maine

Warren Ave.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-871-8716

*from
04-1233*

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Archetype, P.A.
8 Union Wharf
Portland, ME 04101

DATE: August 18, 2004

Job Name: Delta Realty

Address of Construction: 342 Warren Avenue

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION
Construction project was designed according to the building code criteria listed below:

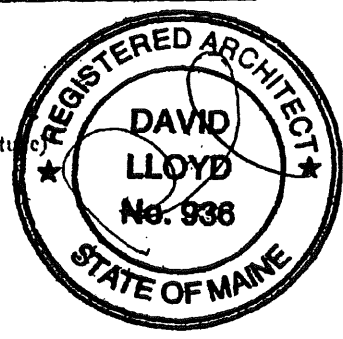
Building Code and Year 1999 Use Group Classification(s) M/S/B
Type of Construction 5B Bldg. Height 25'-5" Bldg. Sq. Footage 4,590 sq. ft.
Seismic Zone A_v = 0.11 Group Class 1
Roof Snow Load Per Sq. Ft. 42 psf Dead Load Per Sq. Ft. 15 psf
Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. 18.5 psf
Floor Live Load Per Sq. Ft. 125 psf
Structure has full sprinkler system? Yes No X Alarm System? Yes No X
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No *n/a*
If mixed use, what subsection of 313 is being considered 313.1.1

List Occupant loading for each room or space, designed into this Project.

PSH 6/07/2K

(Designers Stamp & Signature)





CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 342 Warren Ave CBL 303 H001001
Date of Issue 03/28/3005

Issued to Delta Realty Corp /Albair Construction

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-1233 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

entire structure

APPROVED OCCUPANCY

900 sq.ft of Retail in an existing structure w/ 530 sq ft of office and 3000 sq. Ft of storage in a new addition Use Group:B/M/S1 1999 BOCA Code
Type of construction: 5B

Limiting Conditions:

This C/O does not certify building code compliance for the pre existing structure

This certificate supersedes certificate issued

Approved:

(Date)

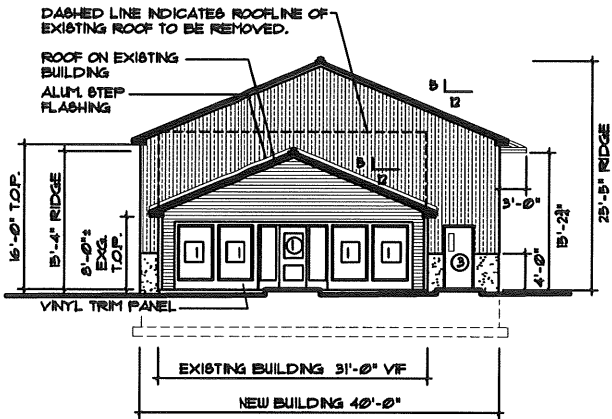
Inspector

Inspector of Buildings

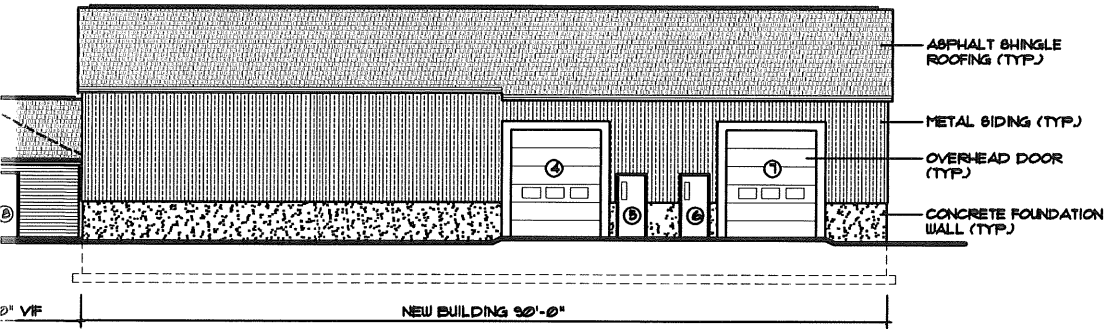
Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

[Handwritten signature]
[Handwritten signature]
[Handwritten signature]

