

DELTA REALTY 342 WARREN AVENUE PORTLAND, MAINE

INDEX OF DRAWINGS

- Title Sheet, Code Analysis
- A.1 Demolition, Foundation & Floor Plans, Demolition Elevations
- A.1a Roof Plan, Typical Wall Sections
- A.2 Exterior Elevations, Window & Door Schedules
- A.3 Roof Framing Plan, Truss Types, Typical Foundation/Slab Section, Structural Notes

OWNER

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120 Exchange Street
Portland, Maine 04101

TENANT

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ARCHITECT

Archetype, P.A.
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PROJECT SUMMARY

3600 SQUARE FOOT, SINGLE STORY, WOOD FRAMED WAREHOUSE ADDITION TO AN EXISTING 990 SQUARE FOOT, SINGLE STORY, WOOD FRAMED BUILDING - NONSPRINKLED.

TOTAL FOOTPRINT: TOTAL: 4,590 *
MERCANTILE: 990 *
STORAGE: 3,600 *

CODE ANALYSIS - NFPA 2003

CHAPTER 6 - CLASSIFICATION OF OCCUPANCIES

SECTION 6.1.10 MERCANTILE: CHAPTER 36 - NEW MERCANTILE OCCUPANCY

SECTION 6.1.13 STORAGE: CHAPTER 42 - STORAGE OCCUPANCIES

SECTION 6.1.14 MULTIPLE OCCUPANCIES.

SECTION 6.1.14.32 - MEANS OF EGRESS, CONSTRUCTION TYPE, PROTECTION AND OTHER SAFEGUARDS IN THE BUILDING SHALL COMPLY WITH THE MOST RESTRICTIVE FIRE AND LIFE SAFETY REQUIREMENTS OF THE OCCUPANCIES INVOLVED.

NEW MERCANTILE OCCUPANCY

SECTION 36.1.4 CLASSIFICATION OF OCCUPANCY.
SECTION 36.1.4.2.1 CLASS "C" MERCANTILE - MERCANTILE OCCUPANCY OF LESS THAN 3,000 * AND ONE STORY.

SECTION 36.1.5 CLASSIFICATION OF HAZARD OF CONTENTS. PER SECTION 6.2 - ORDINARY HAZARD OF CONTENTS.

SECTION 36.1.7 OCCUPANT LOAD. PER TABLE 1.3.1.2 ONE PERSON PER 30 *.
 $\frac{3600}{30} = 120$ PERSON OCCUPANT LOAD.

SECTION 36.2.4 NUMBER OF EXITS. PER 36.2.4.3 - A SINGLE MEANS OF EGRESS SHALL BE PERMITTED IN A CLASS "C" MERCANTILE OCCUPANCY, PROVIDED THAT THE TRAVEL DISTANCE TO THE EXIT OR TO THE MALL DOES NOT EXCEED 75'.

SECTION 36.2.5.3 COMMON PATH OF TRAVEL. 75'.

SECTION 36.2.8 ILLUMINATION OF MEANS OF EGRESS - REQUIRED.

SECTION 36.2.9 EMERGENCY LIGHTING - NOT REQUIRED IN CLASS "C" MERCANTILE.

SECTION 36.3.4 DETECTION, ALARM AND COMMUNICATIONS. FIRE ALARM SYSTEM NOT REQUIRED IN CLASS "C" MERCANTILE.

SECTION 36.3.5 EXTINGUISHMENT REQUIREMENTS. AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED.

STORAGE OCCUPANCY

SECTION 42.1.5 CLASSIFICATION OF HAZARD OF CONTENTS. PER SECTION 6.2 - ORDINARY HAZARD OF CONTENTS.

SECTION 42.2.4 NUMBER OF EXITS. PER 7.4 - TWO REQUIRED.

SECTION 42.2.6 COMMON PATH OF TRAVEL. 50'.

SECTION 42.2.8 ILLUMINATION OF MEANS OF EGRESS - REQUIRED.

SECTION 42.2.9 EMERGENCY LIGHTING - REQUIRED.

SECTION 42.3.4 DETECTION, ALARM AND COMMUNICATIONS. FIRE ALARM SYSTEM. NOT REQUIRED PER 42.3.4.1.2.

SECTION 36.3.5 EXTINGUISHMENT REQUIREMENTS. AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED.

CODE ANALYSIS - BOCA 1999

CHAPTER 3: USE OR OCCUPANCY

BOCA 309 - MERCANTILE.

BOCA 311.2 - STORAGE, MODERATE HAZARD STORAGE. USE GROUP S-1.

BOCA 313 - MIXED USE GROUPS. NONSEPARATED USE GROUPS PER 313.11.

CHAPTER 5: GENERAL BUILDING LIMITATIONS

BOCA TABLE 503 - HEIGHT AND AREA LIMITATIONS OF BUILDINGS.

USE GROUP M - CONSTRUCTION TYPE 5B, COMBUSTIBLE, UNPROTECTED. 1 STORIES, 20', 4,800 SQUARE FEET.

STREET FRONTAGE INCREASE:
TOTAL BUILDING PERIMETER = 320'
STREET FRONTAGE = 200'
 $\frac{200}{320} = 62.5\% - 25\% = 37.5\% \times 2 = 75\%$ STREET FRONTAGE INCREASE. ALLOWABLE BUILDING AREA = 3,600 *.

