

TO Inspections



To: Marge Schmuckal, Jim Carmody, Tom Errico; Greg Cass cc Barbara Barhydt
From: Jean Fraser
Date: July 25, 2008

Additional information submitted for the following project:

Application ID #: 2008-0035
Project Name: Warehouse Addition
Project Address: 380 Warren Avenue

This had a final review last week and I sent them the following e-mail on July 18th; we just need to check it one last time and if necessary can discuss it further at Dev Rev on July 30th (I will not get to that meeting until 11am- ish):

SENT JULY 18TH;
Hello John,

This e-mail confirms our recent telephone conversation regarding the revisions and conditions for this project; please note there is one more that I did not mention but is minor (requested by Zoning Administrator to meet zoning requirements).

Proposed conditions (which would be listed in the Approval letter):

1. That a condition of the site plan approval shall be that truck backing maneuvers from Warren Avenue into the proposed site are prohibited.
2. That a condition of the site plan approval shall be that tractor trailer trucks are prohibited from the proposed site (warehouse addition area to rear).
3. That the applicant shall be responsible for modifying the existing one-way regulatory signage near the site entrance at Warren Avenue. The applicant shall submit a plan/sketch of signage changes to be reviewed and approved by the City Transportation Engineer prior to the issuance of any Certificate of Occupancy for the warehouse addition.

Requested revisions to the Site Plan:

1. That conditions 1 and 2 above be written on the final site plan;
2. That the aisle width between the new and old parking stalls shall be 24 feet and meet the City's Design and Technical standards for parking (including size of parking space).
3. [I forgot to mention this during our conversation] Mark on the site plan the loading bay for the warehouse addition- it should be 50 feet by 14 feet.
4. Provide new hydrant on Warren Street on the side of the development near Newcomb Street.
5. (preferable but optional) Note on plan near entrance off of Warren saying that the access is 2-way near Warren Ave and one way within the Trade Center site and revised signing will be installed as per the site plan approval condition. [This will avoid the applicant having to submit amended plans when the signs are agreed]

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 303 H001001
 Location 342 WARREN AVE
 Land Use RETAIL & PERSONAL SERVICE
 Owner Address DELTA REALTY CORP
 120 EXCHANGE ST
 PORTLAND ME 04101
 Book/Page 20175/176
 Legal 303-H-1 TO 5
 WARREN AVE 344-348
 NEWCOMB ST
 15468 SF

B-4

Current Assessed Valuation

Land \$149,000 Building \$173,610 Total \$322,610

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	2005	1	4397	1

Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
0.355	4397		OFFICE WAREHOUSE	POKER CHIP SHOWROOM

Exterior/Interior Information

Section	Levels	Size	Use
1	01/01	2760	WAREHOUSE
1	01/01	800	MULTI-USE OFFICE
1	01/01	837	MULTI-USE SALES

Height	Walls	Heating	A/C
16	METAL-LIGHT	HEAT PUMP	NONE
8	METAL-LIGHT	HOT AIR	CENTRAL
8	FRAME	HOT AIR	CENTRAL
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

Building Other Features

Line	Structure Type	Identical Units
1	OVERHEAD DOOR - WD/MT	2

Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
2005	ASPHALT PARKING	3000	1

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0035

Date: 4/1/2008

This new project is located within the B-4 Zone - A Zoning Analysis has not been submitted with this application. The impervious surface ratio has not been provided. The maximum floor area (F.A.R.) has not been submitted .

Two loading bays are being shown on the elevation plans - the required size for loading bays iw 14' x 50'. The plans should be revised to show that the loading bay requirements are being met.

This property has an area of flood plan connected with it as shown on Panel 6. The site plan should delineate the location of the AE flood zone. If the new addition is within the flood zone, the minimum first floor elevation shall be a minimum of 2 feet above the elevation of the flood zone. A certificate of elevation shall be filled out after the floor is poured in order to document the elevation height.

The colored street map that is in my office shows that the Saville & Newcomb Streets were not vacated in 1997. Further verification to confirm that these street have been vacated should be submitted for review.

Marge Schmuckal
Zoning Administrator

4/16/08

From: "John I. Mahoney" <john.mahoney@oakengineers.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 4/16/2008 7:59:16 AM
Subject: RE: 380 Warren Avenue Warehouse Addition

Jean:

The impervious percentages for the entire 3.27 acre parcel on 380 Warren Avenue are as follows:

In 1997: 85.1%
~~Existing Conditions:~~ 75.7%
Proposed Conditions: 79.4%

Vehicle Access:

We anticipate that the majority of the trucks accessing the site will be box trucks similar in size to a UPS truck. These vehicles will be able to turn around in the access to the three proposed parking spaces.

Larger vehicles such as tractor trailers will back into the site from Warren Avenue and exit forwards.

All vehicles will use an existing curb cut to access the site. This curb cut, along with new sidewalk and granite curb, was installed in 2001 when the existing warehouse to the north of the proposed warehouse was constructed.

Please let me know if you need anything else.

John I. Mahoney, E.I.T., LEED, A.P.
Project Engineer

Oak Engineers
400 Commercial Street
Suite 404
Portland, Maine 04101
T: (207) 772-2004
F: (207) 772-3248
T: (207) 831-6165

-----Original Message-----

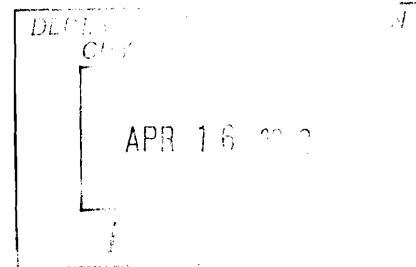
From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Tuesday, April 15, 2008 9:45 AM
To: John I. Mahoney
Subject: 380 Warren Avenue Warehouse Addition

Hello John

I am the planner assigned to this project.

I will telephone you this afternoon after I have visited the site- I do have a few questions.

As Barbara mentioned, I am awaiting reviewer comments and then will respond more formally.



MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0035

Date: 4/16/2008

On 4/16/08 I received further information which states that the post project impervious surface will be 79.4% which meets the 80% maximum.

There was no further information showing tht the minimum loading bay requirements would be met. No information was submitted showing that the maximum floor area ratio (F.A.R.) was being met.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE
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Subject: Application ID: 2008-0035
Date: 4/16/2008

Dept: Zoning

380 Warner Ave

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Marge Schmuckal
Zoning Administrator

→ 7/22/08 -
28.77%
vehicle mail on
7/22/08

From: Marge Schmuckal
To: Jean Fraser
Date: 7/22/2008 4:05:44 PM
Subject: Fwd: RE: 380 Warren Ave

Thank you - this addresses the F.A.R. (floor area ratio) - Did you get anything further about the minimum loading bay size - I think they were going to draw it on new plans (14' x 50')
Marge

>>> Jean Fraser 7/18/2008 4:29:18 PM >>>
I thought I had forwarded this to you but can find no record of doing so....is this adequate to meet your comments in UI (#2008-0035)?

thanks
Jean

>>> "John I. Mahoney" <john.mahoney@oakengineers.com> 7/16/2008 12:44:39 PM >>>
Jean:

Thanks for the update. The floor area calculations that you requested are as follows:

Total area of the site:	142,872
SF	
Total floor area including the new warehouse:	41,050 SF
Floor area ratio:	$41,050 / 142,872 = .287$ or 28.7
percent	

John I. Mahoney, E.I.T., LEED, A.P.
Project Engineer

Oak Engineers
400 Commercial Street
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Portland, Maine 04101
T: (207) 772-2004
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T: (207) 831-6165

-----Original Message-----

From: Jean Fraser [<mailto:JF@portlandmaine.gov>]
Sent: Tuesday, July 15, 2008 4:41 PM
To: John I. Mahoney
Subject: 380 Warren Ave

Hello John,

Firstly, I confirm that this is an administrative review and will not go to the Planning board unless the applicant wishes to appeal a condition or some other party requests it be referred to the Board.

Re the Review, I am sorting out some issues tomorrow with my colleagues (where our requirements conflict and we need to resolve) and the Zoning Administrator is still needing the calculations that shows that with this additional floorspace the maximum floor area ratio (F.A.R.) is being met (our letter had requested further info but it is still

unclear).

I will try and call you tomorrow (in between many meetings...) to run through the few residual issues.

Jean (Fraser)
Planner
874 8728

From: Jean Fraser
To: Schmuckal, Marge
Date: 7/18/2008 4:29:18 PM
Subject: Fwd: RE: 380 Warren Ave

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Jean (Fraser)
Planner
874 8728

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2008-0035
Application I. D. Number

3/27/2008
Application Date

Warehouse Facility
Project Name/Description

Delta Realty Co
Applicant
120 Exchange St. Ste 204, Portland, ME 04101
Applicant's Mailing Address

4/9/08

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

380 - 380 Warren Ave, Portland, Maine
Address of Proposed Site
303 E001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units 142500 Acreage of Site 0 Proposed Total Disturbed Area of the Site 0 Zoning B4

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 3/27/2008

Zoning Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____



Package Industries, Inc.

15 Harback Road Sutton, MA, 01590

TEL: 508-865-5871 FAX: 508-865-9130 Email:sales@pkgmail.com

Letter of Certification

Customer
Biskup Construction Inc.
16 Danielle Drive
Windham, ME 04062

Project
Delta Realty
Warren Avenue
Portland, ME 04103

Date: 8-28-2008
Project ID: 0808-035

Overall Building Description

Width	Length	Lt. Eave	Rt. Eave	Lt. Pitch	Rt. Pitch	Peak Height	Peak Offset
40.00 ft.	70.00 ft.	18.17 ft.	21.50 ft.	1.00:12	1.00:12	21.50 ft.	40.00 ft.

This is to certify the above referenced building and its components have been designed in accordance with Package Industries, Inc.'s standard design practices and established pertinent procedures and recommendations of the following Organizations and/or Specifications.

American Institute of Steel Construction (AISC)
American Welding Society Structural Welding Code(AWS D1.1)
American Society for Testing and Materials (ASTM)
American Iron and Steel Institute (AISI)
Metal Building Manufacturers Association(MBMA)
AISC Category MB Manufacturers Certification

Design Data

Building Code:
IBC 03

Building Classification Category:
Standard

Building End Use:
Storage

Loads and Codes

SNOW LOADS

Ground Snow (Pg): 60.00	Snow Sloped Roof Factor (Cs): 1.00
Snow Exposure Factor (Ce): 1.00	Snow Sloped Roof Snow (Ps): 50.40
Snow Thermal Factor (Ct): 1.20	Design Roof Snow : 50.40
Snow Importance Factor (Is): 1.00	% Snow Used in Seismic: 20.00
Snow Flat Roof Snow (Pf): 50.40	

ROOF DEAD, COLLATERAL, LIVE LOADS

Dead Load: 3.00	Live Load: 20.00
Collateral Load: 3.00	Live Load Reduction Taken: No

WIND LOADS

Basic Wind Speed: 94.00	Building Enclosure: C - closed
Wind Exposure: B	Importance (Iw): 1.00
Wind Directionality Factor (Kd): 0.85	Reference Wind Pressure (Pv): 22.620
Wind Topographic Factor (Kzt): 1.00	Internal Pressure Coeff. (GCpi): +/-0.18

SEISMIC LOADS

Seismic Hazard Group: I	Response Modification (OMF),R: 3.00
Seismic Importance (Ie): 1.00	Response Modification (OCBF),R: 5.00
0.2 Sec Spectral Response (Ss): 0.3680	Seismic Response Coefficient (OMF),Cs: 0.12



Package Industries, Inc.

15 Harback Road Sutton, MA, 01590

TEL: 508-865-5871 FAX: 508-865-9130 Email:sales@pkgmail.com

1.0 Sec Spectral Response (S_1): 0.0980
 Design Spectral Response (S_d): 0.37
 Design Spectral Response (S_d): 0.16
 Seismic Design Category: B
 Soil Profile: D

Seismic Response Coefficient (OCBF), C_s : 0.07
 Deflection Amplification (OMF), C_d : 3.00
 Deflection Amplification (OCBF), C_d : 4.50
 Design Base Shear (V) = $C_s * W$:
 Analysis Procedure: 1617.4

AUXILIARY LOADS

None

Additional Structural Material may be fabricated and provided for use in a Package Industries, Inc. building by any of the following fabricators:

Panels and Trims

Metl-Span I, Inc.	Lewisville, TX
MBCI/NCI Building Components	Rome, NY
MBCI/NCI Building Components	Richmond, VA
MBCI/NCI Building Components	Atlanta, GA

Barjoist and Decking

CMC Joist Company	Hope, Arkansas
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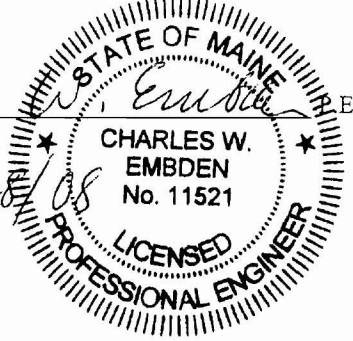
This Letter of Certification applies solely to the building and its component parts as furnished by Package Industries, Inc., and specifically excludes any foundation, masonry, general contract work, materials or components not furnished by Package Industries, Inc., or any unauthorized modifications to framing systems furnished by Package Industries, Inc.. Inspections and/or erection certifications are not by Package Industries, Inc..

The Design and Certification for this project is in accord with the provisions and loads specified in the Order Documentation. The buyer is responsible for verifying that the specified loads above are in compliance with the local regulatory authorities. Structural steel system not specifically detailed for seismic resistance.

Sincerely,

Charles W. Emden

 8/28/08



**STATEMENT OF SPECIAL
CONSTRUCTION MONITORING**

**PROJECT: Delta Realty Addition
380 Warren Ave, Portland, Maine**

**PERMIT APPLICANT: Jim Biskup – Biskup Construction
APPLICANT'S ADDRESS: 16 Danielle Dr, Windham, ME 04062**

STRUCTURAL ENGINEER OF RECORD

**Foundations: Associated Design Partners, Inc
Pre-Fabricated Steel Building: Package Industries, Inc.**

CONTRACTOR: Biskup Construction

This Statement of Special Construction Monitoring is submitted as a condition for building permit issuance in accordance with Section 1704.0 of the 2003 International Building Code. It includes the Schedule of Special Construction Monitoring and Testing as applicable to this project. Also included is a listing of agents and other approved agencies to be retained for conducting the monitoring and testing applicable to this project.

The Special Construction Monitoring Coordinator shall keep records of all observations listed herein, and shall furnish field reports to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction, and to the Registered Design Professional of Record. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Registered Design Professional of Record. Interim reports shall be submitted to the Registered Design Professional of Record monthly, unless more frequent submissions are requested.

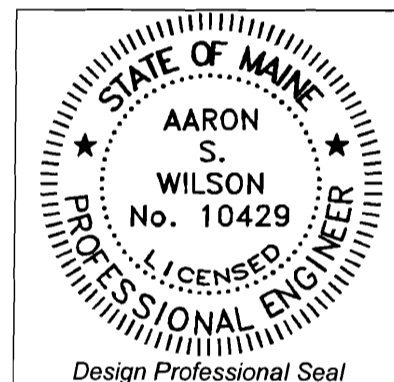
The Special Construction Monitoring program does not relieve the Contractor of his or her responsibilities. Job site safety is solely the responsibility of the Contractor. Materials and activities covered under the monitoring schedule are not to include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared by:

Aaron S. Wilson
(type or print name)

Aaron S. Wilson
Signature

9/12/08
Date



Owner's Authorization:

Building Official's Acceptance:

[Signature] 9/12/08
Signature Date

Signature Date

SPECIAL CONSTRUCTION MONITORING AGENTS

This Statement of Special Construction Monitoring / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete Retaining walls | <input checked="" type="checkbox"/> Wood Construction |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

AGENT	FIRM	CONTACT INFORMATION
1. Engineer of Record (Foundations & Wood Framing)	Associated Design Partners	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
2. Special Construction Monitoring Coordinator	Associated Design Partners	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
3. Field Monitor	S.W. Cole	286 Portland Road Gray, ME 04039-9586 P: (207) 657.2866
4. Testing Agency	S.W. Cole	286 Portland Road Gray, ME 04039-9586 P: (207) 657.2866
5. Engineer of Record (Pre-Fab Metal Building)	Package Industries, Inc	15 Harback Rd Sutton, MA 01590 PH. (508) 865-5871

Note: The testing agency shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

QUALITY ASSURANCE FOR LATERAL SYSTEMS

Quality Assurance for Seismic Requirements

Seismic Design Category B
Quality Assurance Plan Required (Y/N) N

If seismic design category C, and plan is not required, explain (see exceptions to 1705.1)

Description of seismic force resisting system and designated seismic systems:
Ordinary Steel Moment Frames, Ordinary Concentric Steel Braced Frames.