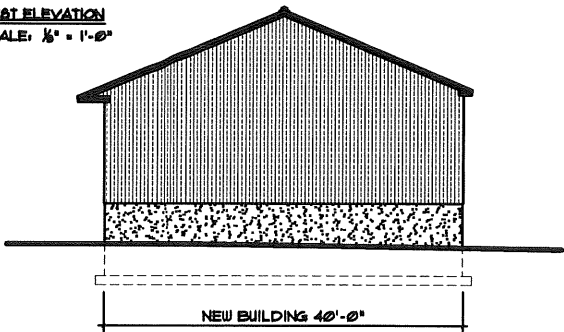
03/31/05



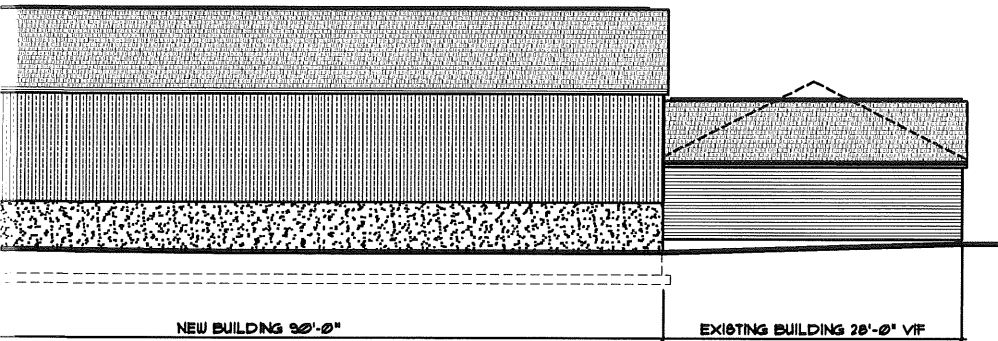
1 NORTH (WARREN AVE.) ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
A3 SCALE: 1/8" = 1'-0"



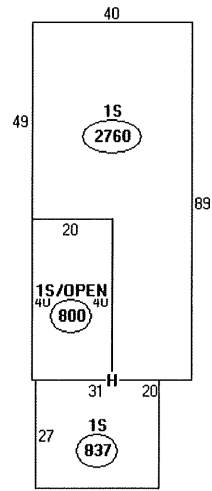
3 SOUTH ELEVATION
A3 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
A3 SCALE: 1/8" = 1'-0"

Owner:	
Architect:	ARCHETYPE, P.A. ARCHITECTS 48 Union Street Portland, Maine 04101 (207) 773-0882 Fax (207) 773-0883
Project:	DELTA REALTY 342 WARREN AVENUE PORTLAND, MAINE
Date:	8/18/04
Scale:	As Noted
Drawings:	EXTERIOR ELEVATIONS, WINDOW & DOOR SCHEDULES
A.2	

Plans From
Permit #
04-1233



Descriptor/Area
A:045 2760 sqft
B:082 800 sqft
C:083 837 sqft
D:OVERHEAD DR:WOOD/MTL 100 sqft
E:1S 2760 sqft
F:1S 837 sqft
G:1S/OPEN 800 sqft
H:PA1 3000 sqft

MEMORANDUM OF LEASE
[with Purchase Option]

This Memorandum of Lease is executed by and between **ALPINE REALTY CORP.**, a Florida corporation (the "Landlord") and **JOLLY FAMILY, LLC**, a Maine limited liability company, **D/B/A CUMBERLAND COUNTY CHOPPERS & CYCLES** (the "Tenant").

WITNESSETH

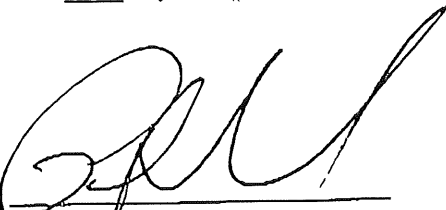
WHEREAS, as of the 29th day of April, 2011 Landlord and Tenant executed a lease (the "Lease") for property situated on 342 Warren Avenue in the City of Portland, Maine, as depicted on the attached Exhibit A (the "Premises"); and

WHEREAS, Landlord and Tenant are entering into this Memorandum of Lease pursuant to the Lease,