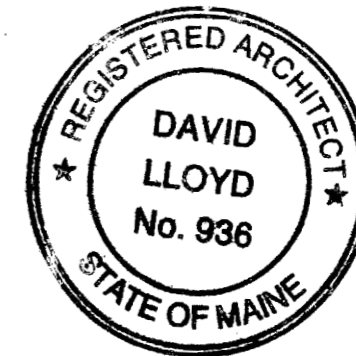
1. EXTERIOR WALLS:
LOADBEARING 0 HOUR
NONLOADBEARING 0 HOUR.
2. FIRE WALLS AND PARTY WALLS: N/A.
3. FIRE SEPARATION ASSEMBLIES:
EXITS - N/A
SHAFTS (4 STORIES) - N/A
MIXED USE (BOCA 313) - NONSEPARATED PER 313.11
4. FIRE PARTITIONS:
CORRIDORS - N/A
TENANT SPACES - N/A
5. DWELLING UNIT - N/A
6. SMOKE BARRIERS - N/A
7. OTHER NONLOADBEARING PARTITIONS - 0 HOUR
8. INTERIOR LOADBEARING WALL PARTITIONS, COLUMNS, GIRDERS, TRUSSES AND FRAMING.
SUPPORTING MORE THAN ONE FLOOR - 0 HOUR
SUPPORTING ONE FLOOR OR ROOF ONLY - 0 HOUR
9. STRUCTURAL MEMBERS SUPPORTING WALL - 0 HOUR
10. FLOOR CONSTRUCTION INCLUDING BEAMS - N/A
11. ROOF CONSTRUCTION - 0 HOUR

USE GROUP S1 - CONSTRUCTION TYPE 5B, COMBUSTIBLE, UNPROTECTED. 1 STORY, 30', 4,200 SQUARE FEET.