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) 94MPH
Quality Assurance Plan Required (Y/N) N

Description of wind force resisting system and designated wind resisting components:
Ordinary Steel Moment Frames, Ordinary Concentric Brace Frames at metal building.

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility in accordance with section 1705.3, and 1706.3 of the 2003 IBC code.

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
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TABLE 1 – SCHEDULE OF SPECIAL CONSTRUCTION MONITORING

MATERIAL / ACTIVITY		EXTENT of MONITORING (Continuous, Periodic, Other, Exempt, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.3 STEEL CONSTRUCTION						
1. Material Verification of high strength bolts, nuts, and washers.	a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Periodic	Provide inspection reports for field installed bolts to Agent 5 also.	3		
	b. Manufacturers Certificate of Compliance required.	Other	Fabricator to provide Certificate to Agent 1.	5		
2. Inspection of High – Strength Bolting	a. Bearing type connections	Periodic	Provide inspection reports to Agent 5 also.	3		
	b. Slip – critical connections	None	No S-C connections in building			
3. Material Verification of structural steel	a. Identification marking to conform to ASTM standards specified in the contract documents.	Exempt	Fabricator is AISC certified.			
	b. Manufacturers certified mill test Reports.	Exempt	Fabricator to provide Certificate to Agent 1.	5		
4. Material Verification of weld filler materials:	a. Identification marking to conform to AWS standards specified in the contract documents.	Exempt	Fabricator is AISC certified.			
	b. Manufacturers Certificate of Compliance required.	Exempt	No field welding. Shop welding performed by AISC certified fabricator			
5. Inspection of Welding – Structural Steel	a. Single Pass fillet welds < 5/16"	Exempt	No field welding. Shop welding performed by AISC certified fabricator			
	b. Roof deck welds	Periodic	Provide inspection reports to Agent 5 also.	3		
6. Inspection of Steel Frame Joint details for compliance with approved documents.	a. Bracing / moment frame connections	Periodic	Provide inspection reports to Agent 5 also.	3		
	b. Member locations	Periodic	Provide inspection reports to Agent 5 also.	3		
	c. Application of joint details at each connection.	Periodic	Provide inspection reports to Agent 5 also.	3		

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.4 CONCRETE CONSTRUCTION					
1. Inspection of reinforcing steel, including placement.	Periodic		3		
2. Inspection of reinforcing steel welding	None	No welding of rebar specified in contract drawings			
3. Inspect bolts embedded into concrete prior to and during placement of concrete where allowable loads have been increased.	None	Allowable loads have not been increased for lateral loads.			
4. Verify concrete mix design(s)	Periodic	SER to review and approve mix design(s) prior to delivery. Field agent to verify delivery ticket matches approved mix design.	1,3		
5. Sample fresh concrete for strength tests, perform slump and air content tests, and determine temperature of concrete.	Continuous		3,4		
6. Inspection of concrete placement for proper techniques.	Continuous		3		
7. Inspection for maintenance of specified curing temperature and techniques.	Periodic		3		
1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2					
1. As Masonry Construction begins, the following shall be verified to ensure conformance	a. Proportions of site-prepared mortar	None			
	b. Construction of mortar joints	None			
	c. Location of reinforcement	None			
	d. Pre-stressing technique	None	No pre-stressing in building		
	e. Grade and size of pre-stressing tendons.	None	No pre-stressing in building		
2. The Inspection program shall verify the following:	a. Size and location of structural elements.	None			

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
	b. Type, size, and location of embedded anchors.	None				
	c. Size, grade, and type of reinforcing	None				
1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2						
2. The Inspection program shall verify the following, cont:	d. welding of reinforcing bars	None				
	e. Protection of Masonry during cold weather (temp. below 40 deg F.)	None				
	f. Application and measurement of pre-stressing reinforcement	None	No pre-stressing in building			
3. Prior to grouting, the following shall be verified to ensure compliance.	a. Grout space is clean	None				
	b. Placement of reinforcement	None				
	c. Proportions of site-prepared grout	None				
	d. Construction of mortar joints	None				
4. Grout placement shall be verified to ensure compliance with code and construction document provisions.		None				
5. Preparation of any grout specimens, mortar specimens and/or prisms shall be observed		None				
6. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.		None				
1704.6 WOOD CONSTRUCTION						
1. Horizontal Diaphragms and Vertical Shearwalls	a. Inspect sheathing size, grade, and thickness for conformance with construction documents.	None				
	b. Inspect sheathing fastener size and pattern for conformance with construction documents.	None				
	c. Verify attachment to supporting elements is per contract documents.	None				
2. Wood truss fabricator certification / quality control procedures	Verify shop fabrication and quality control procedures for wood truss plant.	None				
3. Material Grading	Verify material grading for sawn lumber for compliance with construction documents. Verify manufactured lumber (LVL'S, PSL's) for conformance with	None				

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
	construction documents.				
1704.6 WOOD CONSTRUCTION					
4. Wood Connections	Verify that connections are made as shown in the contract documents. For connections not specifically detailed, verify conformance with IBC 2003 Ch. 23	None			
5. Framing	Verify that framing is installed in accordance with construction documents.	None			
6. Pre-Fabricated Wood Trusses	Inspect truss and all bracing installation. Bracing to be installed per fabricator's recommendations and BCSI 1-03	None			
1704.7 SOILS					
1. Site Preparation	Inspect preparation of site for conformance with Geotechnical recommendations prior to placement of prepared fill.	Periodic	3		
2. Fill Placement	During Fill Placement verify that material and lift thickness comply with approved Geotechnical report.	Periodic	3		
3. In-Place Soil Density	Verify compliance of in-place compacted dry density with approved Geotechnical report.	Periodic	3		
1704.7 PILE FOUNDATIONS					
	Record installation and testing of procedures of each pile. Submit reports to building official and EOR. Reports to include pile tip cutoff elevation relative to a common benchmark.	None		No Piles on Job	
1704.10 ARCHITECTURAL WALL PANELS AND VENEERS					
	Verify compliance of attachment of interior and exterior Architectural veneers to supporting structure for building in Seismic Design Category E or F.	None		Building is Seismic Design Category B	

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.11 SPRAYED FIRE-RESISTANT MATERIAL	a. Verify conformance of the prepared surface with manufacturer's specifications prior to application of material.	None	No Sprayed Fire-Resistant material in building.			
	b. Verify that substrate's ambient temperature meet manufacturer's specifications.	None				
	c. Verify that material thickness meets design specifications.	None				
	d. Verify that the material density meets the design specifications. Test in accordance with ASTM E 605.	None				
	e. Verify that bond strength between material and substrate is greater than or equal to 150 psf. Test in accordance with ASTM E 736 and IBC 2003 1704.11.5.1 – 1704.11.5.2	None				
1704.12 EXTERIOR AND INSULATION AND FINISH SYSTEMS (EIFS)	Verify conformance of EIFS installation with manufacturers and design specifications.	None	No EIFS on building.			
1704.13 SPECIAL CASES COLD FORMED METAL FRAMING						
1. Framing	Verify member size, thickness, material, and spacing is in accordance with design specifications and drawings.	None				
2. Framing Connections	Verify that member connections are in accordance with design specifications and drawings.	None				
3. Welding	Verify welding of cold formed members is in accordance with design specifications and AWS standards.	None				

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
4. Light Gage Trusses	a. Verify that light gage trusses are design in accordance with the loads specified on the contract documents.	None				
	b. Verify that light gage trusses and truss bracing is installed per manufacturers specifications, contract documents, and BCSI 1-03 guidelines.	None				
1704.10 SMOKE CONTROL	a. Test ductwork for leakage and recode device locations prior to concealment of mechanical systems.	None				
	b. Prior to building occupation, perform pressure difference testing, flow measurements and detection, and control monitoring.	None				



State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

17930

Not Sprinkled

DELTA REALTY ADDITION
Located at: 380 WARREN AVENUE
PORTLAND
Occupancy/Use: INDUSTRIAL

Permission is hereby given to:

DELTA REALTY LLC
SUITE 204
120 EXCHANGE STREET
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 24 th of February 2009

Dated the 25 th day of August A.D 2008

Commissioner

Copy-2 Architect

Comments

JAMES M. STREETER

66 GARSOE STREET
PORTLAND, ME 04103



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Urban Development
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

August 6, 2008

Stephen J Bradstreet, PE
Oak Engineers
400 Commercial Street, Suite 404
Portland, ME 04101

Delta Realty Co Inc.
120 Exchange Street, Suite 204
Portland, ME 04101

RE: Warehouse Addition, Rear of 380 Warren Avenue
CBL: #303 E001001
Application ID: #2008-0035

Dear Mr Bradstreet,

On August 6, 2008 the Portland Planning Authority approved a minor site plan for a 2800 sq ft warehouse addition (to be added to the existing 6000 sq ft warehouse that was approved in 2001) at the rear of 380 Warren Avenue, as submitted by Delta Realty Inc and shown on the approved plan prepared by Oak Engineers and dated July 25, 2008, with the following conditions:

- i. Truck backing maneuvers from Warren Avenue into the proposed site are prohibited; and
- ii. Tractor trailer trucks are prohibited from the proposed site (warehouse addition area to rear); and
- iii. The applicant shall be responsible for removing all signage at the Warren Avenue entrance that conflicts or is not appropriate for two-way driveway traffic operations. Removal of the signs shall be coordinated with the Department of Public Services.

The approval is based on the submitted site plan (C-100 Rev D; C-101 Rev D; C-102 Rev D). If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
2. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.


389 Congress Street, Portland, Maine 04101-3509 Ph (207)874-8721 or 874-8719 Fx 756-8258 TTY 874-8936

3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874- 8728.

Sincerely,

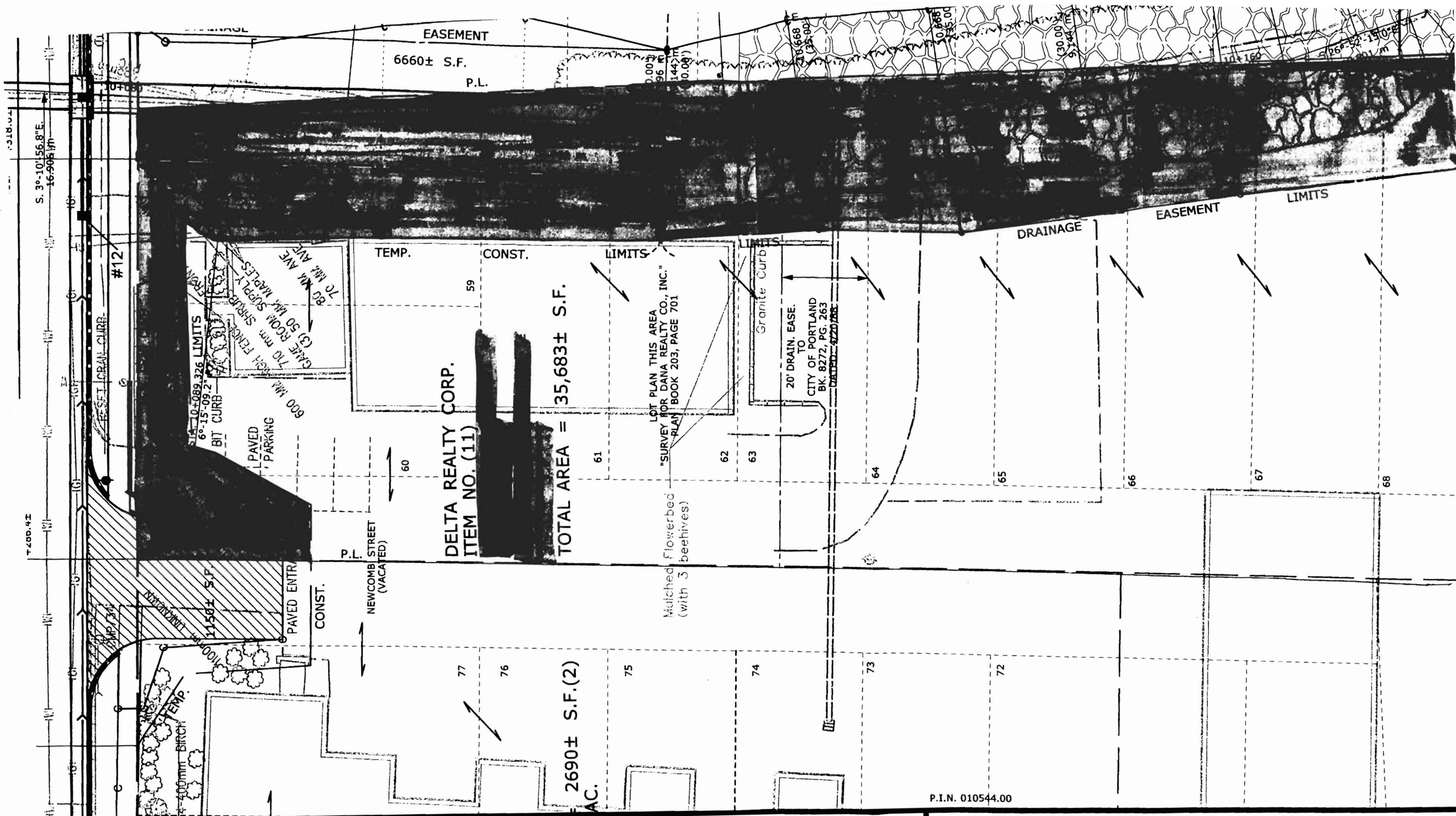

Alexander Jaegerman
Planning Division Director

Attachment: Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Jeanie Bourke, Inspections Division
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Services Director
Kathi Earley, Public Works

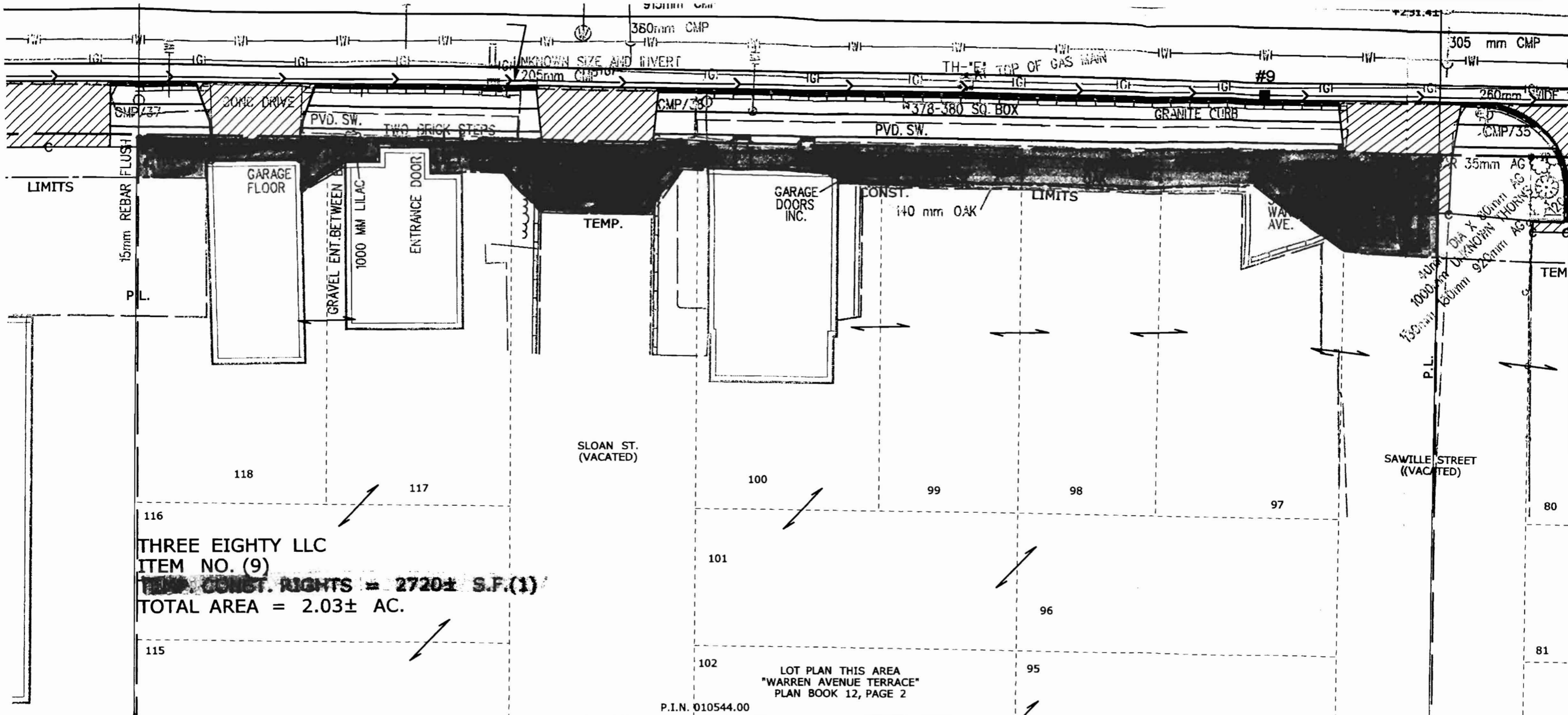
Bill Clark, Public Works
Michael Farmer, Public Works
Jim Carmody, City Transportation Engineer
Jane Ward, Public Works
Captain Greg Cass, Fire Prevention
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File