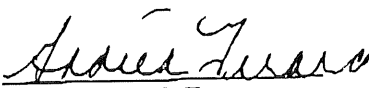
NOW, THEREFORE, Landlord and Tenant state as follows:

1. The parties to the lease are Landlord and Tenant.
2. The leased property is the Premises identified in the Lease.
3. The date of the Lease is the 29th day of April, 2011.
4. The term of the Lease is one (1) year commencing on the 1st day of May, 2011. There is no option to extend the Lease term.
5. If Tenant is not in default beyond the expiration of any applicable cure period under the Lease, and the Lease remains in full force and effect, then Tenant shall have an option to purchase the Premises after the one year anniversary of the commencement of the Lease term.
6. This Memorandum of Lease is executed pursuant to the provisions of the Lease and is not intended to vary the terms and conditions of the Lease.

IN WITNESS WHEREOF, Landlord has duly caused this Memorandum of Lease to be executed as of the 29 day of April, 2011.

By: 
Witness

LANDLORD:
ALPINE REALTY CORP.

By: 
Andréa Girard, Treasurer

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MAY 10 2011

Dept. of Building Inspections
City of Portland Maine

380 Warren Ave
04103

Job Summary Report

Job ID: 2011-05-990-CH OF USE

Report generated on May 10, 2011 12:52:44 PM

Job Type: Change of Use Commercial
Job Description: 342 Warren Ave Cumberland County Choppers
Job Year: 2011
Building Job Status Code: Initiate Plan Review
Pin Value: 1354
Tenant Name: Cumberland County Choppers
Job Application Date: 1,000
Public Building Flag: N
Tenant Number:
Estimated Value: 1,000
Square Footage:
Related Parties: REALTY DELTA
Property Owner

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 33726

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude	Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
A26276	303	H 001 001				M	-70.311957	43.687303	1				342 WARREN AVENUE NORTH

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
RETAIL & PERSONAL SERVICE		NOT APPLICABLE	R-4				DISTRICT 8	RIVERTON

Structure Details

Structure: New used scooter & motor cycles

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address		
Stores & Customer Services (Mercantile)	0			342 WARREN AVENUE NORTH		
Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property Value

Permit #: 20113350

Permit Data

Job Summary Report
Job ID: 2011-05-990-CH OF USE

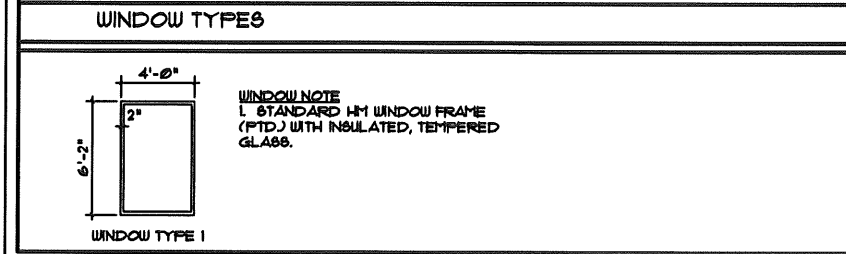
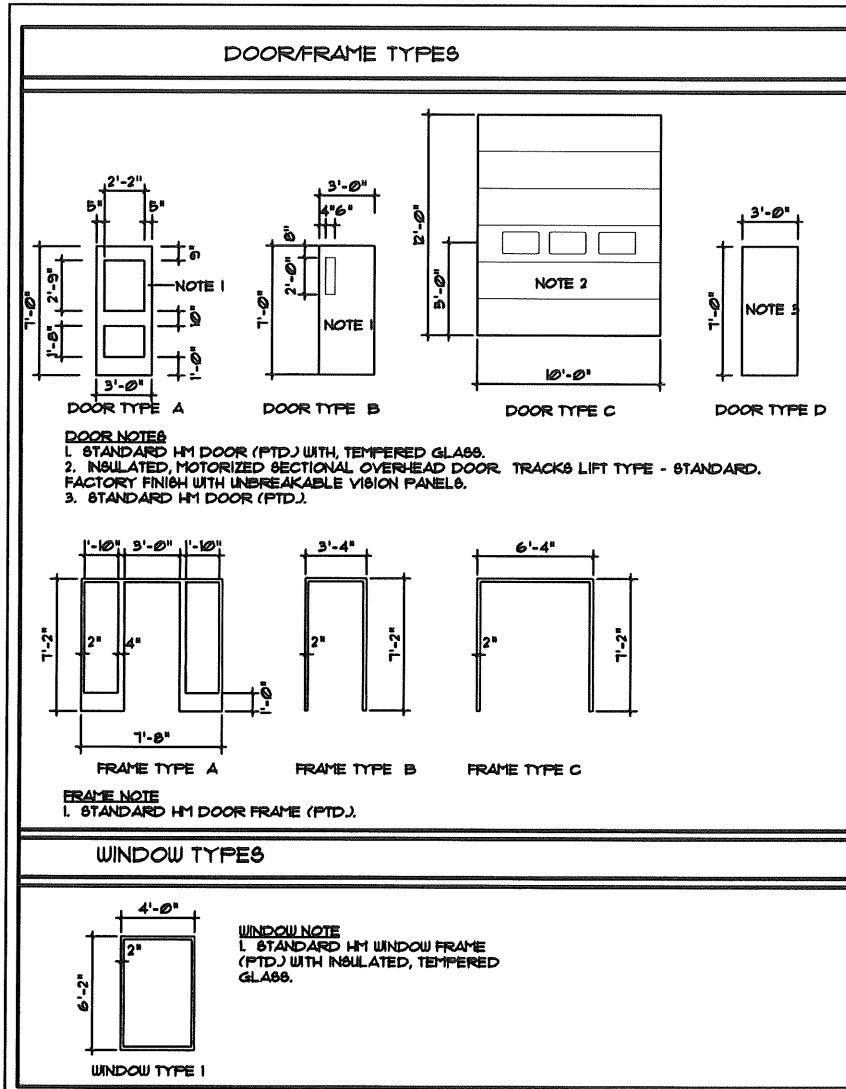
Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
33726	New used scooter & motor cycles	Initialized	Change of use from Vacant space to Vehicle Sales			