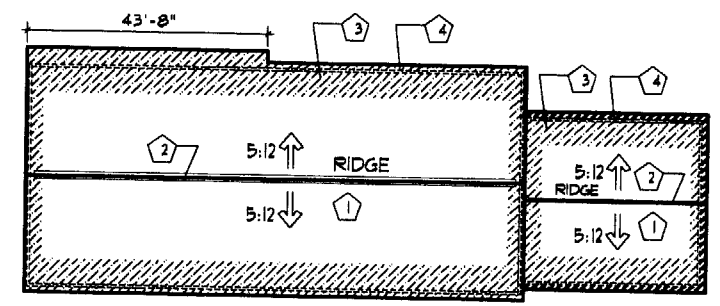
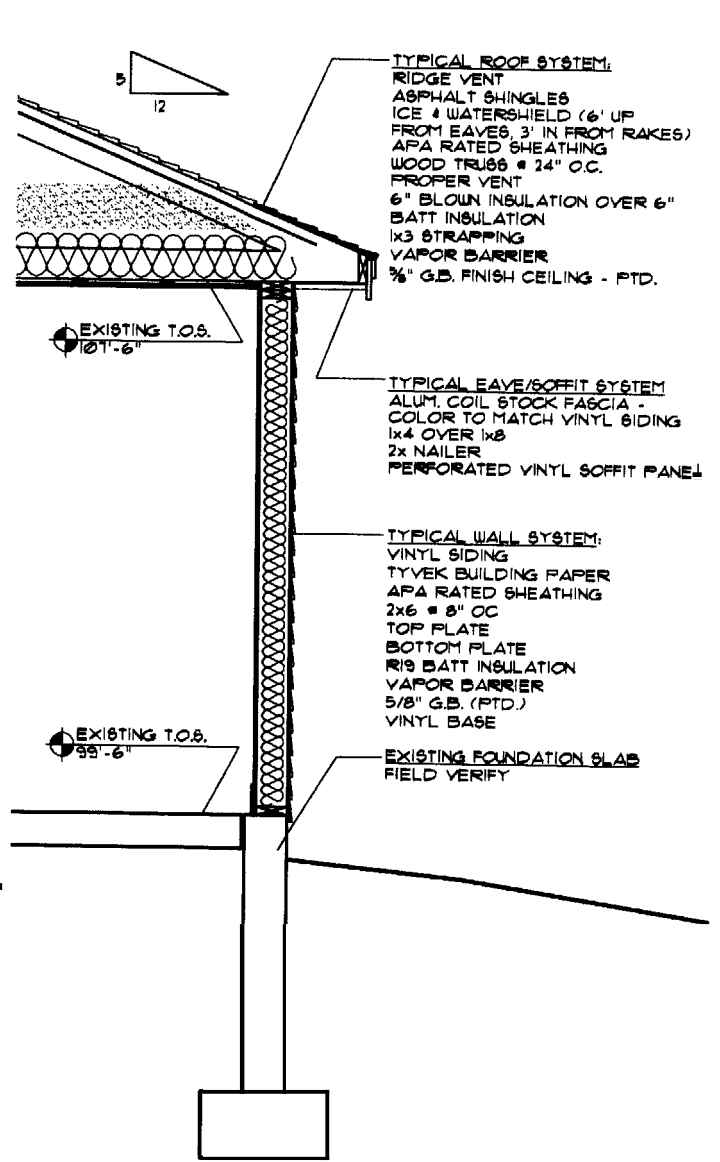
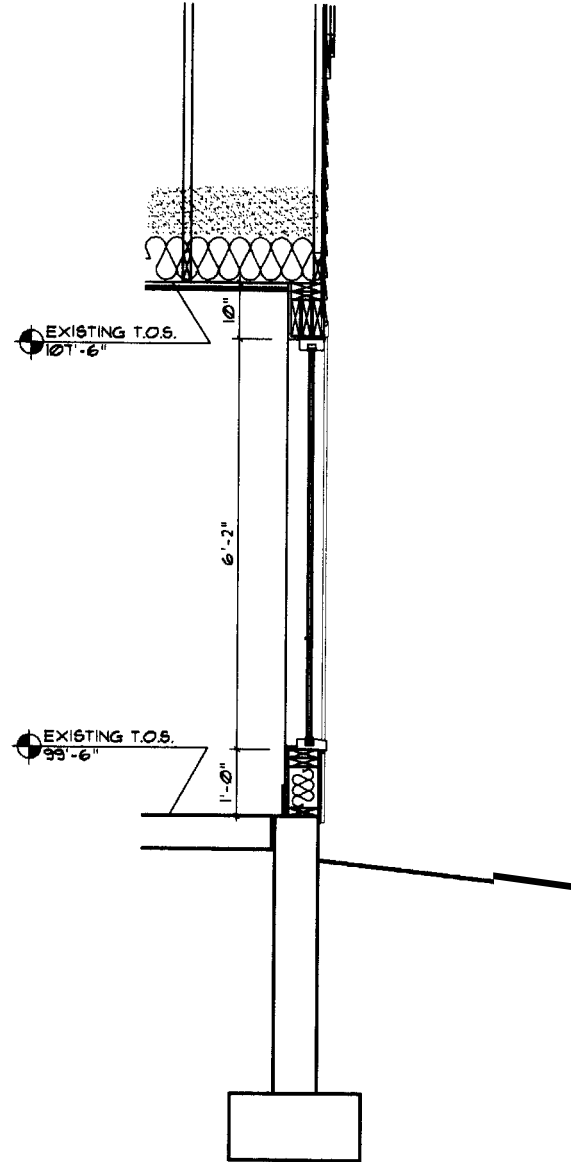
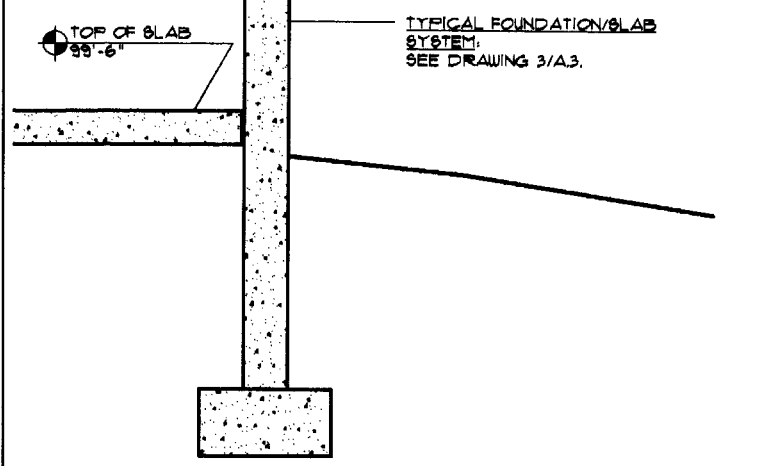
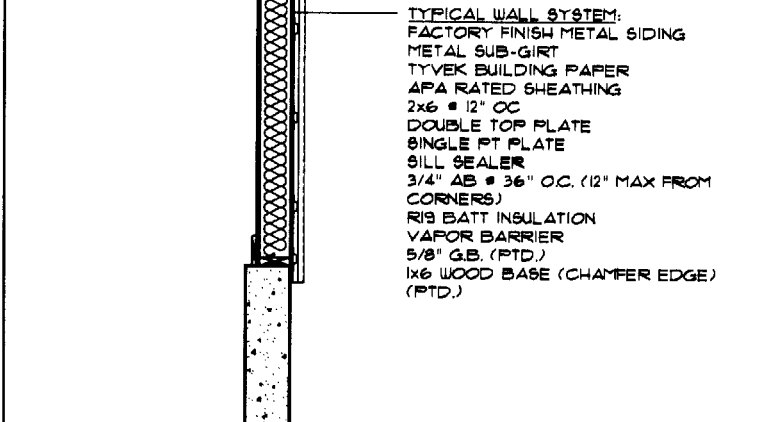
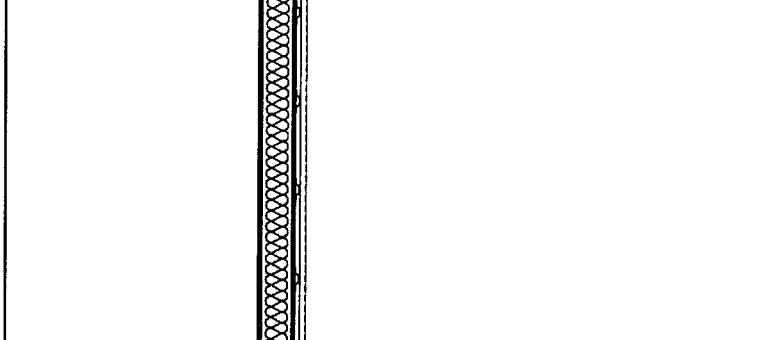
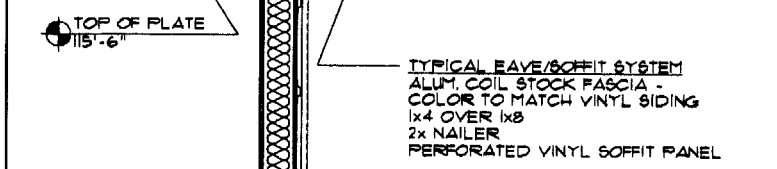
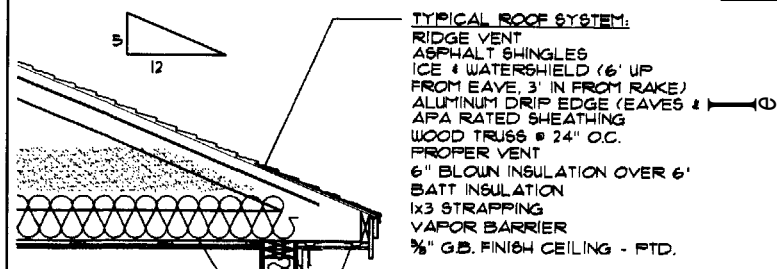
STREET FRONTAGE INCREASE:
TOTAL BUILDING PERIMETER = 320'
STREET FRONTAGE = 200'
 $\frac{200}{320} = 62.5\% - 25\% = 37.5\% \times 2 = 75\%$ STREET FRONTAGE INCREASE. ALLOWABLE BUILDING AREA = 3,600 *.

