



To: Marge Schmuckal, Dan Goyette, Jim Carmody, Tom Errico; Mike Farmer; Jeff Tarling; Greg Cass, Penny Littell

From: Jean Fraser

Date: June 24, 2008

Additional information submitted for the following project:

Application ID #: 2008-0035

Project Name: Warehouse Addition

Project Address: 380 Warren Avenue

Comments needed by: Preliminary discussion next week (July 2);
final comments in 2 weeks (July 9)

This is a response to my letter of April 18, 2008 (copies sent electronically to you), to Dan Goyette comments of April 24, 2008 and to traffic and rights of access issues raised by Tom Errico and Jim Carmody at a site meeting on May 12, 2008.



BISKUP CONSTRUCTION, INC.

16 DANIELLE DRIVE WINDHAM, MAINE 04062

TEL. (207) 892-9800 FAX (207) 892-9895

Portland Fire Department

Project location: 380 Warren Avenue Rear

Owner: Delta Realty Co., Inc.
120 Exchange St.
Suite 204
Portland, ME 04101
828-4650

Architect: James M. Streeter PE
66 Garsoe Street
Portland, ME 04103
797-3093

2,800 S.F. addition to an existing 6,000 S.F. warehouse
IBC 2003 classification: S-1
NFPA 101 classification: Storage

Fire Protection: None

Please see architectural plans for Life Safety Plan

Please see attached Construction Permit from State Fire Marshall's Office.

Sincerely,

James I. Biskup



Certificate of Design Application

From Designer:

ARON S. WILSON / ASSOCIATED DESIGN PARTNERS INC.

Date:

9/12/08

Job Name:

DELTA REENTRY ADDITION

Address of Construction:

380 WARREN AVE

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) S-1

Type of Construction VB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) Y

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>LIGHT STORAGE</u>	<u>125 PSF</u>
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

ASCE 7-05/6.5 Design option utilized (1609.1.1, 1609.6)

94 Basic wind speed (1809.3)

1.0 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)

B Wind exposure category (1609.4)

+/- 0.18 Internal pressure coefficient (ASCE 7)

P_v = 22-e Component and cladding pressures (1609.1.1, 1609.6.2.2)

P_v = 22-e Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

1617.4 Design option utilized (1614.1)

B Seismic use group ("Category")

0.37/0.16 Spectral response coefficients, S_D s & S_{D1} (1615.1)

D Site class (1615.1.5)

- 0.2 Live load reduction
- 20 PSF Roof live loads (1603.1.2, 1607.11)
- 50.4 Roof snow loads (1603.7.3, 1608)
- 60 Ground snow load, P_g (1608.2)
- 50.4 If $P_g > 10$ psf, flat-roof snow load P_f
- 1.0 If $P_g > 10$ psf, snow exposure factor, C_e
- 1.0 If $P_g > 10$ psf, snow load importance factor, I_s
- 1.2 Roof thermal factor, C_t (1608.4)
- 50.4 Sloped roof snowload, P_s (1608.4)
- B Seismic design category (1616.3)
- OMF/OCBF Basic seismic force resisting system (1617.6.2)
- 3/5 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
- 1617.4 Analysis procedure (1616.6, 1617.5)
- V = C_sW Design base shear (1617.4, 1617.5.1)
- Flood loads (1803.1.6, 1612)**
- N.A. Flood Hazard area (1612.3)
- 60' +/- Elevation of structure
- Other loads**
- NA Concentrated loads (1607.4)
- NA Partition loads (1607.5)
- NA Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



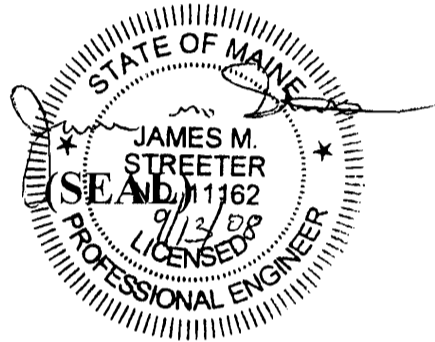
Accessibility Building Code Certificate

Designer: James M. Streeter PE

Address of Project: 380 Waren Avenue Rear

Nature of Project: 2,800 S.F. addition to an existing
6,000 S.F. warehouse

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *James M. Streeter*

Title: Professional Engineer

Firm: J.M. Streeter Architectural Engineer

Address: 66 Garsoe Street
Portland, ME 04103

Phone: 797-3093

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

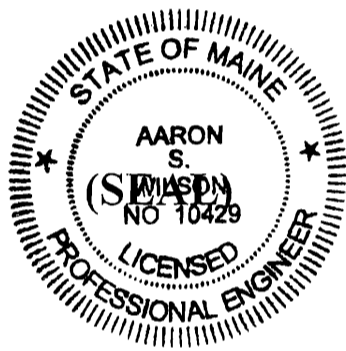
Date: 9/12/08

From: Aaron S. Wilson / ASSOCIATED DESIGN PARTNERS INC.

These plans and / or specifications covering construction work on:

DELTA RETIRED ADDITION
FOUNDATION ONLY

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: *Aaron S. Wilson*

Title: ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS INC

Address: 80 LEDGINGTON RD
FALMOUTH ME 04105

Phone: 207 878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 6/21/07

LOCATION: rear of 342 Warren Ave

PEOPLE PRESENT: Tim Albert - Steve Bradstreet

Barbara Bakhof - Marge Schmuckal

ZONE: B-4

total	142,872
Exist imperv.	95,353
proposed imp	99,520

DISCUSSION:

- 2800[#] warehouse in rear proposed
- 20' rear shown - 20' required
- 69.66% impervious being shown - 80% req - 69.66%
- 10' side req - 20' being shown
- probably can be done as a minor site plan review
- show 3 new parking spaces or show a parking analysis for the entire lot
- ASK Jim Carmody about traffic
- lighting - must be full cut offs
- Stormwater Review required? ASK Dan Goyette

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.