SYMBOLS	
○ IP	(IRON PIPE or PIN)
□ S.T.	(SEPTIC TANK)
— — —	WATER LINE
— G — G —	GAS LINE
— E — E —	ELECTRIC LINE
— T — T —	TELEPHONE LINE

MAINE DEPARTMENT OF TRANSPORTATION - CENTERLINE CONTROL					
MAINE STATE COORDINATE SYSTEM - ZONE					
CENTERLINE CONTROL MONUMENTS			TRAVERSE CONTROL POINTS		
STATION	NORTH	EAST	NUMBER	NORTH	EAST

STATE OF MAINE
 DEPARTMENT OF TRANSPORTATION
 16 STATE HOUSE STATION - AUGUSTA, ME 04333-0016
RIGHT OF WAY MAP
WARREN AVENUE
 DODD AND



SYMBOLS

- (IRON PIPE or PIN)
- (SEPTIC TANK)
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- TELEPHONE LINE
- SEWER LINE
- PROPERTY LINE
- WROUGHT PORTION
- RIGHT OF WAY

○ - RAILROAD SPIKE		△ - CONTROL MONUMENTS	
MAINE DEPARTMENT OF TRANSPORTATION - CENTERLINE CONTROL			
MAINE STATE COORDINATE SYSTEM - ZONE			
CENTERLINE CONTROL MONUMENTS		TRAVERSE CONTROL POINTS	
STATION	NORTH	EAST	NUMBER
	NORTH	EAST	

STATE OF MAINE
 DEPARTMENT OF TRANSPORTATION
 16 STATE HOUSE STATION - AUGUSTA, ME 04333-0016
RIGHT OF WAY MAP
 WARREN AVENUE
 PORTLAND CUMBERLAND COUNTY
 FEDERAL AID PROJECT NO. STP-1054(400)X

DATE: MARCH 2006
 SCALE: 1 = 250

DAVID A. COLE
 COMMISSIONER

AN THIS AREA
 AVENUE TERRACE"
 DOK 12, PAGE 2

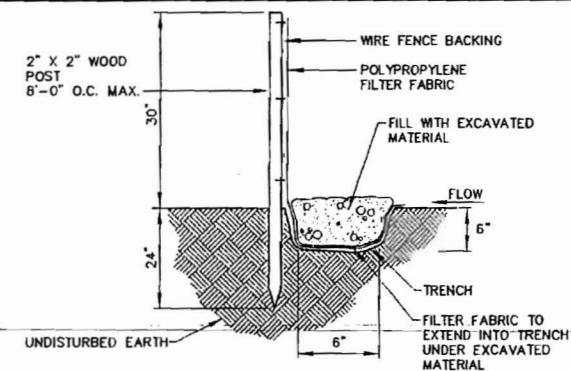
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INSTRUMENT		COL



WARREN AVENUE

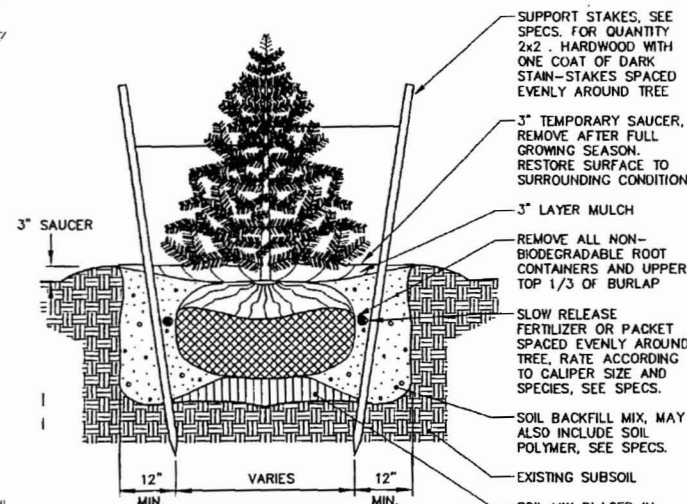
THE ACCESS IS TWO WAY NEAR WARREN AVE AND ONE WAY WITHIN THE TRADE CENTER SITE AND SIGNAGE WILL BE ADJUSTED AS APPROVED BY THE CITY AS PER SITE PLAN APPROVAL CONDITIONS

INSTALL NEW HYDRANT AND VALVE



EROSION CONTROL FENCE DETAIL

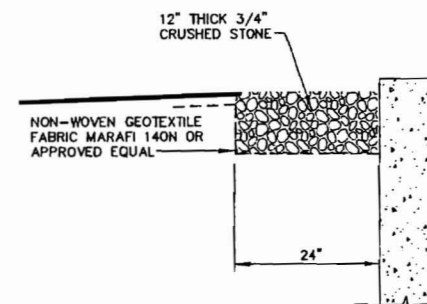
NOT TO SCALE



- NOTES:
1. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 2. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 3. TREE GUYS SHALL BE GUYING CHAIN, WEB STRAPPING OR TIE WIRE, RUBBER HOSE AND TURNBUCKLES

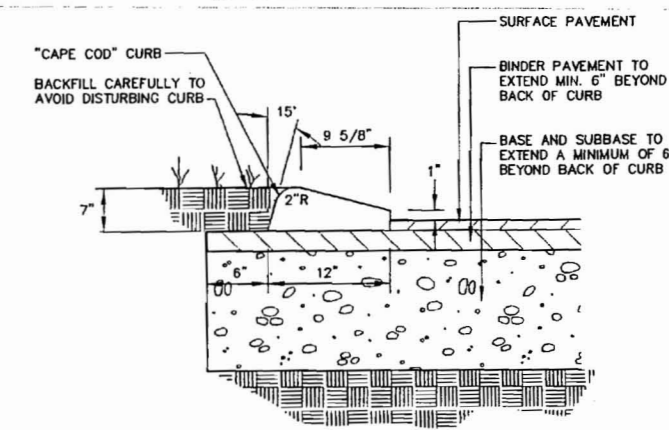
EVERGREEN TREE PLANTING & STAKING DETAIL

NOT TO SCALE



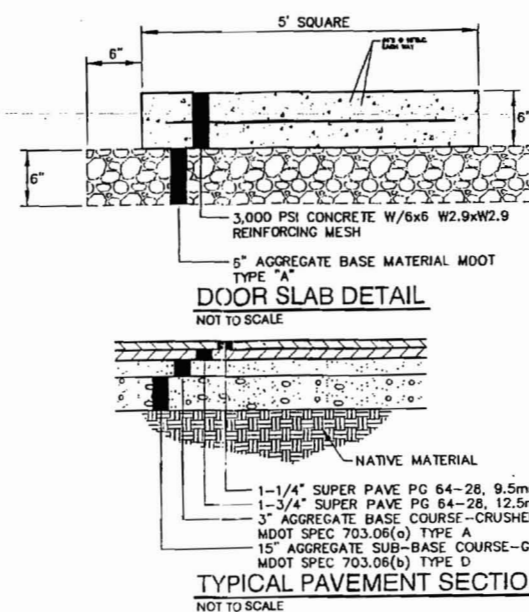
CRUSHED STONE DRIP EDGE DETAIL

NOT TO SCALE



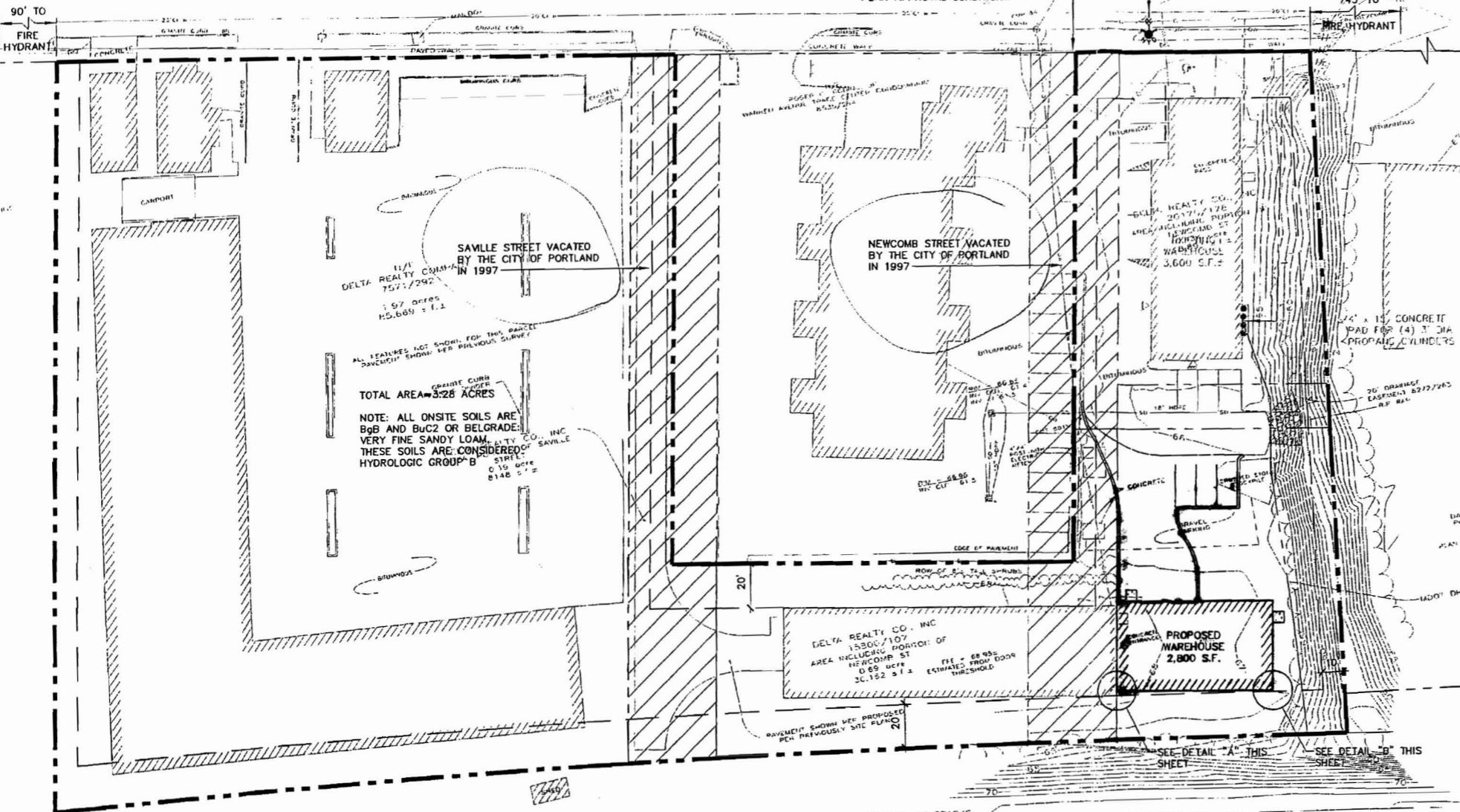
BITUMINOUS CURB-CAPE COD STYLE

NOT TO SCALE



TYPICAL PAVEMENT SECTION

NOT TO SCALE



OVERALL SITE PLAN

SCALE: 1" = 30'

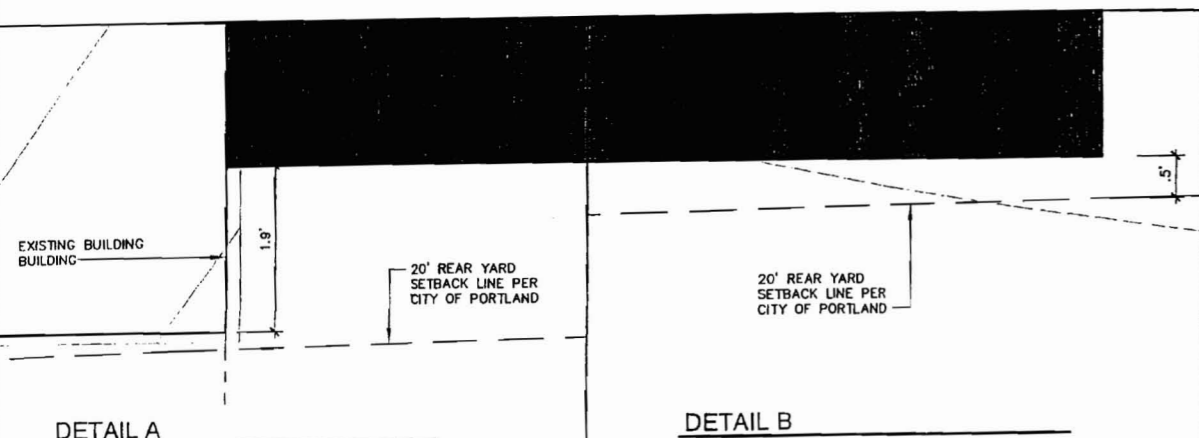
SCALE

SCALE: HOR 1" = 30'



NOTES: CONDITIONS OF SITE PLAN APPROVAL

1. TRUCK BACKING MANEUVERS FROM WARREN AVENUE INTO THE PROPOSED SITE ARE PROHIBITED.
2. TRACTOR TRAILER TRUCKS ARE PROHIBITED FROM THE PROPOSED SITE (WAREHOUSE ADDITION TO REAR).