1. EXTERIOR WALLS: 0
2. FIRE WALLS AND PARTY WALLS: N/A.
3. FIRE SEPARATION ASSEMBLIES:
EXITS - N/A
SHAFTS - N/A
MIXED USE (BOCA 313) - NONSEPARATED PER 313.11
4. FIRE PARTITIONS:
CORRIDORS - N/A
TENANT SPACES - N/A
5. DWELLING UNIT - N/A
6. SMOKE BARRIERS - N/A
7. OTHER NONLOADBEARING PARTITIONS - N/A
8. INTERIOR LOADBEARING WALL, PARTITIONS, COLUMNS, GIRDERS, TRUSSES AND FRAMING.
SUPPORTING MORE THAN ONE FLOOR - 0 HOUR
SUPPORTING ONE FLOOR OR ROOF ONLY - 0 HOUR
9. STRUCTURAL MEMBERS SUPPORTING WALL - 0 HOUR
10. FLOOR CONSTRUCTION INCLUDING BEAMS - N/A
11. ROOF CONSTRUCTION - 0 HOUR

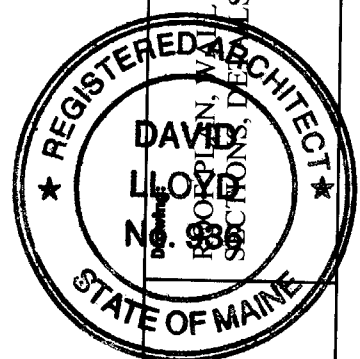
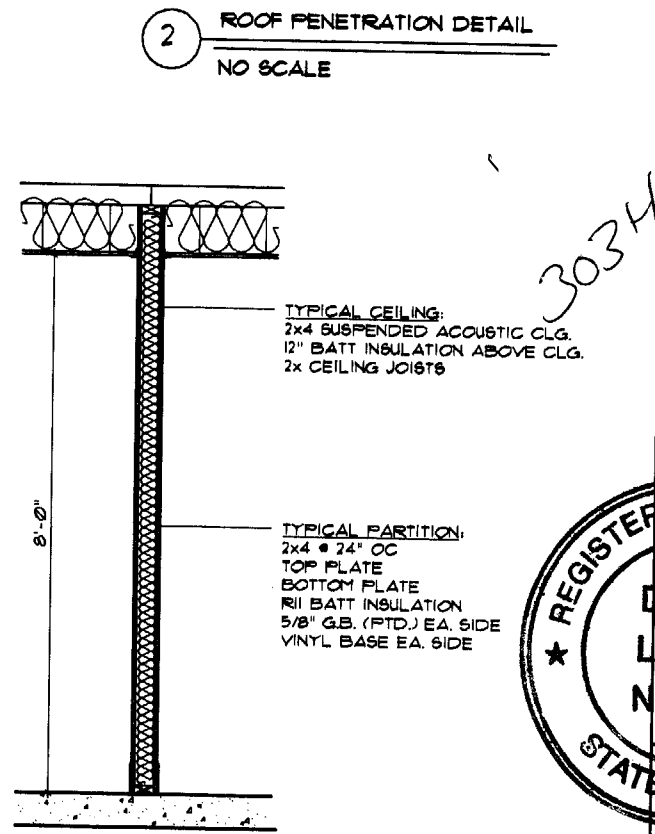
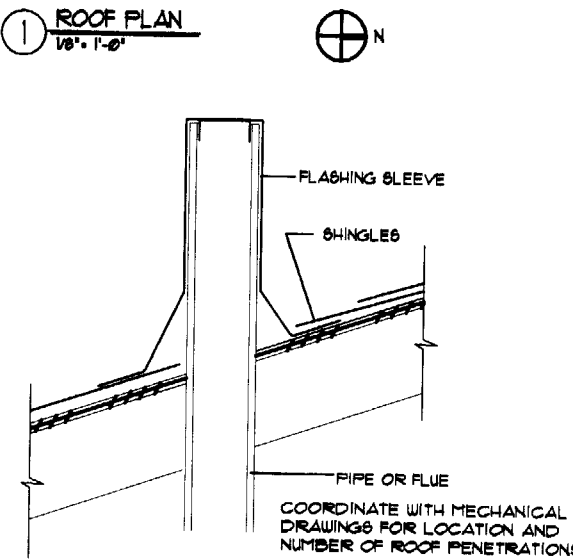
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Issue Date: 08/18/04



- KEYED NOTES**
- 1 ASPHALT SHINGLE ROOFING.
 - 2 RIDGE VENT.
 - 3 ICE & WATER SHIELD SHOWN HATCHED - 6'-0" UP FROM EAVES, 3'-0" UP FROM RAKES (TYP.).
 - 4 WALLS BELOW SHOWN DASHED.