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start	Timestamp	Result Status Date	Final Inspection Flag

Fees Details

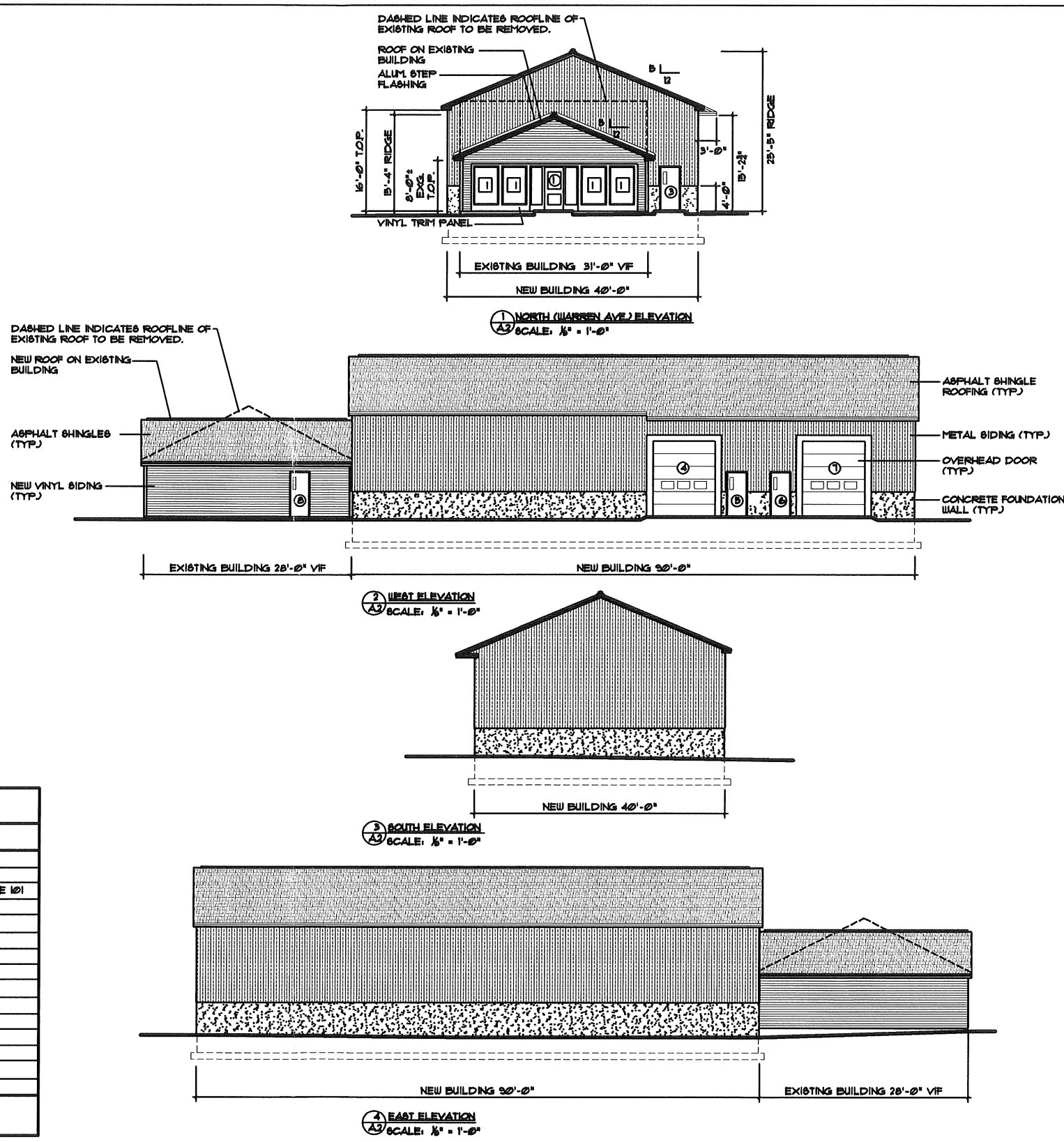
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Certificate of Occupancy Fee	\$75.00							
Job Valuation Fees	\$30.00							