DETAIL A

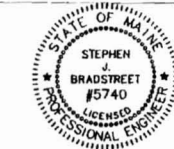
DETAIL B

WAREHOUSE FACILITY

380 WARREN AVENUE
PORTLAND, MAINE

Prepared for:

DELTA REALTY CO., INC.
120 EXCHANGE STREET, SUITE 304
PORTLAND, MAINE 04101



OAK ENGINEERS

400 Commercial Street, Suite 404
Portland, ME 04101
Tel: (207) 772-2004
Fax: (207) 772-3248
www.oakengineers.com

OVERALL SITE PLAN AND DETAILS

D	ISSUED FOR CITY REVIEW	07/25/08
C	ISSUED FOR CITY COMMENTS	06/20/08
B	ISSUED FOR CITY REVIEW	03/21/08
A	ISSUED FOR CLIENT REVIEW	01/04/08

No.	Revision/Issue	Date
Design by:	SJB	Checked by: SJB
Drawn by:	JIM	Approved by: SJB
Project:	073013	Date:
Sheet:		03-13-06

C-100

7/16/09

CONCRETE NOTES

- CODES
COMPLY WITH THE FOLLOWING LATEST EDITIONS AND CURRENT AMENDMENTS:
1.1 ACI 308 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
1.2 ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
1.3 CRSI "CONCRETE REINFORCING STEEL INSTITUTE, MANUAL OF STANDARD PRACTICE"
2. TESTING:
2.1 LABORATORY TESTS: CONCRETE MIX DESIGN, FIELD FABRICATED CYLINDERS FOR COMPRESSIVE STRENGTH,
2.2 FIELD TESTS: PERFORM FIELD TESTS FOR SLUMP, AIR CONTENT AND TEMPERATURE. PREPARE CYLINDERS FOR COMPRESSION TESTING, #1 AT 7 DAYS AND #2 AT 28 DAYS.
4. MATERIALS:
4.1 REINFORCING STEEL: GRADE 60, ASTM 615, NEW DEFORMED BARS
4.2 REINFORCING FOR SLABS: EQUAL TO FIBERWEIGHT, 1.5 "30" CONCRETE, OR 6# W.G. 5 W.G. 5 W.G.
4.3 MORTAR WATER SHALL BE POTABLE, FREE OF ANY SUBSTANCES THAT MAY BE DETRIMENTAL TO THE CONCRETE OR REINFORCING STEEL.
5. CONCRETE:
5.1 INTERIOR SLABS:
-CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT
-28 DAY COMPRESSIVE STRENGTH: 3000 PSI
-MAX. AGG. SIZE: 3/4"
-AIR CONTENT: NO AIR
-MAX WATER-CEMENT RATIO: 0.50
-AGGREGATE SHALL CONFORM TO ASTM C33
5.2 WALLS AND FOOTINGS:
-CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT
-28 DAY COMPRESSIVE STRENGTH: 3000 PSI
-MAX. AGG. SIZE: 3/4"
-AIR CONTENT: 5% BY VOLUME
-MAX WATER-CEMENT RATIO: 0.50
-AGGREGATE SHALL CONFORM TO ASTM C33
5.3 ADMIXTURES:
PROVIDE ADMIXTURES WHICH ARE CHEMICALLY COMPATIBLE FOR THEIR INTENDED USE. COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR USE. BASE DOSAGE RATES ON CONCRETE CONTENT. CALCIUM CHLORIDE IS NOT ALLOWED.
5.3.1 HIGH RANGE WATER REDUCERS (SUPER PLASTICIZERS) EQUAL TO DAKASEC 100 BY W.R. GRADE 4 CO., ASTM C-494.
5.3.2 ACCELERATORS: EQUAL TO DAKASEC BY W.R. GRADE 4 CO., ASTM C-494 TYPE C OR E.
5.3.3 AIR ENTRAINING: EQUAL TO "DAKARAIR" BY W.R. GRADE 4 CO., ASTM C-260 AND ARMY CORPS CRD-C-15.
5.4 CONCRETE SURFACE COATINGS:
5.4.1 CURING COMPOUND: "UREA-N SEAL" BY SOMMERBORN, OR EQUIVALENT.
5.4.2 BITUMINOUS DAMPROOFING: EQUAL TO BRUSH GRADE FOUNDATION COATING BY EUCID.
5.5 FORMS AND RELATED MATERIAL:
5.5.1 FORMS FOR CONCRETE SURFACES THAT WILL BE EXPOSED IN THE FINISHED BUILDING SHALL BE FLYFORM CLASS I, B OR EXTERIOR TYPE CONFORMING TO U.S. PRODUCT STANDARD PS-1. FORMS FOR CONCRETE SURFACES NOT EXPOSED IN THE FINISHED BUILDING MAY BE FLYFORM OR MATCHED LUMBER.
5.5.2 FORM OIL USED ON SURFACE OF FORMS SHALL BE A NON-STAINING TYPE.
5.6 ALUMINUM PRODUCTS:
5.6.1 NO ALUMINUM CONTACT, PIPE, INSERTS, REGLETS, ETC. SHALL BE PLACED IN ANY CONCRETE, UNLESS COATED WITH BITUMINOUS DAMPROOFING.
5.6.2 NO EQUIPMENT MADE OF ALUMINUM OR ALUMINUM ALLOYS SHALL BE USED FOR PUMP LINES, TRENCHES OR CHUTES IN CONVEYING CONCRETE TO POINT OF PLACEMENT.
5.7 GROUT:
5.7.1 NON SHRINK GROUT FOR USE UNDER COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE EMSECO GROUT 400S, PRE-MIXED, AS MANUFACTURED BY EMSECO INDUSTRIES, OR APPROVED EQUIVALENT.
5.8 PREFORMED EXPANSION JOINT FILLER:
5.8.1 A NON-EXTENDING AND RESILIENT BITUMINOUS TYPE JOINT FILLER, 1/2" THICK.
5.9 EMBEDDED ITEMS:
5.9.1 EMBEDDED ITEMS SUCH AS ANCHOR BOLTS, ETC., SHALL BE INSTALLED USING A TEMPLATE AND BE SECURELY TIED IN PLACE DURING CONCRETE PLACEMENT.
5.10 SPACERS, SUPPORTS AND FASTENERS:
5.10.1 FORM SPACERS, REINFORCING TIES AND CHAIRS, AND OTHER DEVICES NEEDED FOR PROPERLY SPACING, SUPPORTING AND FASTENING REINFORCEMENT SHALL BE PROVIDED. CLAY BRICKS ARE NOT ALLOWED FOR USE AS SLAB STEEL BOLSTERS.
5.11 VAPOR BARRIER:
5.11.1 UNDERSLAB MOISTURE VAPOR BARRIER SHALL BE MADE OF A LAYER OF 6 MIL POLYETHYLENE PLASTIC. PLACE VAPOR BARRIER AS SHOWN IN DETAIL ON 5301.
6. CONSTRUCTION PRACTICES:
6.1 REINFORCEMENT:
COMPLY WITH REQUIREMENTS OF CRSI, LATEST EDITION
6.1.1 MINIMUM CONCRETE COVER: 3" FOR CONCRETE CASE AGAINST SOIL, 2" FOR OTHER CONCRETE, UNLESS OTHERWISE SHOWN.
6.2 DEVELOPMENT AND SPLICING:
PROVIDE DEVELOPMENT AND TENSION LAP SPICE LENGTHS IN ACCORDANCE WITH THE FOLLOWING, UNLESS NOTED OTHERWISE ON PLANS.

DEVELOPMENT BAR SIZE	LENGTH*	CLASS C LAP SPICE
#4	12	16"
#5	12	20"
#6	15	26"
#7	21	36"
#8	26	46"

*INCREASE BY 30% FOR BARS SPACED < 6"

CONCRETE NOTES CONT.

- CHAMFERS
CHAMFER ALL EXPOSED EDGES AND CORNERS OF CONCRETE BY 1/8" SIMILAR THROUGHOUT
- JOINTS:
6.4.1 CONSTRUCTION JOINTS: PLACE PERPENDICULAR TO THE MAIN REINFORCEMENT. CONTINUE REINFORCEMENT ACROSS CONSTRUCTION JOINTS. PROVIDE KEYS AT LEAST 1/8" UNLESS OTHERWISE SHOWN DEEP IN CONSTRUCTION JOINTS IN WALLS, SLABS, AND BETWEEN WALLS AND FOOTINGS. ACCEPTED BULKHEADS DESIGNED FOR THIS PURPOSE MAY BE USED IN SLABS. PROVIDE WATERSTOP WHERE INDICATED.
6.4.2 ISOLATION JOINTS: PROVIDE IN SLABS ON GRADE AT POINTS OF CONTACT BETWEEN SLABS ON GRADE AND VERTICAL SURFACES, SUCH AS FOUNDATION WALLS, GRADE BEAMS, COLUMN PROTEASIS, AND ELEVATORS AS NECESSARY. PROVIDE WATERSTOP WHERE INDICATED.
6.4.3 CONTRACTION CONTROL JOINT: PROVIDE IN SLABS ON-GRADE BY USING INSERTS OR BY SAW CUTTING TO A DEPTH OF 1/8" THE SLAB THICKNESS. PROVIDE A ONE PART ELASTOMERIC JOINT SEALANT TO JOINT GROOVE. A MINIMUM OF 60 DAYS AFTER SLAB PLACEMENT UNLESS OTHERWISE APPROVED.
6.5 CONCRETE MIXING:
6.5.1 READY-MIXED CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN ASTM C94.
6.5.2 ALL CONCRETE SHALL BE MIXED UNTIL THERE IS A UNIFORM DISTRIBUTION OF THE MATERIALS BEFORE DISCHARGE. THE MIXING SHALL BE CONTINUOUS AFTER THE WATER HAS BEEN ADDED TO THE MIX IN THE DRUM.
6.5.3 NO CONCRETE SHALL BE PLACED IN THE FORMS MORE THAN 90 MINUTES AFTER THE WATER HAS BEEN ADDED.
6.5.4 AFTER THE MAXIMUM WATER-CEMENT RATIO HAS BEEN ACHIEVED, RETARDING OF THE CONCRETE WILL NOT BE ALLOWED, UNLESS APPROVED BY ENGINEER.
6.6 CONCRETE PLACEMENT:
6.6.1 DEPOSIT CONCRETE CONTINUOUSLY IN LAYERS NOT DEEPER THAN 24" OVER PREVIOUS LAYERS WHICH ARE STILL PLACED. AVOID COLD JOINTS. CONSOLIDATE CONCRETE BY MECHANICAL VIBRATING EQUIPMENT, SUPPLEMENTED BY HAND SPADING, RODDING AND TAMPING. DO NOT USE MECHANICAL VIBRATORS TO TRANSPORT CONCRETE.
6.6.2 HOT WEATHER PLACING: COMPLY WITH ACI 308, LATEST EDITION. MAINTAIN A FRESH CONCRETE TEMPERATURE OF NOT LESS THAN 50°F AND NOT MORE THAN 80°F AT THE POINT OF PLACEMENT.
6.7 CONCRETE CURING:
COMPLY WITH ACI 308, LATEST EDITION. COMPLY WITH ACI 308 FOR HOT WEATHER CONCRETING. PROVIDE A MINIMUM OF 7 DAY CONTINUOUS MOISTURE CURE BY COVERING CONCRETE SURFACE WITH A WET ABSORPTIVE COVER, MAINTAIN SATURATED COVER CONDITION. ALTERNATIVE CURING METHODS WILL ONLY BE ALLOWED IF APPROVED BY ENGINEER. CONTRACTOR WILL SUBMIT ALTERNATIVE CURING PRODUCTS AND METHODS FOR REVIEW AND APPROVAL. ALSO, MAINTAIN CONCRETE CURING TEMPERATURE ABOVE 50°F.
6.7.1 SLABS: USE MOISTURE CURE OR CURING COMPOUND. APPLY CURING COMPOUND WITHIN 2 HOURS OF FINAL FINISHING BY SPRAY OR ROLLER. RECOAT AREAS SUBJECT TO HEAVY RAINFALL. DO NOT USE CURING COMPOUND ON SLABS WHICH WILL RECEIVE LIQUID FLOOR HARDENER OR OTHER FINISHES.
6.7.2 FORMED SURFACES: CURE FORMED SURFACES WITH FORMS IN PLACE FOR ENTIRE CURING PERIOD. DURING COLD WEATHER CURING, PROVIDE CAST-IN THERMOMETERS FOR MONITORING CONCRETE CURING TEMPERATURE AT LOCATIONS AS DIRECTED BY ENGINEER. MAINTAIN A 50°F WITH USE OF INDIRECT HEAT OR INSULATIVE BLANKETS.
6.8 ANCHOR BOLTS: USE TYPE, SIZE, AND LENGTH AS INDICATED ON PLANS.

EARTHWORK NOTES

- SITE WORK AND CONCRETE CONTRACTORS ARE REQUIRED TO REVIEW THE ON-SITE SUBSURFACE SOIL CONDITIONS WITH THE OWNER AT THE START OF INITIAL CONSTRUCTION. SITE CONTRACTOR WILL NOTIFY OWNER AFTER EXCAVATION HAS STARTED AND PRIOR TO THE PLACEMENT OF ANY STRUCTURAL FOUNDATIONS.
2. REMOVE ALL TOPSOIL AND UNCONTROLLED FILL FOR THE AREAS RECEIVING BUILDING FOUNDATIONS.
3. BACKFILL TO THE NECESSARY SUBGRADES REQUIRED ON THE STRUCTURAL FOUNDATION PLANS WITH CONTROLLED STRUCTURAL FILL MATERIAL MEETING THE FOLLOWING GRADATION:

PERCENT PASSING	SCREEN OR SIEVE SIZE
0	NO. 10
5	NO. 20
10	NO. 40
35	NO. 100
60	NO. 200

4. PLACE CONTROLLED STRUCTURAL FILL IN UNIFORM LIFTS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557 MODIFIED PROCTOR DENSITY.
5. PROVIDE SITE GRADING AROUND THE PERIMETER OF THE BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION DURING AND AFTER CONSTRUCTION.
6. MAINTAIN THE INTEGRITY OF NATURAL SOILS AND CONTROLLED STRUCTURAL FILL DURING CONSTRUCTION. PROTECT FOOTING AND STRUCTURE SUBGRADES AGAINST FREEZING AND EXCESSIVE WETTING. REMOVE AND REPLACE FROZEN SUBGRADES. MOISTURE CONDITION, OR REPLACE EXCESSIVELY WET SUBGRADE MATERIALS.
7. NOTIFY ENGINEER TO OBSERVE SUBGRADES PRIOR TO PLACING FOOTINGS. FOOTINGS ARE DESIGNED FOR A MIN. SOIL BEARING CAPACITY OF 2000 PSF PER 5 W. COLE GEOTECH REPORT.
8. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF LEDGE IS ENCOUNTERED TO DETERMINE FINISHING REQUIREMENTS.
9. ALL FOOTINGS SHALL EXTEND A MINIMUM OF 4' 6" BELOW EXISTING FINISHED GRADE, OR BE DOWNED TO LEDGE.
10. PROOF ROLL SUBGRADE PRIOR TO SLAB CONSTRUCTION. PROVIDE STRUCTURAL FILL MEETING THE GRADATION SPECIFIED HEREIN FOR FILL MATERIALS BELOW THE SLAB. MAXIMUM PERCENT PASSING 200 SIEVE = 7%
11. COMPACT CONTROLLED STRUCTURAL FILL IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND ASTM D1557. USE ONLY HAND-OPERATED EQUIPMENT ADJACENT TO WALLS. FILL BOTH SIDES OF WALLS TO EQUAL ELEVATIONS BEFORE COMPACTING.

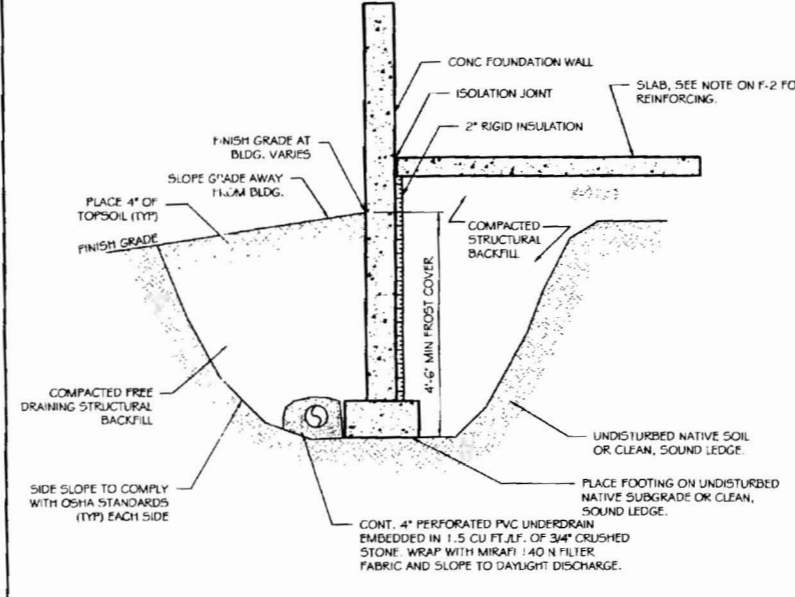
DEGREE OF COMPACTION	COMPACT TO THE FOLLOWING MINIMUM DENSITIES:
FILL AND BACKFILL LOCATION UNDER STRUCTURE FOUNDATIONS TOP 2 FEET UNDER PAVEMENT	95% OF MAX
BELOW TOP OF 2 FEET UNDER PAVEMENT TRENCHES THROUGH UNPAVED AREAS	90%
EMBANKMENTS	90%
PIPE BEDDING	90%
BEHIND STRUCTURE FOUNDATION WALLS, TANK WALLS AND RETAINING WALLS	90%
UNDER PIPES THROUGH STRUCTURAL FILL UNDER DRAIN FILTER SAND	92%

MAXIMUM DENSITY: ASTM D 1557, MODIFIED.
FIELD DENSITY TESTS: ASTM D 1556 (SAND CONE), ASTM D 1570 (NUCLEON BALLOON), OR ASTM D 2922 (NUCLEON METHOD).
12. CONTRACTOR IS REQUIRED TO CONFORM TO OSHA (29 CFR 1926.650-652) SUBPART P "CONSTRUCTION STANDARD FOR EXCAVATIONS".