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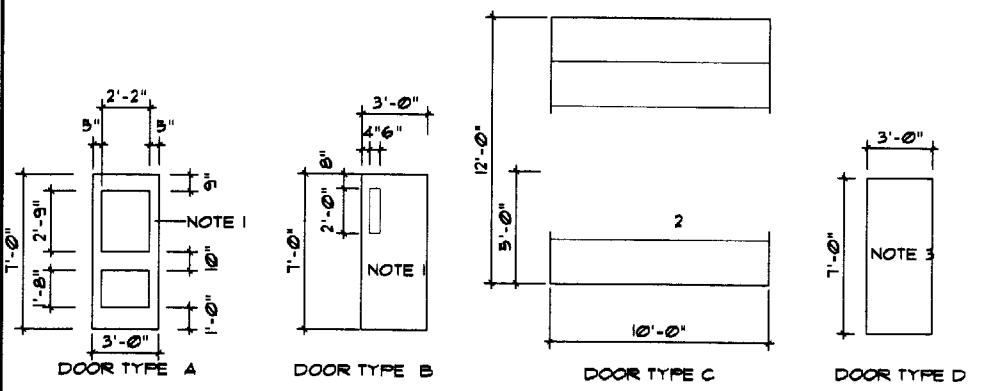
Project: DELTA REALTY
 342 WARREN AVENUE
 PORTLAND, MAINE

Scale: As Noted
 Date: 8/18/04

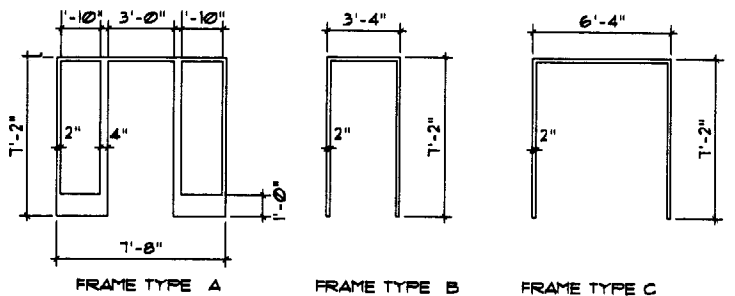
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A.1a

DOOR/FRAME TYPES

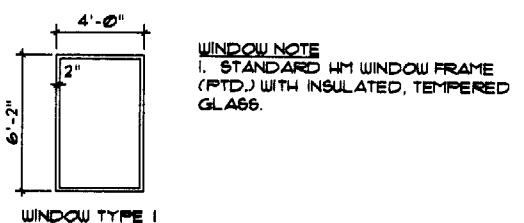


DOOR NOTES
 1. STANDARD HM DOOR (PTD.) WITH TEMPERED GLASS.
 2. INSULATED, MOTORIZED SECTIONAL OVERHEAD DOOR. TRACKS LIFT TYPE - STANDARD. FACTORY FINISH WITH UNBREAKABLE VISION PANELS.
 3. STANDARD HM DOOR (PTD.).