DOOR/FRAME SCHEDULE

DOOR					FRAME			
KEY	SIZE	TYPE	MATL	FINISH	TYPE	MATL	FINISH	
1	3'-0" x 7'-0" x 1 1/4"	A	HM	PTD	A	HM	PTD	EXTERIOR TO SHOWROOM 100
2	(2) 3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	C	HM	PTD	SHOWROOM 100 TO WAREHOUSE 101
3	3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	B	HM	PTD	EXTERIOR TO WAREHOUSE 101
4	10'-0" x 12'-0"	C	---	FACT. FIN.	---	---	---	OVERHEAD DOOR
5	3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	B	HM	PTD	WAREHOUSE 101 TO EXTERIOR
6	3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	B	HM	PTD	WAREHOUSE 101 TO EXTERIOR
7	10'-0" x 12'-0"	C	---	FACT. FIN.	---	---	---	OVERHEAD DOOR
8	3'-0" x 7'-0" x 1 1/4"	D	HM	PTD	B	HM	PTD	EXTERIOR TO SHOWROOM 100
9	3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	B	HM	PTD	WAREHOUSE 101 TO OFFICE 102
10	3'-0" x 7'-0" x 1 1/4"	D	HM	PTD	B	HM	PTD	WAREHOUSE 101 TO JAN. 106
11	3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	B	HM	PTD	OFFICE 102 TO COMPUTER 103
12	3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	B	HM	PTD	OFFICE 104 TO COMPUTER 103
13	3'-0" x 7'-0" x 1 1/4"	D	HM	PTD	B	HM	PTD	WAREHOUSE 101 TO T.L.T. 105
14	3'-0" x 7'-0" x 1 1/4"	B	HM	PTD	B	HM	PTD	WAREHOUSE 101 TO OFFICE 104

DOOR NOTES:
 1. ALL DOORS TO RECEIVE ADA APPROVED LEVER HARDWARE.
 2. ALL EXTERIOR DOORS TO BE INSULATED.



Owner:

Architect: **ARCHETYPE, P.A. ARCHITECTS**
 48 Union Street Portland, Maine 04101
 (207) 773-0002 Fax (207) 773-0005

Project: DELTA REALTY
 342 WARREN AVENUE
 PORTLAND, MAINE

Date: 8/18/04
 Sheets: As Noted

Drawings: EXTERIOR ELEVATIONS, WINDOW & DOOR SCHEDULES

Plans From Permit # 04-1233