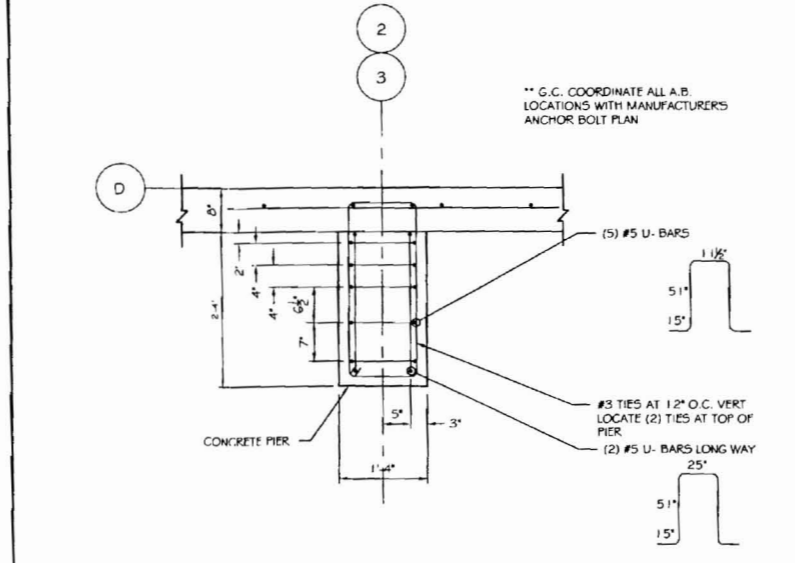
GENERAL STRUCTURAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
-INTERNATIONAL BUILDING CODE - 2003 ED
-ANSI/ACI 308
-ACI 318-99 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
-ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
-ASCI STEEL CONSTRUCTION MANUAL
-ASCI STEEL DESIGN MANUAL
-ANSI/AISC 158-1997
2. ROOF DESIGN LOADS:
N.A. COLUMN REACTIONS PROVIDED BY METAL BUILDING FABRICATOR
3. FLOOR DESIGN LOADS: 125 PSF LIGHT WAREHOUSE STORAGE
4. WIND LOADS:
N.A. COLUMN REACTIONS PROVIDED BY METAL BUILDING FABRICATOR
5. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND ALSO ANY CONDITIONS THAT PREVENT THE CONTRACTORS COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS
6. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
7. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
8. ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR (G.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
9. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
10. THESE DRAWINGS DO NOT SHOW SIZE, LOCATION OR TYPE OF OPENING IN THE FOUNDATION SYSTEM FOR ELECTRICAL, PLUMBING OR MECHANICAL EQUIPMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THESE ITEMS.
11. ALL SHOP DRAWINGS PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. DIMENSIONAL REVIEW IS THE CONTRACTORS RESPONSIBILITY.
12. USE PERIMETER DRAINS WHERE SHOWN. DRAIN TO APPROPRIATE OUTLET.

C2 NEW FOUNDATION TO EXISTING
SCALE: NO SCALE

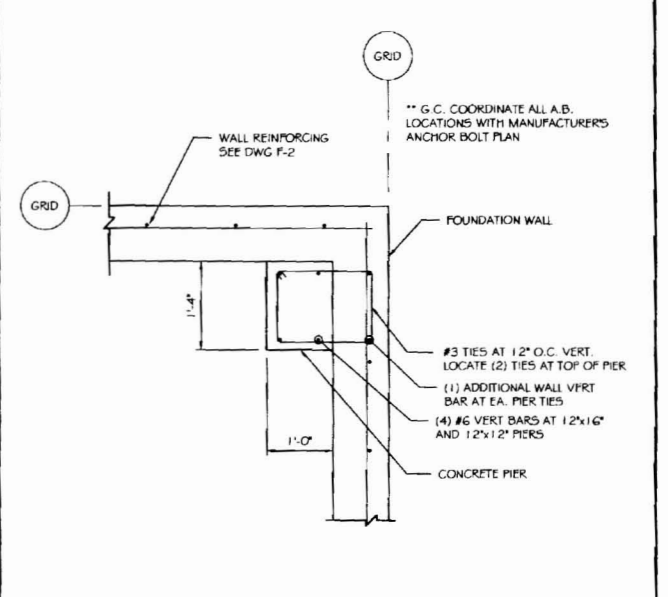


B2 TYPICAL EARTHWORK DETAIL
SCALE: NO SCALE

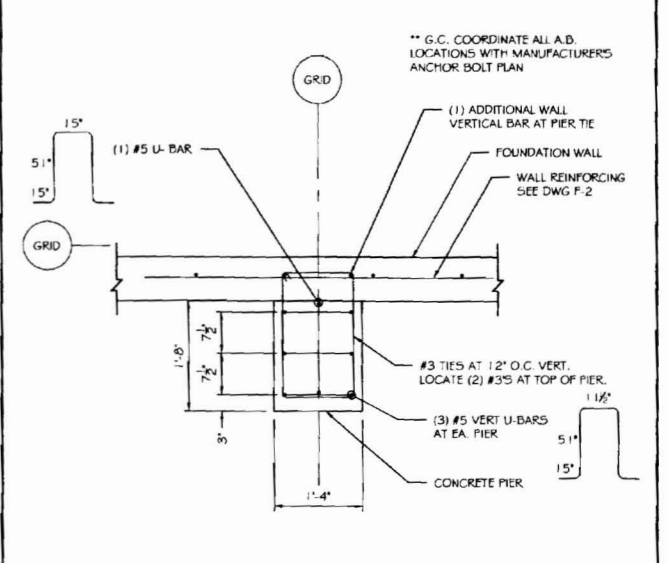


A2 16\"/>

C1 28\"/>



B1 12\"/>



A1 16\"/>

BRKUP CONSTRUCTION, INC.
11 DANIELLE DRIVE
BETHLEHEM, MAINE 04012
TEL: (207) 812-1800
FAX: (207) 812-1815
WWW.BRUPCONSTRUCTION.COM

CONSULTANT
ASSOCIATED DESIGN PARTNERS, INC.
100 STATE ST. 2ND FLOOR
PORTLAND, ME 04101
TEL: (207) 774-1111
FAX: (207) 774-1112

STAMP
STATE OF MAINE
AARON S. WILSON
No. 10429
PROFESSIONAL ENGINEER

DELTA REALTY ADDITION
380 WARREN AVE
PORTLAND, MAINE

REVISIONS

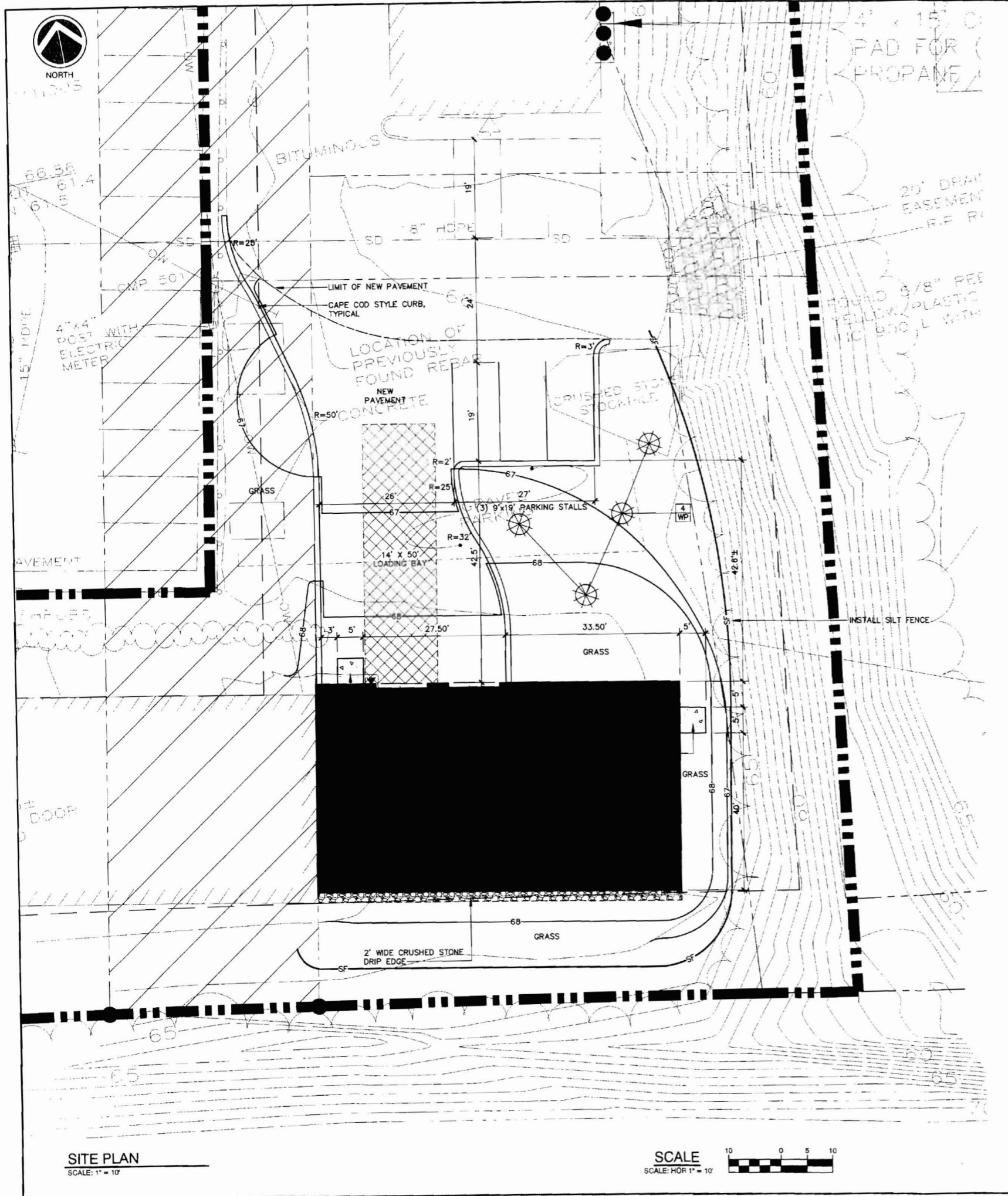
DATE	DESCRIPTION

DATE: 1/6/08
SCALE: 3/4\"/>

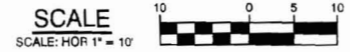
FOUNDATION DETAILS

SHEET NUMBER
F-3

SHEET 3 OF 3



SITE PLAN
SCALE: 1" = 10'



EROSION CONTROL NOTES

- APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 2003 (BMP HANDBOOK).
- SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
- PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
- PERMANENT SEEDING SHALL BE:

	SEED	LB/1,000 SQ. FT.	SEEDING DEPTH	RECOMMENDED SEEDING DATES
BIRDSFOOT TREFOIL		.18		
CROWNVEITCH		.34		
CREEPING RED FESCUE OR TALL FESCUE		.46		
- TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:

SEED	LB/1,000 SQ. FT.	SEEDING DEPTH	RECOMMENDED SEEDING DATES
WINTER RYE	2.6	1-1.5"	8/15-10/1
OATS	1.8	1-1.5"	4/1-7/1 8/15-9/15
ANNUAL RYEGRASS	0.9	.25"	4/1-7/1
SUDANGRASS	0.9	.5-1"	5/15-8/15
PERENNIAL	0.9	.25"	8/15-9/15
- FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
- LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
- MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
- WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 150 LBS/1,000 S.F.
- ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY, AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
- SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISHED THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
- EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - CONSTRUCT THE BUILDING.
 - CONSTRUCT THE ACCESS DRIVE AND PARKING.
 - INSTALL LANDSCAPING AND LOAM, SEED AND MULCH ALL DISTURBED AREAS.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75 PERCENT CATCH OF GRASS.
 - INSTALL PERMANENT EROSION CONTROL MEASURES.

PLANTING NOTES

- PLANTING OF SHRUBS SHALL NOT OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
- ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1 - NURSERY STOCK, LATEST REVISION.
- ALL PLANTS SHALL HAVE NON-BIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT WOULD LATER GIRDLE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD."
- BACKFILL MIX SHALL BE COMPOSED OF A 80/20, LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO TWICE THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF DEPTH OF PIT AT A TIME AND COMPACT. SEE NOTE 5 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT.
- ALL PLANTING SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE AGRIFORM 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: 3 TABLETS PER PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED WITH "ROOTS" OR AN APPROVED EQUAL. MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: 1.5 GAL. PER SHRUB.
- THREE SUPPORT STAKES INSTALLED SHALL BE REQUIRED FOR ALL PLANTINGS.
- ALL PLANTS SHALL BE MULCHED. MULCH SHALL BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEMLOCK BARK.
- ALL SHRUBS SHALL BE ORIENTED FOR BEST APPEARANCE.
- PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON. ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. LOAM SHALL BE SCREENED AND PLACED 4" IN DEPTH IN LAWN AREAS AND 12" IN DEPTH IN PLANTING AREAS. THE LAWN AREA SHALL BE SEED WITH LOFTS TRI-PLEX GENERAL GENERAL OR APPROVED EQUAL AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.