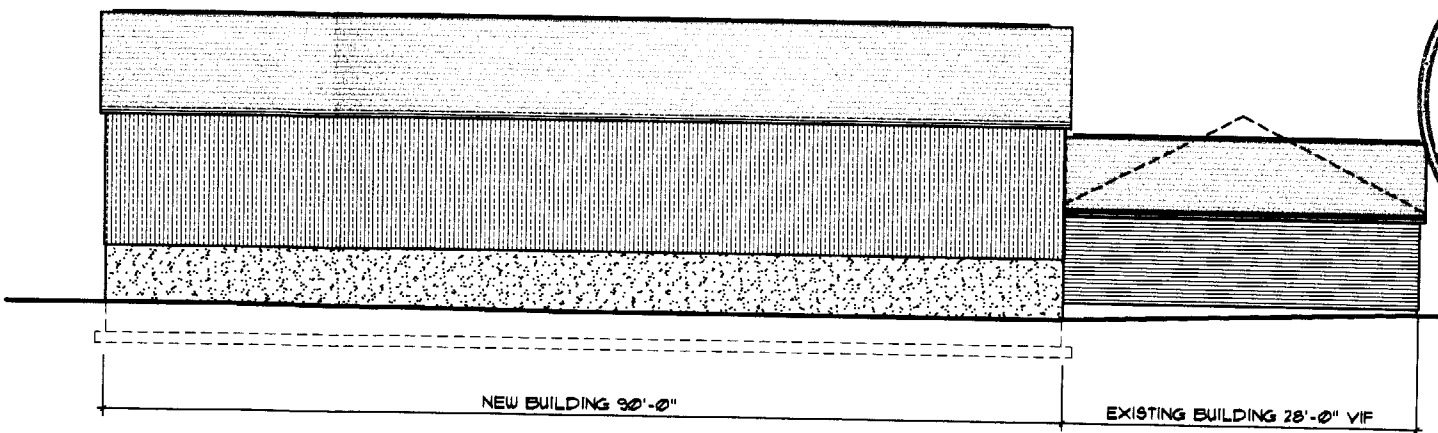
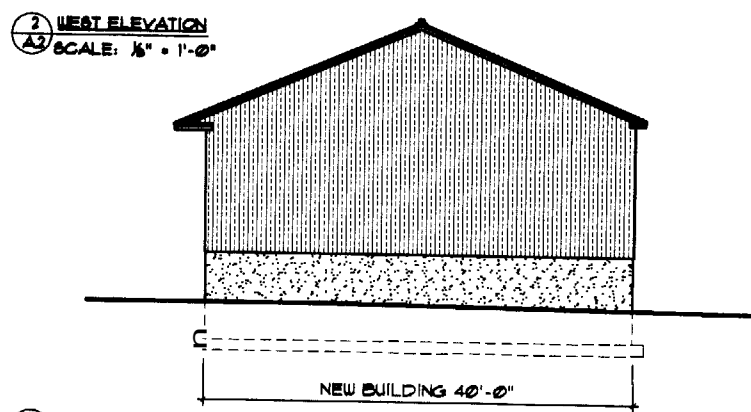
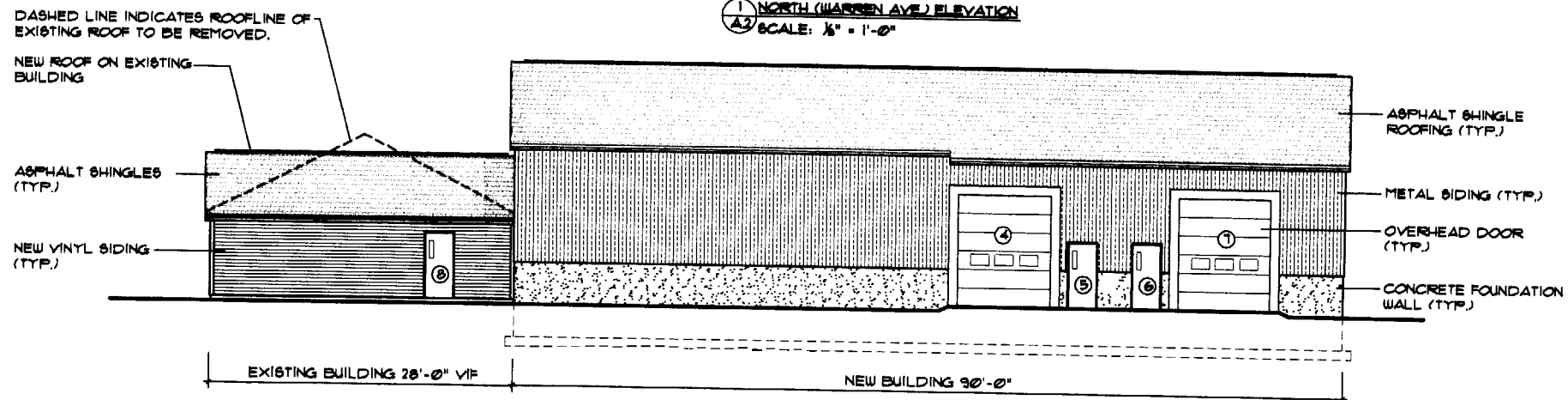
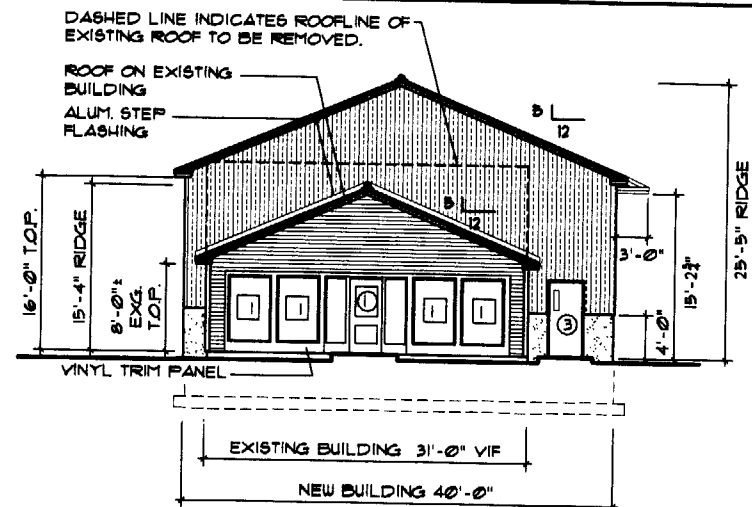
FRAME NOTE
 1. STANDARD HM DOOR FRAME (PTD.).

WINDOW TYPES



WINDOW NOTE
 1. STANDARD HM WINDOW FRAME (PTD.) WITH INSULATED, TEMPERED GLASS.

DOOR/FRAME SCHEDULE



Owner:

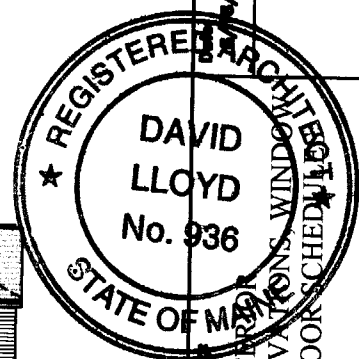
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Seals:
 As Noted



Drawn:
 EXTENSIONS, WINDOWS
 ELEVATIONS, WINDOWS
 & DOOR SCHEDULE

A.2

303 H/1

FOUNDATION NOTES:

- NOT USED.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- EXTERIOR FOOTINGS SHALL BE FOUNDED A MINIMUM OF 4'-6" BELOW FINISHED GRADE OR AS DETERMINED BY THE LOCAL AUTHORITY.
- SLAB-ON-GRADE SHALL BEAR ON A MINIMUM OF 12" OF COMPACTED STRUCTURAL FILL. IF LOOSE OR UNDESIRABLE FILLS ARE ENCOUNTERED AT THE SLAB SUBGRADE LEVEL, THEY SHALL BE EXCAVATED TO THE SURFACE OF NATURAL SOIL AND REPLACED WITH STRUCTURAL FILL.
- STRUCTURAL FILL SHALL BE USED AT ALL LOCATIONS BELOW FOOTINGS AND SLABS AND ADJACENT TO THE FOUNDATION WALLS. REMOVE ALL TOPSOIL AND OTHER UNSUITABLE MATERIAL PRIOR TO PLACING STRUCTURAL FILL. COMPACTED STRUCTURAL FILL SHALL CONSIST OF CLEAN GRANULAR MATERIAL FREE OF ORGANICS, LOAM, TRASH, SNOW, ICE, FROZEN SOIL OR ANY OTHER OBJECTIONABLE MATERIAL. STRUCTURAL FILL SHALL BE GRADED WITHIN THE FOLLOWING LIMITS:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
NO. 4	30-90
NO. 40	10-50
NO. 200	0-8