PLANT SPECIES LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
WP	4	PINUS STROBUS	WHITE PINE	5-6' HGT.	B&B

WAREHOUSE FACILITY
380 WARREN AVENUE
PORTLAND, MAINE

Prepared for:
DELTA REALTY CO., INC.
120 EXCHANGE STREET, SUITE 304
PORTLAND, MAINE 04101



GRADING AND LANDSCAPING PLAN

No.	Revision/Issue	Date
D	ISSUED FOR CITY REVIEW	07/25/08
C	ISSUED FOR CITY COMMENTS	06/20/08
B	ISSUED FOR CITY REVIEW	03/21/08
A	ISSUED FOR CLIENT REVIEW	01/04/08

Design by:	SJB	Checked by:	SJB
Drawn by:	JIM	Approved by:	SJB
Project:	073013	Date:	03-21-08

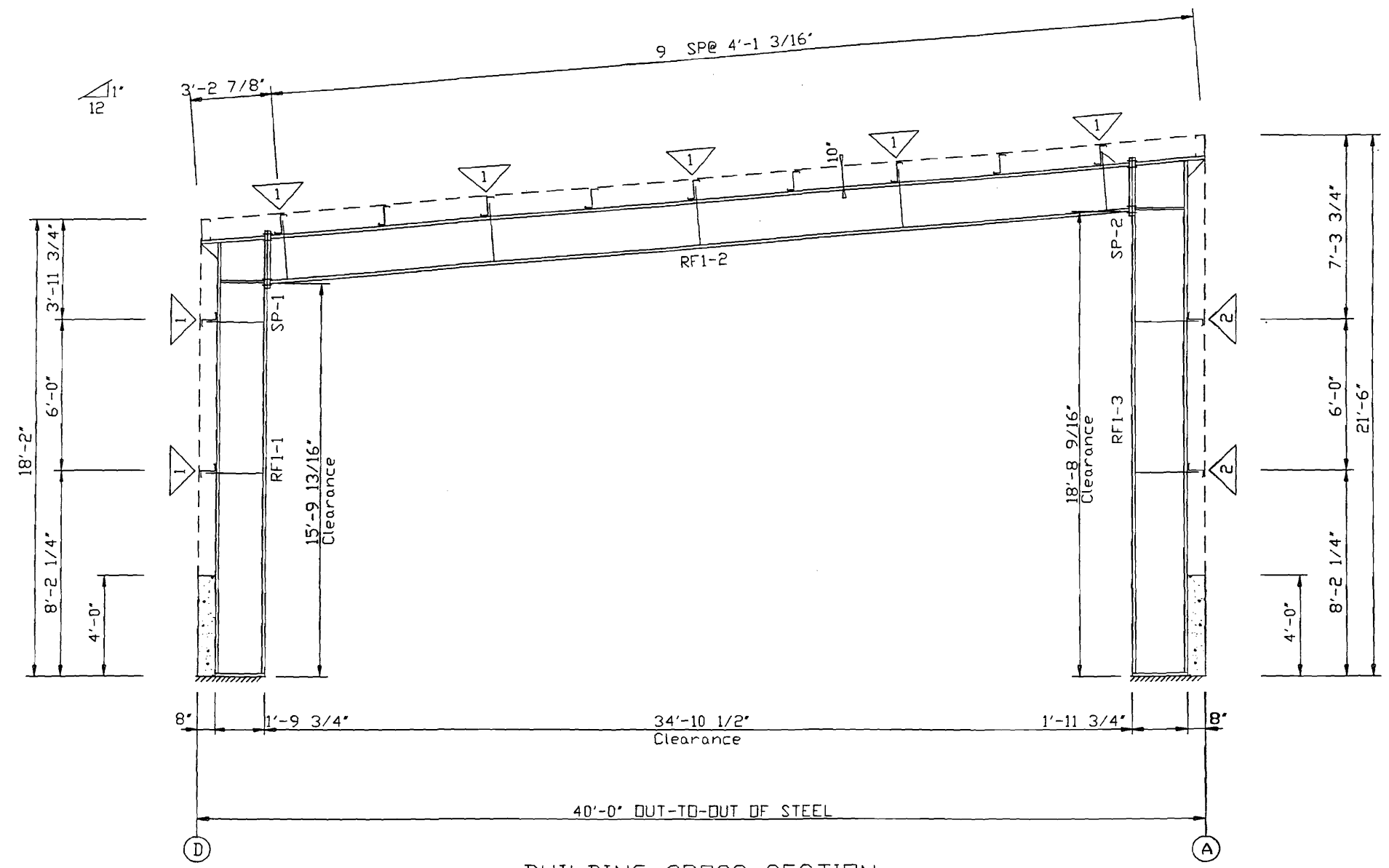
Sheet: **C-101**

SPLICE BOLTS					
Splice Mark	Quan		Bolt		
	Top	Bot/Int	Type	Dia	Len
SP-1	4	4	0	A325	0.625 2.00
SP-2	4	4	0	A325	0.750 2.25

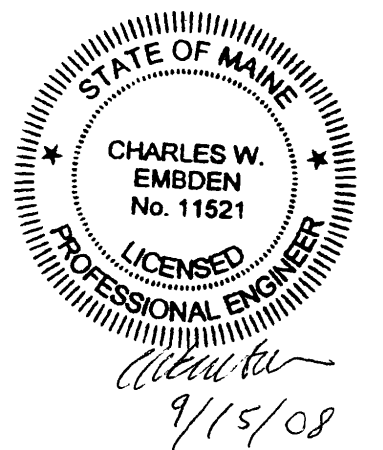
FLANGE BRACE TABLE			
▽ ID	MARK	LENGTH (in)	SIDES
1	FB6A	42.130	1
2	FB7A	43.250	1

FBxA - 2"x2"x1/8"
 FBxB - 2-1/2"x2-1/2"x3/16"

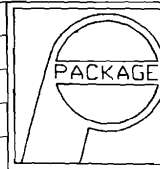
MEMBER SIZE TABLE (in)						
PIECE	WEIGHT	WEB DEPTH		WEB PLATE		OUTSIDE FLANGE W x T x LEN
		START	END	THICK	LENGTH	
RF1-1	408	21.0	21.0	0.125	186.0	5x1/4" x207.9
RF1-2	938	21.0	21.0	0.250	23.7	5x5/16" x 29.3
		20.0	20.0	0.188	180.4	5x3/8" x418.7
RF1-3	507	20.0	20.0	0.188	240.0	
		23.0	23.0	0.250	25.7	5x3/8" x 31.3
		23.0	23.0	0.125	220.9	5x1/4" x246.6



BUILDING CROSS SECTION
 FOR FRAME LINE 2 3



REV.	DESCRIPTION:	DATE:	DRAFT	ENG.
3				
2				
1				
PRELIMINARY DRAWING: NOT FOR CONSTRUCTION / FOR PERMIT ONLY		CURRENT REVISION: 0		
PACKAGE INDUSTRIES, INC.		Biskup Construction Inc.		
PROJECT	Delta Realty Addition	RIGID FRAME X-SECTION		
ID	0808-035	DESIGN: RRA	DESIGN CHECK:	
PROJECT	380 Warren Avenue	DRAFT: JRB	DRAFT CHECK:	
ADDRESS	Portland, ME 04103	DATE: 8/28/08	SCALE: NONE	SHEET: FRXS-1

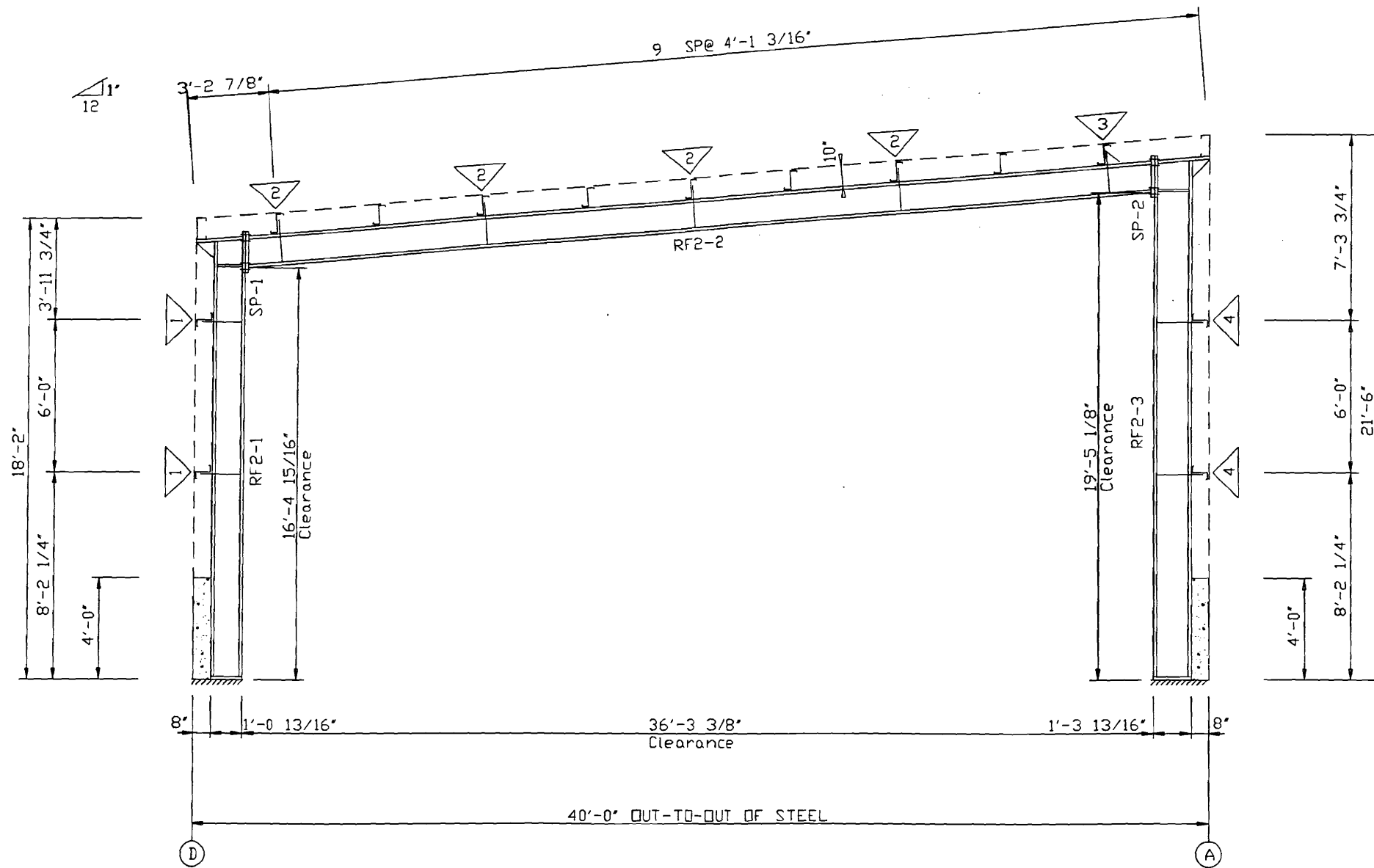


SPlice BOLTS						
Splice Mark	Quan	Top/Bot/Int	Type	Dia	Len	Bolt
SP-1	4	4	0	A325	0.750	2.00
SP-2	4	4	0	A325	0.750	2.25

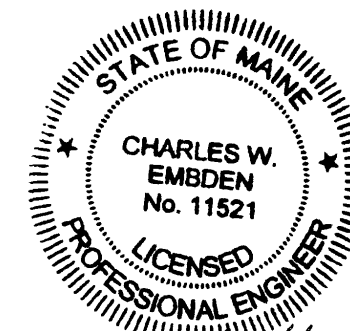
FLANGE BRACE TABLE			
▽ ID	MARK	LENGTH (in)	SIDES
1	FB2A	27.130	1
2	FB4A	27.750	1
3	FB3A	27.630	1
4	FB5A	28.750	1

FBxA - 2"x2"x1/8"
 FBxB - 2-1/2"x2-1/2"x3/16'

MEMBER SIZE TABLE (in)						
PIECE	WEIGHT	WEB DEPTH		WEB PLATE		INSIDE FLANGE W x T x LEN
		START/END	THICK	LENGTH	OUTSIDE FLANGE W x T x LEN	
RF2-1	337	12.0/12.0	0.125	193.2	5x5/16"x207.9	5x1/4" x114.0
RF2-2	740	12.0/12.0	0.250	15.7	5x3/8" x 20.4	5x1/2" x 79.2
		12.0/12.0	0.125	240.0	5x3/8" x435.6	5x3/8" x435.6
		12.0/12.0	0.188	104.3		
RF2-3	438	15.0/15.0	0.250	17.0	5x1/2" x 23.4	5x1/2" x115.5
		15.0/15.0	0.125	229.5	5x5/16"x246.5	5x1/4" x114.0

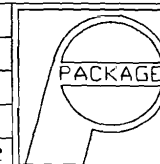


BUILDING CROSS SECTION
 FOR FRAME LINE 4



Charles W. Emden
 9/15/08

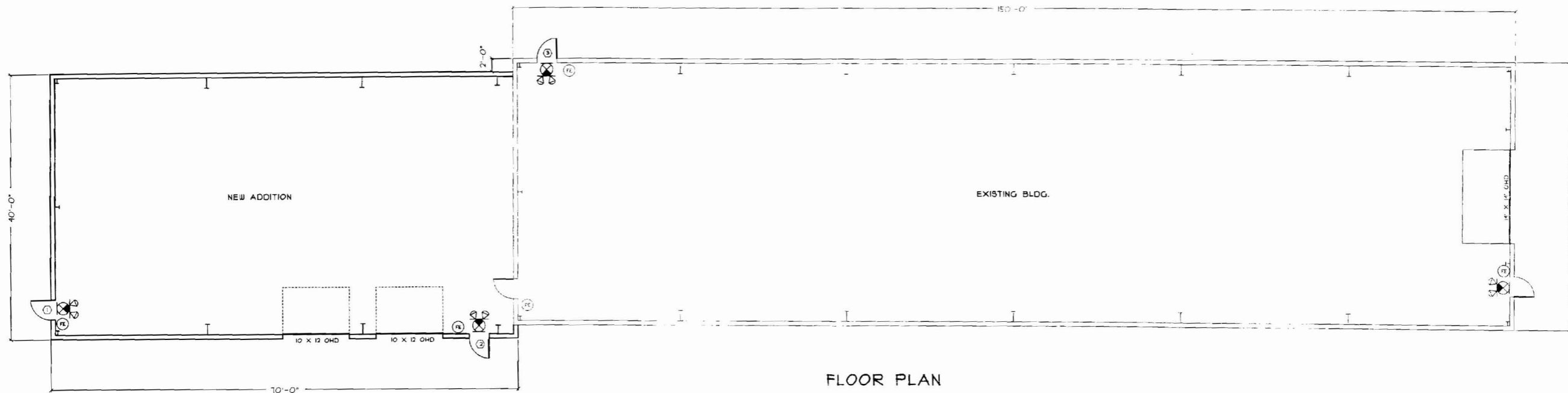
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3				
2				
1				
PRELIMINARY DRAWING: NOT FOR CONSTRUCTION / FOR PERMIT ONLY				CURRENT REVISION: 0
PACKAGE INDUSTRIES, INC.		Biskup Construction Inc.		
PROJECT	Delta Realty Addition	RIGID FRAME X-SECTION		
ID	0808-035	DESIGN: RRA	DESIGN CHECK:	
PROJECT	380 Warren Avenue	DRAFT: JRB	DRAFT CHECK:	
ADDRESS	Portland, ME 04103	DATE: 8/28/08	SCALE: NONE	SHEET: FRXS-2



IBC 2003: CODE DATA	
OCCUPANT LOAD - TABLE 1004.1.2	8
USE GROUP CLASSIFICATION - SECTION 301	B-1
TYPE OF CONSTRUCTION - TABLE 603	V-B
ACTUAL BUILDING AREA	8800 S.F.
BUILDING AREA LIMITATION - TABLE 503	3,000 S.F.
STREET FRONTAGE INCREASE - 504.2	NA
AUTOMATIC SPRINKLER SYS INCREASE - 504.3	NONE
ALLOWABLE BUILDING AREA	3,000 S.F.
BUILDING HEIGHT	2'-4"
FIRE SUPPRESSION:	NA
FIRE WALLS & PARTY WALLS	NA
STAIR ENCLOSURES	NA
SHAFTS	NA
EXIT ACCESS CORRIDORS	NA
INTERIOR LOAD BEARING WALLS	NA
STRUCTURAL MEMBER SUPPORTING WALLS	NA
FLOOR CONSTRUCTION	NA
ROOF CONSTRUCTION	NA
INCIDENTAL SPACES	NA
ACCESSORY USE	NA
FIRE EXTINGUISHERS	SEE FLOOR PLAN
GENERAL NOTES	

NFPA 101: CODE DATA - 2006 EDITION	
OCCUPANT LOAD - TABLE 13.1.2	NA
USE GROUP CLASSIFICATION	STORAGE
TYPE OF CONSTRUCTION	V (1000)
ACTUAL BUILDING AREA	8800 S.F.
BUILDING HEIGHT	2'-4"
FIRE SUPPRESSION:	NONE
FIRE WALLS & PARTY WALLS	NA
STAIR ENCLOSURES	NA
SHAFTS	NA
EXIT ACCESS CORRIDORS	NA
INTERIOR LOAD BEARING WALLS	NA
STRUCTURAL MEMBER SUPPORTING WALLS	NA
FLOOR CONSTRUCTION	NA
ROOF CONSTRUCTION	NA
INCIDENTAL SPACES	NA
ACCESSORY USE	NA
FIRE EXTINGUISHERS	SEE FLOOR PLAN
GENERAL NOTES	

IECC - 2003 CLIMATE ZONE 15	
WINDOW TO WALL RATIO (WWR)	5.40 %
SLAB OR BELOW GRADE WALL REQUIRED "R" VALUE	0
SLAB OR BELOW GRADE WALL ACTUAL "R" VALUE	0
ROOF ASSEMBLIES REQUIRED "R" VALUE	20
ROOF ASSEMBLIES ACTUAL "R" VALUE	20
FLOORS OVER UNCOND. SPACE REQUIRED "R" VALUE	NA
FLOORS OVER UNCOND. SPACE ACTUAL "R" VALUE	NA
ABOVE GRADE WALLS REQUIRED "R" VALUE	13
ABOVE GRADE WALLS ACTUAL "R" VALUE	13
CMU OR MASONRY WALLS REQUIRED "R" VALUE	5
CMU OR MASONRY WALLS ACTUAL "R" VALUE	5
WINDOWS & GLASS DOORS REQUIRED SHGC	ANY
WINDOWS & GLASS DOORS ACTUAL SHGC	ANY
PASS DOORS ACTUAL "U" VALUE	0
OVERHEAD DOORS ACTUAL "U" VALUE	0.04
WINDOW ACTUAL "U" VALUE	NA



FLOOR PLAN

DOOR SCHEDULE

TAG	DOOR SLAB	SIZE	THICKNESS	SMING	FIRE LABEL	FRAME	WALL THICKNESS	REMARKS
1	HM	30'10"	1 3/4"	RH		HM	4 1/8"	24 X 30 INS. GLASS
2	HM	30'10"	1 3/4"	LH		HM	4 1/8"	24 X 30 INS. GLASS
3	HM	30'10"	1 3/4"	RH		HM	4 1/8"	

HARDWARE SCHEDULE

SET #	HINGES, CLOSER, LOCKSET, WEATHERSTRIP, THRESHOLD

NOTE: ALL LOCKS TO BE MASTER KEYED

- EXIT SIGN
- EMERGENCY LIGHT PACK
- FIRE EXTINGUISHER

GENERAL NOTES

THIS BUILDING SHALL NOT HAVE A SPRINKLER OR ALARM SYSTEM
 THIS BUILDING SHALL BE USED FOR WAREHOUSING
 THE BUILDING IS A PRE-ENGINEERED METAL BUILDING BY PACKAGE INDUSTRIES OF BUTTON, MA. BUILDING MANUFACTURER TO PROVIDE STRUCTURAL DESIGN, BUILDING ENVELOPE DETAILS, AND LETTER OF CERTIFICATION.
 FOUNDATION DESIGN TO BE BY ASSOCIATED DESIGN PARTNERS
 ALL DOORS SHALL BE 3'-0" WIDE AND HAVE HANDICAPPED LEVER TYPE HARDWARE
 5 LB ABC FIRE EXTINGUISHERS SHALL BE MOUNTED AT EVERY EXIT

REVISIONS	DATE
1 PERMITTING	08/15/04

B C Q
 BISKUP CONSTRUCTION, INC.
 16 DANIELLE DRIVE
 WINDHAM, MAINE 04062
 TEL: (207) 892-9800
 FAX: (207) 892-9895
 WWW.BISKUPCONSTRUCTION.COM

STATE OF MAINE
 JAMES M. STREETER
 NO. 11162
 LICENSED PROFESSIONAL ENGINEER

J. M. STREETER
 ARCHITECTURAL
 ENGINEER
 66 GARDEN DRIVE
 PORTLAND, MAINE 04103 (207) 797-5000

FLOOR PLAN,
 NOTES, LEGEND,
 CODE TABLES
 & SCHEDULE

CHANGE NUMBER
 083002

JOB TITLE
 DE SA REALTY ADDITION
 580 WARREN AVE
 PORTLAND, MAINE

BUILDING/FLOOR
 1/10

DRAWING FILE NAME
 DWG

SCALE
 1/8" = 1'-0"

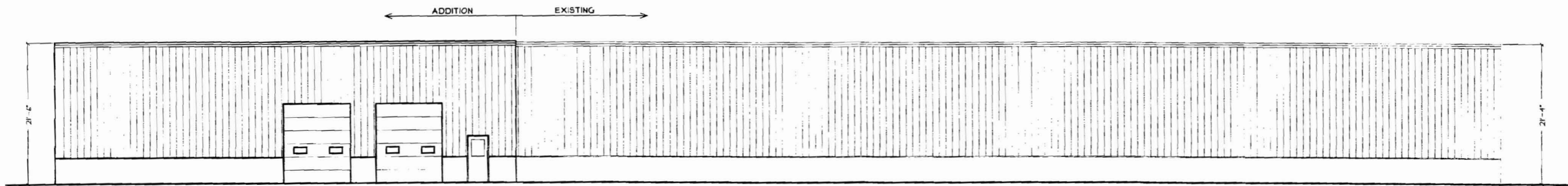
DESIGNER
 J.S.

CHECK
 J.S.

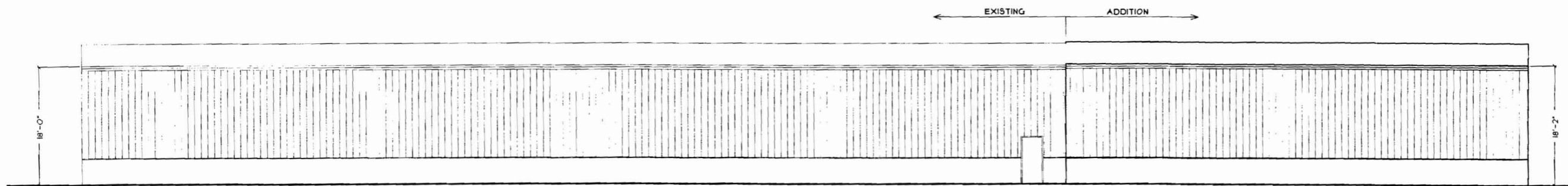
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A-1

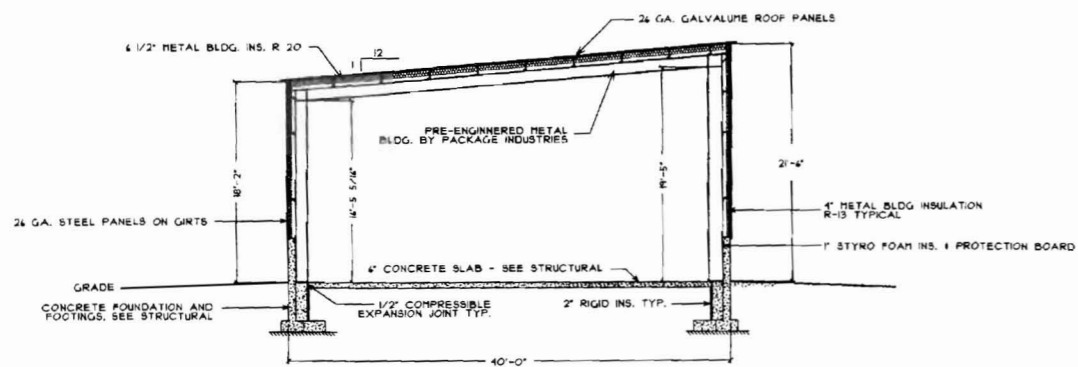
Sheet 1 of 2



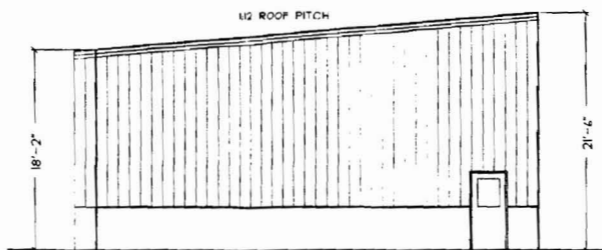
NORTH ELEVATION



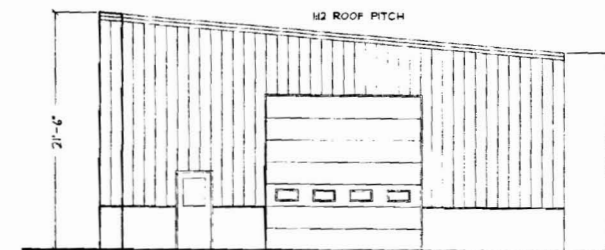
SOUTH ELEVATION



BUILDING SECTION



EAST ELEVATION



WEST ELEVATION

REVISIONS	DATE
1 PERMITTING	06/19/08

B&C
 BISKUP CONSTRUCTION, INC.
 16 DANIELLE DRIVE
 WINDHAM, MAINE 04062
 TEL: (207) 892-9800
 FAX: (207) 892-9895
 WWW.BISKUPCONSTRUCTION.COM

STATE OF MAINE
 JAMES M. STREETER
 NOV 11 1982
 8151 08
 PROFESSIONAL ENGINEER

J. M. STREETER
 ARCHITECTURAL
 ENGINEER
 66 GUNDS DRIVE
 PORTLAND, MAINE 04102 (207) 791-5095

ELEVATIONS
 & SECTION

DRAWING TITLE
 SHEET NUMBER
 08P0002

PROJECT TITLE
 DELTA REALTY ADDITION
 350 WARREN AVE
 PORTLAND, MAINE

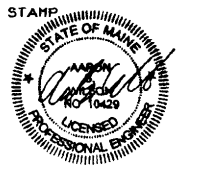
BUILDING/FLOOR
 9. / 01
 DRAWING FILE NAME
 DWG
 SCALE
 1/8" = 1'-0"
 DESIGNER
 CHECK
 DATE
 08/19/2008
 Drawing Number
 A-2
 Sheet 1 of 2



BISKUP CONSTRUCTION, INC.
 14 DANIELLE DRIVE
 BUDHAM, MAINE 04012
 TEL. (207) 842-1800
 FAX. (207) 842-1815

WWW.BISKUPCONSTRUCTION.COM

CONSULTANT
 ASSOCIATED DESIGN
 PARTNERS INC.



PROJECT:
 DELTA REALTY ADDITION
 380 WARREN AVENUE
 PORTLAND, MAINE

REVISIONS	
DATE	DESCRIPTION

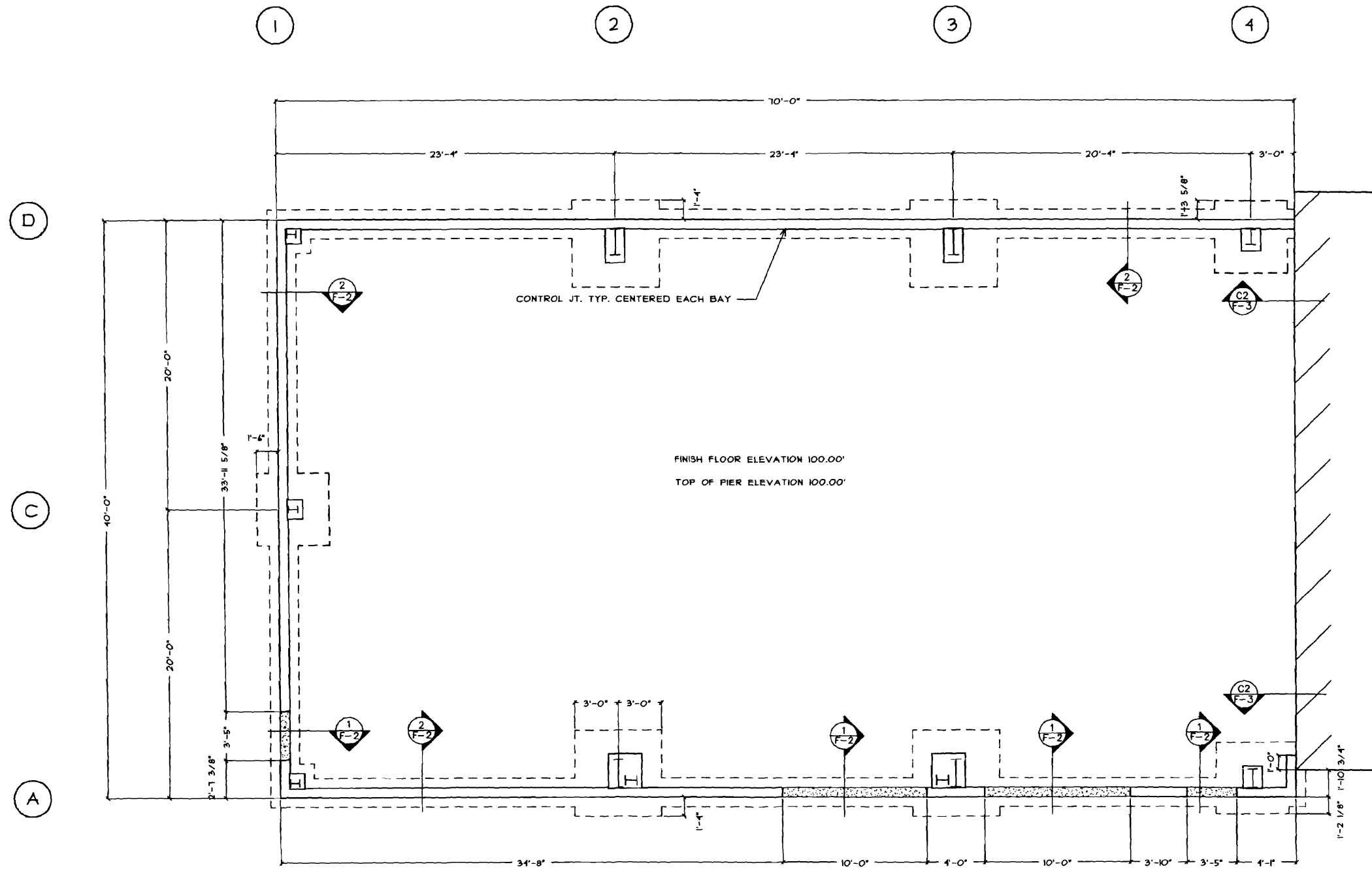
DATE: 9/15/08
 SCALE: 1/4" = 1'-0"
 DESIGNER: JB
 CHECKED BY: JB

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 BISKUP CONSTRUCTION, INC.

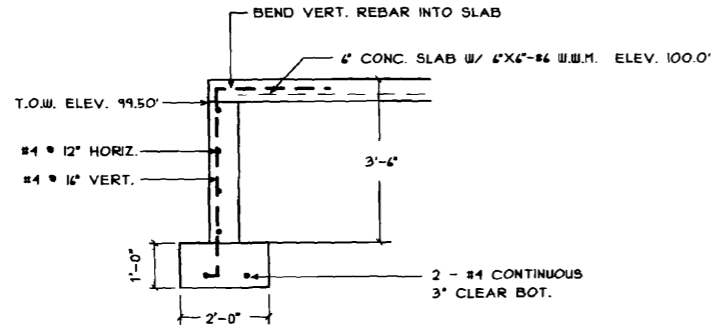
SHEET TITLE
FOUNDATION PLAN

SHEET NUMBER
F-1

SHEET 1 OF 3

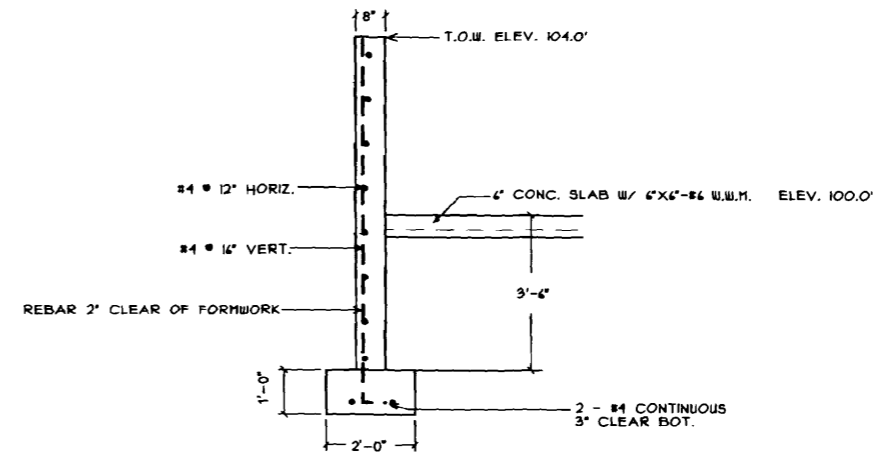


FOOTING & PIER SCHEDULE					
LOCATION	FOOTING SIZE	FOOTING REBAR	PIER SIZE	PIER REBAR	ANCHOR BOLTS
1A, 1D	3'-0" X 3'-0" X 1'-0"	4 #5 E.W. BOTT.	12" X 12"	4 #4 VERT. WITH #3 HOOPS 12" O.C.	5/8" X 1/2"
1C	5'-0" X 5'-0" X 1'-0"	6 #5 E.W. BOTT.	14" X 12"	4 #4 VERT. WITH #3 HOOPS 12" O.C.	3/4" X 1/2"
2A, 3A	4'-0" X 4'-0" X 1'-2"	1 #5 E.W. BOTT.	28" X 28"	1 #5 "U" BARS WITH #3 HOOPS 12" O.C.	3/4" X 1/2"
4A, 4D	5'-0" X 5'-0" X 1'-0"	6 #5 E.W. BOTT.	12" X 18"	4 #5 "U" BARS WITH #3 HOOPS 12" O.C.	3/4" X 1/2"
2D, 3D	4'-0" X 4'-0" X 1'-2"	1 #5 E.W. BOTT.	14" X 28"	1 #5 "U" BARS WITH #3 HOOPS 12" O.C.	3/4" X 1/2"