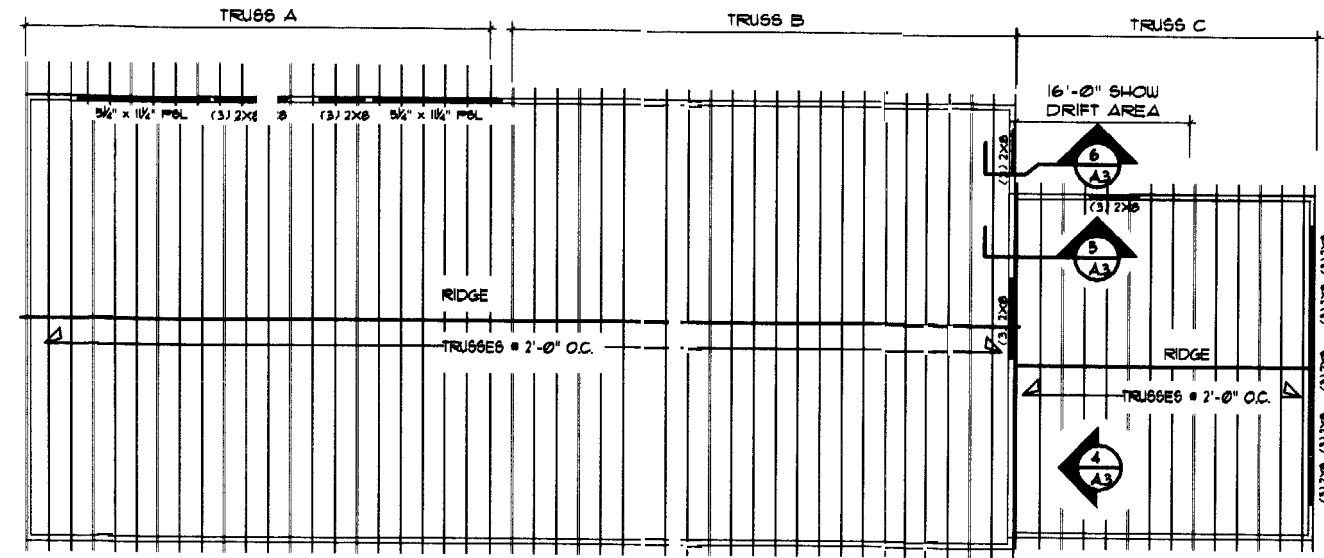
- COMPACTED STRUCTURAL FILL SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" AND COMPACTED BY SELF PROPELLED COMPACTION EQUIPMENT AT OPTIMUM MOISTURE CONTENT TO A DRY DENSITY OF 95% OF THE MAXIMUM IN PLACE DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).
- UNDERDRAINS SHALL BE PLACED AS SHOWN ON THE SITE DRAWINGS. UNDERDRAINS SHALL BE INSTALLED TO POSITIVELY DRAIN TO DAYLIGHT. REFER TO THE SITE DRAWINGS FOR ADDITIONAL INFORMATION.
- OPEN EXCAVATIONS SHALL BE ADEQUATELY BRACED OR PROPERLY BENCHED.
- BACKFILL BOTH SIDES OF FOUNDATION WALLS SIMULTANEOUSLY.

CONCRETE NOTES:

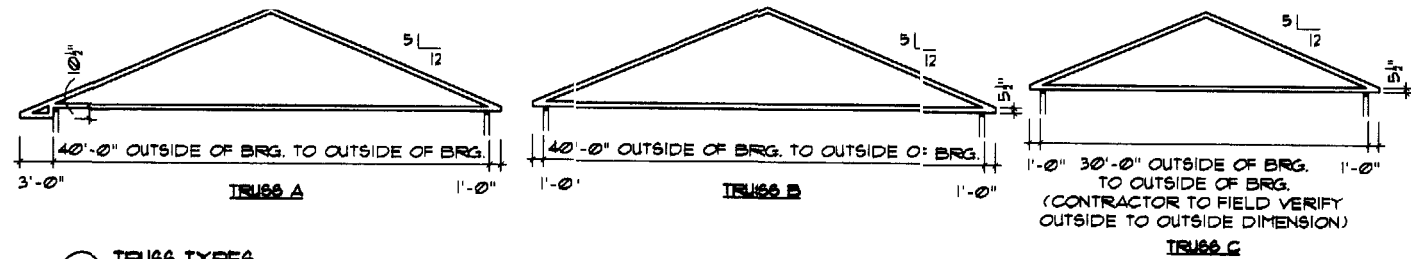
- All concrete work shall conform to ACI 318-89.
- Concrete strength at 28 days shall be:
 - 3000 PSI for footings and walls.
 - 4000 PSI for all slabs on grade.
- All concrete shall be air entrained 4% to 6%.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
- Welded wire fabric shall be provided in flat sheets.
- Not used.
- Splices of reinforcing bars shall be in accordance with ACI 318-89. Splices of WUF shall be 6" minimum.
- Not used.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- The general contractor shall be responsible for coordination of bondout locations with Architectural, Electrical and Mechanical drawings.