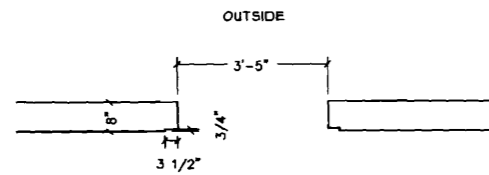
SECTION THRU DOOR OPENINGS

SCALE: 1/2"=1'-0"

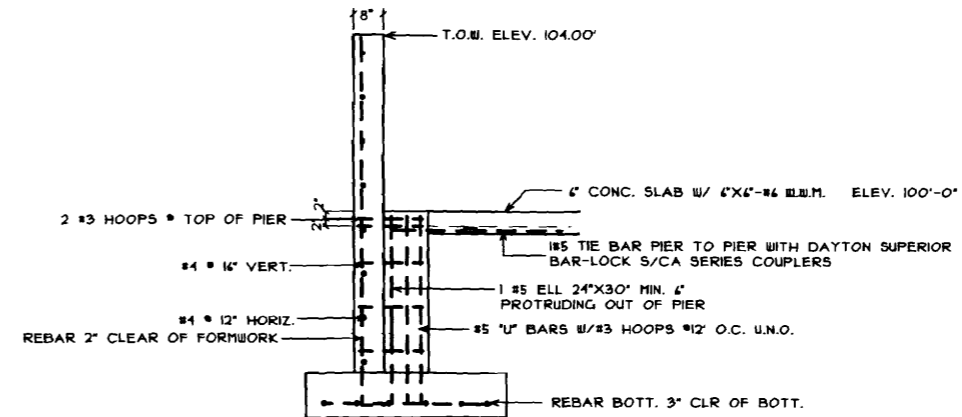


WALL SECTION

SCALE: 1/2"=1'-0"



TYPICAL PASS DOOR OPENING



SEE SCHEDULE ON F-1 FOR FTG. SIZE & REINFORCING

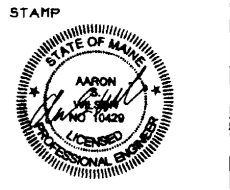
WALL SECTION @ PIERS
2A, 3A, 2D, 3D



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CONSULTANT
ASSOCIATED DESIGN
PARTNERS, INC.



PROJECT:
DELTA REALTY ADDITION
380 WARREN AVENUE
PORTLAND, MAINE

REVISIONS	
DATE	DESCRIPTION

DATE: 9/15/08
SCALE: 3/16" = 1'-0"
DESIGNER: JB
CHECKED BY: JB

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BISKUP CONSTRUCTION, INC.

SHEET TITLE
FOUNDATION
DETAILS

SHEET NUMBER
F-2

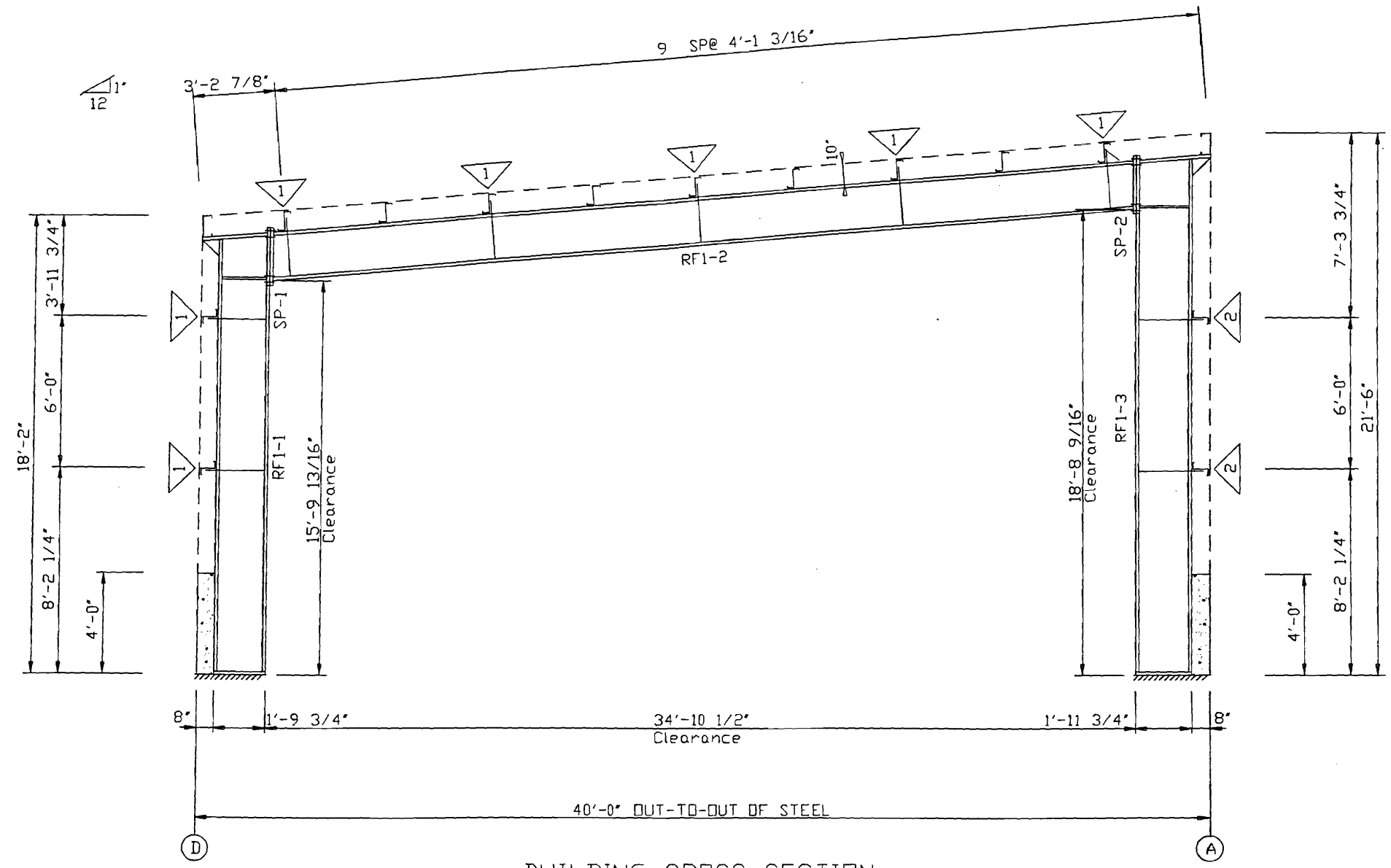
SHEET 2 OF 3

SPLICE BOLTS						
Splice Mark	Quan	Top/Bot/Int	Type	Di	Len	Bolt
SP-1	4	4	0	A325	0.625	2.00
SP-2	4	4	0	A325	0.750	2.25

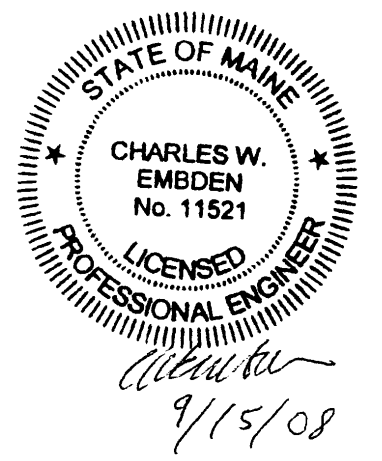
FLANGE BRACE TABLE			
▽ ID	MARK	LENGTH (in)	SIDES
1	FB6A	42.130	1
2	FB7A	43.250	1

FBxA - 2"x2"x1/8"
 FBxB - 2-1/2"x2-1/2"x3/16"

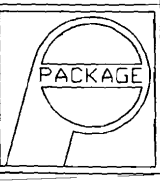
MEMBER SIZE TABLE (in)						
PIECE	WEIGHT	WEB DEPTH		WEB PLATE		OUTSIDE FLANGE W x T x LEN
		START/END	THICK	LENGTH	INSIDE FLANGE W x T x LEN	
RF1-1	408	21.0/21.0	0.125	186.0	5x1/4' x207.9	5x1/4' x114.0
RF1-2	938	21.0/21.0	0.250	23.7	5x5/16' x 29.3	5x1/2' x 72.0
RF1-3	507	20.0/20.0	0.188	180.4	5x3/8' x418.7	5x5/16' x418.7
		23.0/23.0	0.250	25.7	5x3/8' x 31.3	5x1/2' x106.9
		23.0/23.0	0.125	220.9	5x1/4' x246.6	5x1/4' x114.0



BUILDING CROSS SECTION
 FOR FRAME LINE 2 3



REV.	DESCRIPTION:	DATE:	DRAFT	ENG.
3				
2				
1				
PRELIMINARY DRAWING: NOT FOR CONSTRUCTION / FOR PERMIT ONLY				CURRENT REVISION: 0
PACKAGE INDUSTRIES, INC.		Biskup Construction Inc.		
PROJECT	Delta Realty Addition	RIGID FRAME X-SECTION		
ID	0808-035	DESIGN: RRA	DESIGN CHECK:	
PROJECT	380 Warren Avenue	DRAFT: JRB	DRAFT CHECK:	
ADDRESS	Portland, ME 04103	DATE: 8/28/08	SCALE: NONE	SHEET: FRXS-1

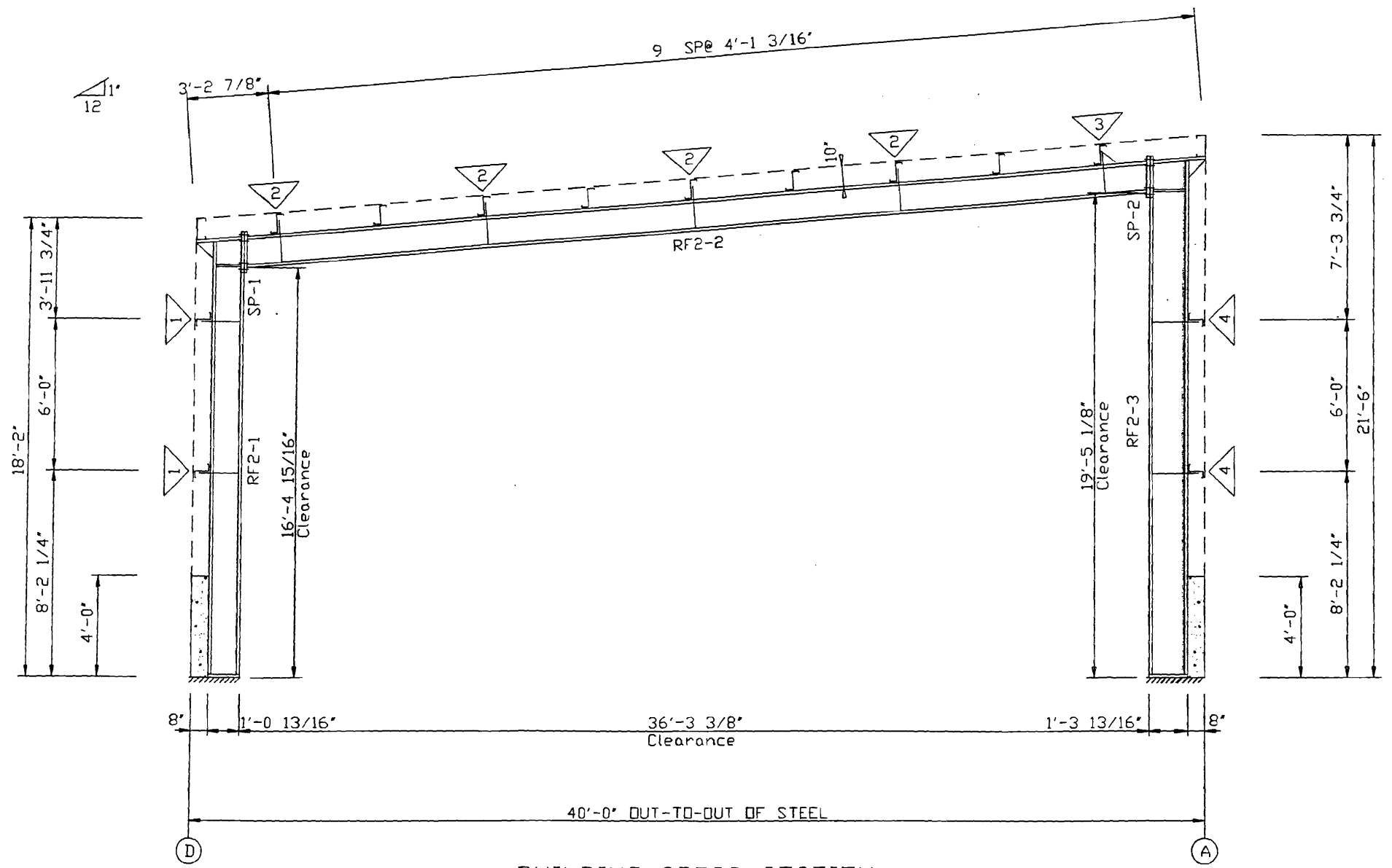


SPLICE BOLTS						
Splice Mark	Quan	Top/Bot/Int	Type	Bolt Dia	Len	
SP-1	4	4	0	A325	0.750	2.00
SP-2	4	4	0	A325	0.750	2.25

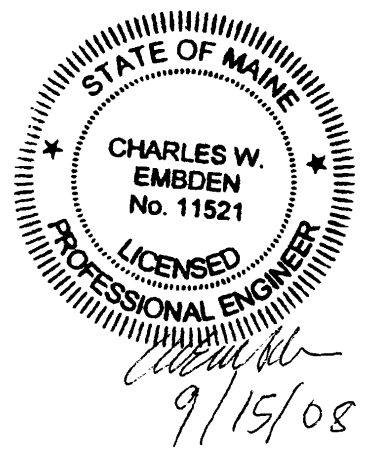
FLANGE BRACE TABLE			
▽ ID	MARK	LENGTH (in)	SIDES
1	FB2A	27.130	1
2	FB4A	27.750	1
3	FB3A	27.630	1
4	FB5A	28.750	1

FBxA - 2'x2'x1/8'
 FBxB - 2-1/2'x2-1/2'x3/16'

MEMBER SIZE TABLE (in)						
PIECE	WEIGHT	WEB DEPTH		WEB PLATE		OUTSIDE FLANGE W x T x LEN
		START/END	THICK	LENGTH		
RF2-1	337	12.0/12.0	0.125	193.2		5x5/16'x207.9
		12.0/12.0	0.250	15.7		5x3/8' x 20.4
RF2-2	740	12.0/12.0	0.125	92.3		5x3/8' x435.6
		12.0/12.0	0.125	240.0		
RF2-3	438	12.0/12.0	0.188	104.3		
		15.0/15.0	0.250	17.0		5x1/2' x 23.4
		15.0/15.0	0.125	229.5		5x5/16'x246.5



BUILDING CROSS SECTION
 FOR FRAME LINE 4



REV.	DESCRIPTION:	DATE:	DRAFT	ENG.
3				
2				
1				
PRELIMINARY DRAWING: NOT FOR CONSTRUCTION / FOR PERMIT ONLY		CURRENT REVISION: 0		
PACKAGE INDUSTRIES, INC.		Biskup Construction Inc.		
PROJECT	Delta Realty Addition	RIGID FRAME X-SECTION		
ID	0808-035	DESIGN: RRA	DESIGN CHECK:	
PROJECT	380 Warren Avenue	DRAFT: JRB	DRAFT CHECK:	
ADDRESS	Portland, ME 04103	DATE: 8/28/08	SCALE: NONE	SHEET: FRXS-2