TRUSS NOTES:

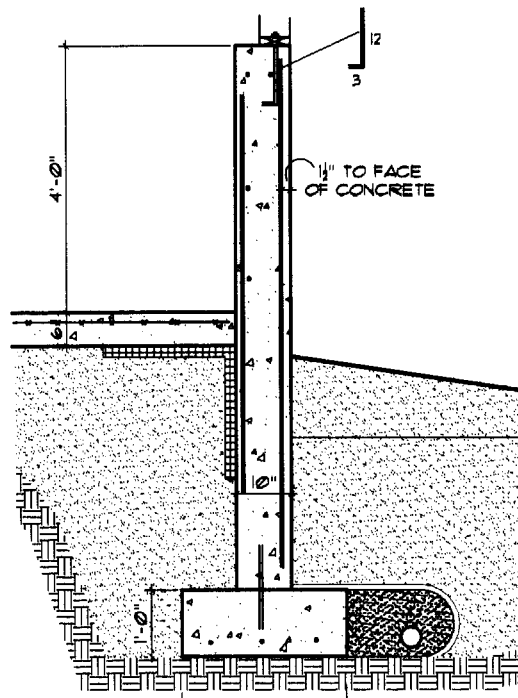
- TRUSS LOADING**
 TOP CHORD
 DEAD LOAD = 15 PSF
 SNOW LOAD = 42 PSF
 DRIFT LOAD (IN ADDITION TO UNIFORM LOAD) = 90 PSF TAPERED TO ZERO OVER 16'-0"
 BOTTOM CHORD
 DEAD LOAD = 5 PSF
 UNBALANCED LOADS PER BOCA/1999
 LOAD COMBINATIONS PER BOCA/1999
- TRUSS SPACING**
 TRUSSES SPACED AT 24".
- SHOP DRAWINGS**
 CONTRACTOR TO SUBMIT TRUSS SHOPS STAMPED BY A MAINE REGISTERED ENGINEER FOR ARCHITECT'S REVIEW.



1 ROOF FRAMING PLAN
1/8" = 1'-0"



2 TRUSS TYPES
1/8" = 1'-0"



3 TYPICAL FOUNDATION
3/4" = 1'-0"

TYPICAL FOUNDATION SYSTEM:
 6" THICK CONC. FLOOR SLAB W/6x6
 - W2.9 x W2.9 WUF. MAINTAIN 1/2" THERMAL BREAK BETWEEN SLAB AND WALL. INSTALL VAPOR BARRIER AND PLACE SLAB ON 12" MIN. COMPACTED STRUCTURAL FILL.

10" THICK CONCRETE WALL:
 WALL REINFORCEMENT -
 - (2) #4 TOP OF WALL,
 - (1) #4 VERTICALLY @ 4'-0" O.C. AS SHOWN ON OUTSIDE FACE OF WALL,
 - (1) #4 x 6'-0" VERTICALLY @ 24" AS SHOWN ON INSIDE FACE OF WALL,
 - (2) #4 CONT. HORIZONTALLY ON INSIDE FACE OF WALL AS SHOWN,
 - #4 DOUCEL INTO FOOTING @ 4'-0" O.C.

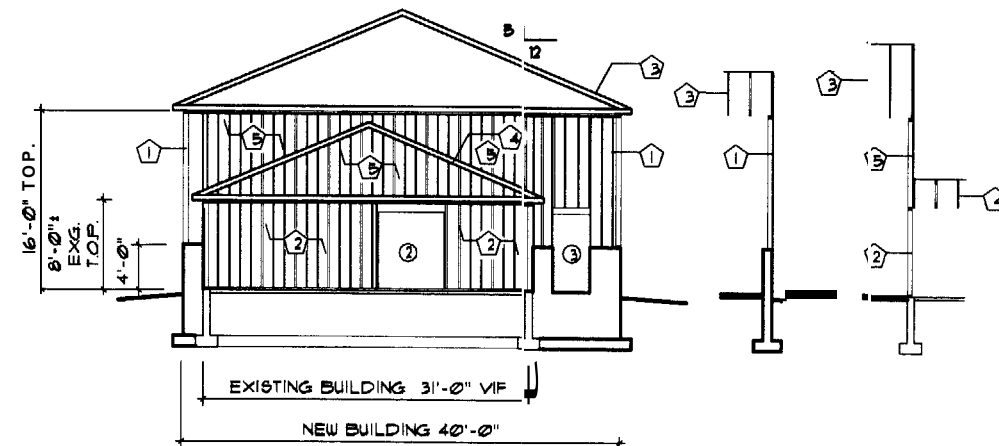
1'-0" x 2'-6" CONCRETE FOOTING:
 - W/ (3) #4.

2" RIGID INSULATION AS SHOWN.

5/8" DIA. AB @ 6'-0" O.C. MAX. (12" MAX. FROM CORNERS).

4" PERFORATED PIPE FOOTING DRAIN W/1/2" OF 3/4" CRUSHED STONE - W/RA# W/FILTER FABRIC. DRAIN TO DAYLIG. - COORDINATE WITH CIVIL DOCUMENTS.

SLOPE GRADE AWAY FROM BUILDING.

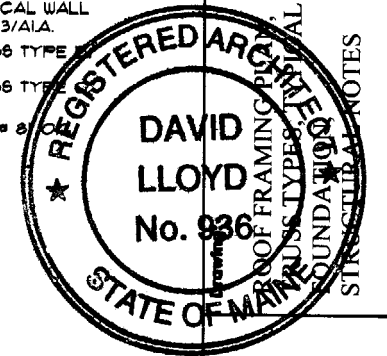


4 FRAMING ELEVATION
A3 SCALE: 1/8" = 1'-0"

5 SECTION
A3 1/8" = 1'-0"

6 SECTION
A3 1/8" = 1'-0"

- KEYED NOTES:
- TYPICAL WALL SEE 4/A1A.
 - TYPICAL WALL SEE 3/A1A.
 - TRUSS TYPE SEE 3/A1A.
 - TRUSS TYPE SEE 3/A1A.
 - 2x6 @ 16" O.C.



A.3

Owner: DELTA REALTY
120 EXCHANGE STREET
PORTLAND, MAINE

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Seal: As Noted
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